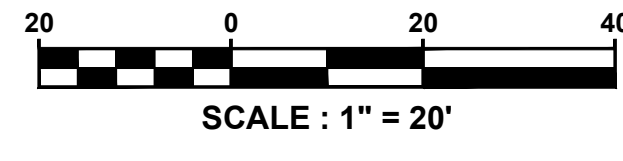
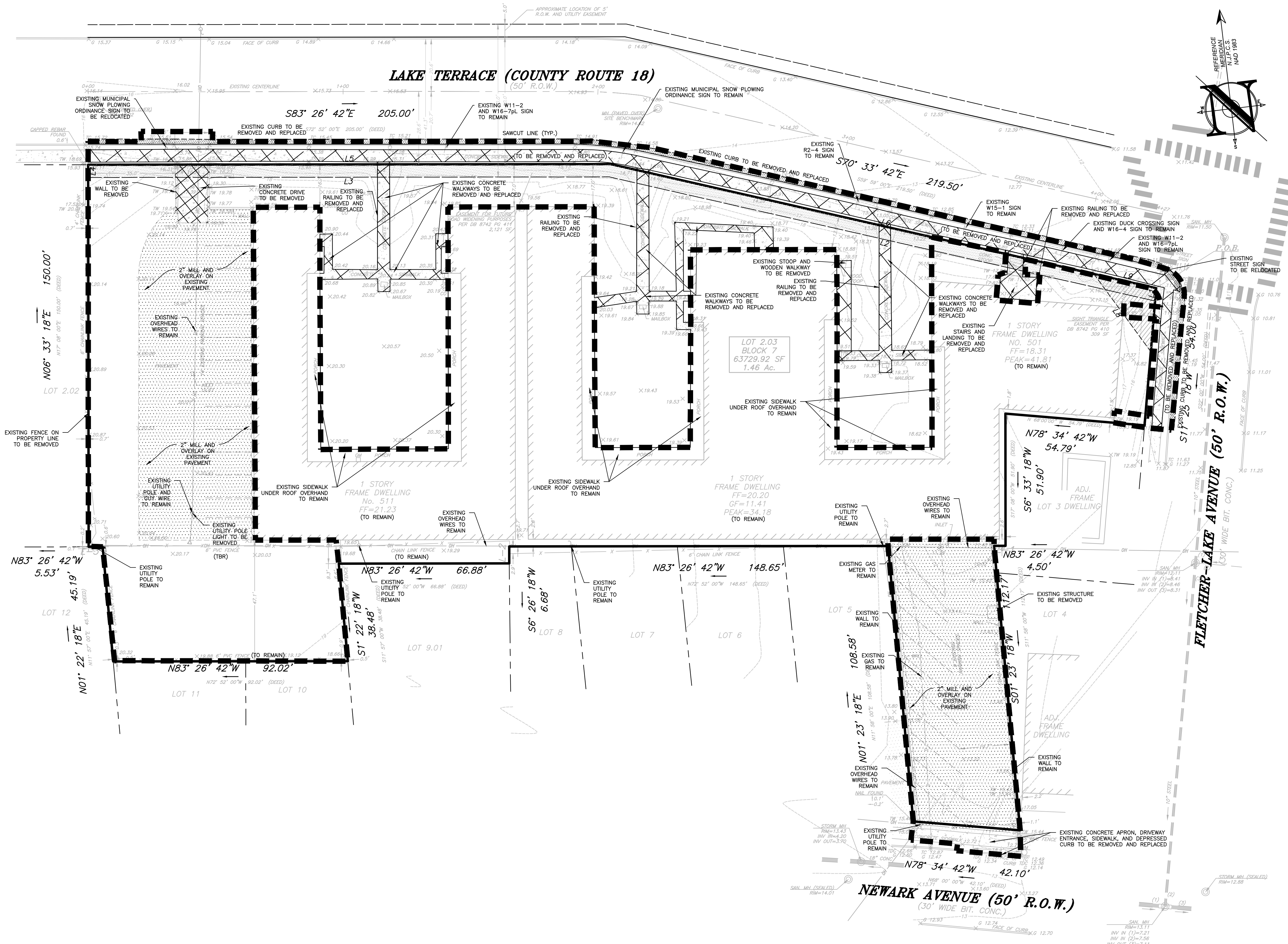


SITE PREPARATION NOTES

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
 - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
 - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
 - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
 - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
- IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.



LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

LEGEND

	CONCRETE REMOVAL
	PAVEMENT MILL & OVERLAY
	DISTURBANCE LIMIT
(TBR)	TO BE REMOVED

ROAD WIDENING EASEMENT LINE SEGMENT TABLE

Line #	Length	Direction
L1	5.05'	S11° 25' 18"W
L2	219.63'	N70° 33' 45"W
L3	204.44'	N83° 26' 42"W
L4	5.00'	N06° 33' 18"E
L5	205.00'	S83° 26' 42"E
L6	218.49'	S77° 33' 42"E

SIGHT TRIANGLE EASEMENT LINE SEGMENT TABLE

Line #	Length	Direction
L7	28.00'	S11° 25' 18"W
L8	37.74'	N29° 34' 12"W
L9	28.00'	S77° 33' 42"E

PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS
ATTORNEY: FOX ROTHSCHILD, LLP
49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BNL STUDIO, LLC
11 PERMINVILLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: WASTE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

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ELECTRIC	RED
CABLE	YELLOW
COMMUNICATION/TV	ORANGE
WATER	BLUE
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE ENGINEERING, LLC
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InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
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Jason F. Ticht
JASON F. TIGHT, P.E., P.P., C.F.M., C.M.E.
NJPE #3718 NJPP #726 PAPE 61968
DEPE 3613 NYPE 802285 CYPE 23291
NCPCE 33336 DCPE 900682 COPE 38605

REVISIONS

Rev. #	Date	Description
2	05/01/21	REV. PER CLIENT COMMENTS
1	05/06/21	REV. PER COUNTY COMMENTS
0	11/20/20	INITIAL RELEASE

SCALE: 1"=20' DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01/2

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FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

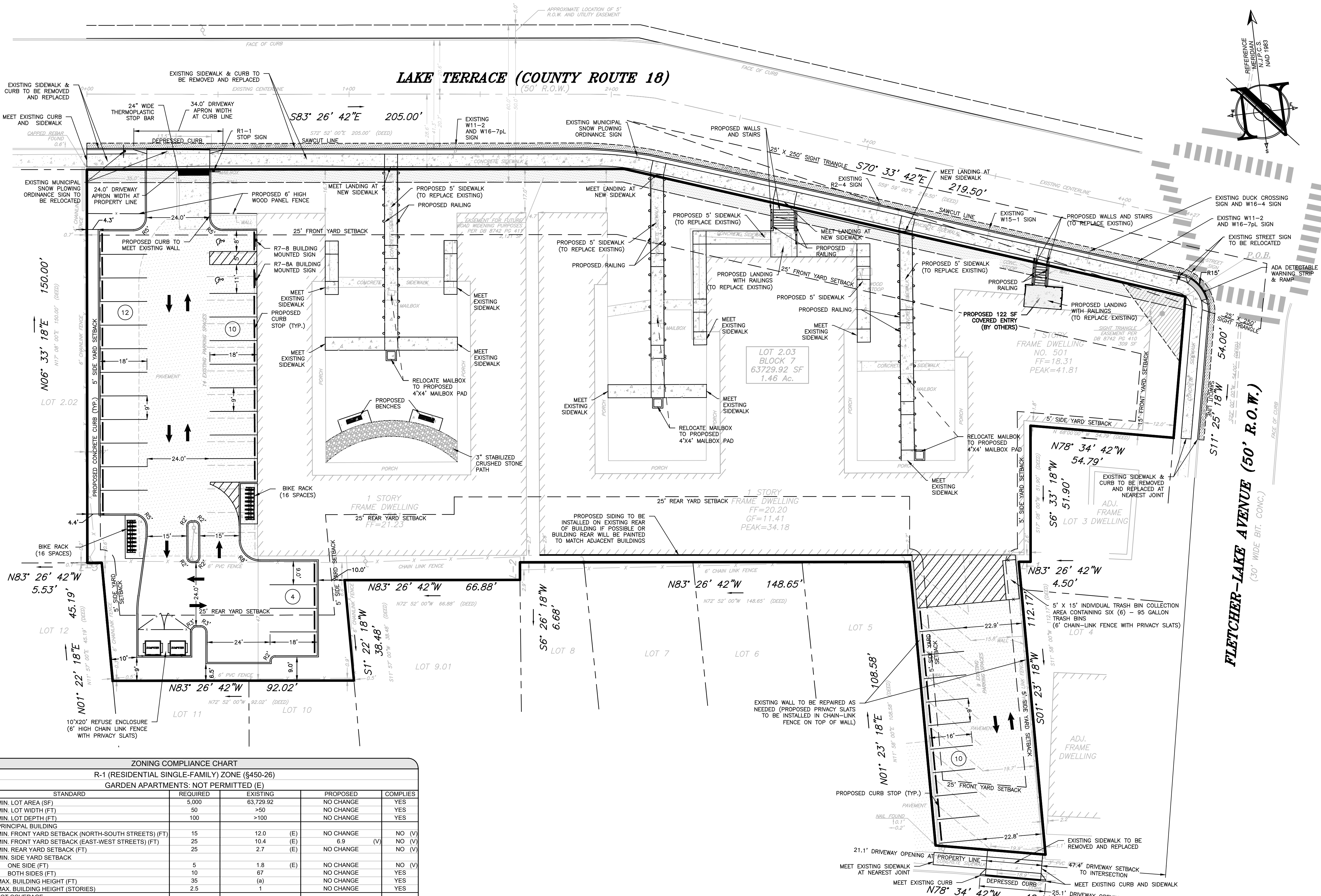
SHEET TITLE: EXISTING CONDITIONS & SITE PREPARATION PLAN

SHEET NO.: C200

File: S:\Jobs\1472 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, Bradley Beach, NJ\2014720100\Map\02-Existing Conditions.dwg -> C200 Existing Conditions & Site Prep
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SITE LAYOUT NOTES

- ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), LATEST EDITION.
- ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
- ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
- ALL SIDEWALK RAMP MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.
- ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
- ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
- SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8".
- SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
- SEE ARCHITECT'S PLANS FOR COVERED BUILDING ENTRYWAY INFORMATION.
- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH NEW JERSEY ADMINISTRATIVE CODE, TITLE 5, CHAPTER 21, "RESIDENTIAL SITE IMPROVEMENT STANDARDS".
- EXISTING CURB AND SIDEWALK ALONG THE FRONTAGE SHALL BE REPLACED IF FOUND IN POOR CONDITION.
- PLANTING AREA BETWEEN THE SIDEWALK AND CURB SHALL REMAIN NATURAL GRASS.



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WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EVALUATION	WHITE

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Jason K. Fichter, PE, PP, CFM, CME
NJPE #3118 NJPP #726 PAPE #1968
DEPE #3113 NYPE #02295 CIPPE #23391
NCPPE #3336 DCPE #00682 COPE #36605

REVISIONS

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CAD ID: 20-1472-01/2

PRELIMINARY & FINAL MAJOR SITE PLAN

SITE LAYOUT PLAN

SHEET NO: **C300**



LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
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SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

ZONING COMPLIANCE CHART
R-1 (RESIDENTIAL SINGLE-FAMILY) ZONE (§450-26)
GARDEN APARTMENTS: NOT PERMITTED (E)

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHEDULE	MIN. LOT AREA (SF)	5,000	63,729.92	NO CHANGE	YES
SCHEDULE	MIN. LOT WIDTH (FT)	50	>50	NO CHANGE	YES
SCHEDULE	MIN. LOT DEPTH (FT)	100	>100	NO CHANGE	YES
SCHEDULE	PRINCIPAL BUILDING				
SCHEDULE	MIN. FRONT YARD SETBACK (NORTH-SOUTH STREETS) (FT)	15	12.0 (E)	NO CHANGE	NO (V)
SCHEDULE	MIN. FRONT YARD SETBACK (EAST-WEST STREETS) (FT)	25	10.4 (E)	6.9 (V)	NO (V)
SCHEDULE	MIN. REAR YARD SETBACK (FT)	25	2.7 (E)	NO CHANGE	NO (V)
SCHEDULE	MIN. SIDE YARD SETBACK				
SCHEDULE	ONE SIDE (FT)	5	1.8 (E)	NO CHANGE	NO (V)
SCHEDULE	BOTH SIDES (FT)	10	0.7 (E)	NO CHANGE	YES
SCHEDULE 450-26	MAX. BUILDING HEIGHT (FT)	35	(N)	NO CHANGE	YES
SCHEDULE	MAX. BUILDING HEIGHT (STORIES)	2.5	1	NO CHANGE	YES
SCHEDULE	LOT COVERAGE				
SCHEDULE	MAX. BUILDING COVERAGE (%)	35	40.8 (E)	41.0 (V)	NO (V)
SCHEDULE	MAX. IMPERVIOUS COVERAGE (%)	60	60.0 (E)	68.2 (V)	NO (V)
SCHEDULE	MIN. RESIDENTIAL LANDSCAPE BUFFER (FT)	5	0 (E)	NO CHANGE	NO (V)

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER N/S - NOT SPECIFIED
(*) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

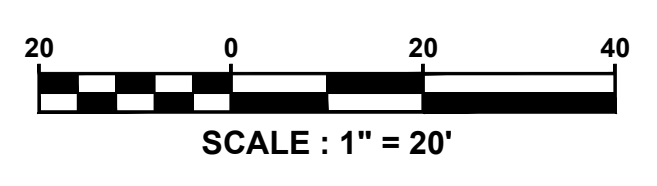
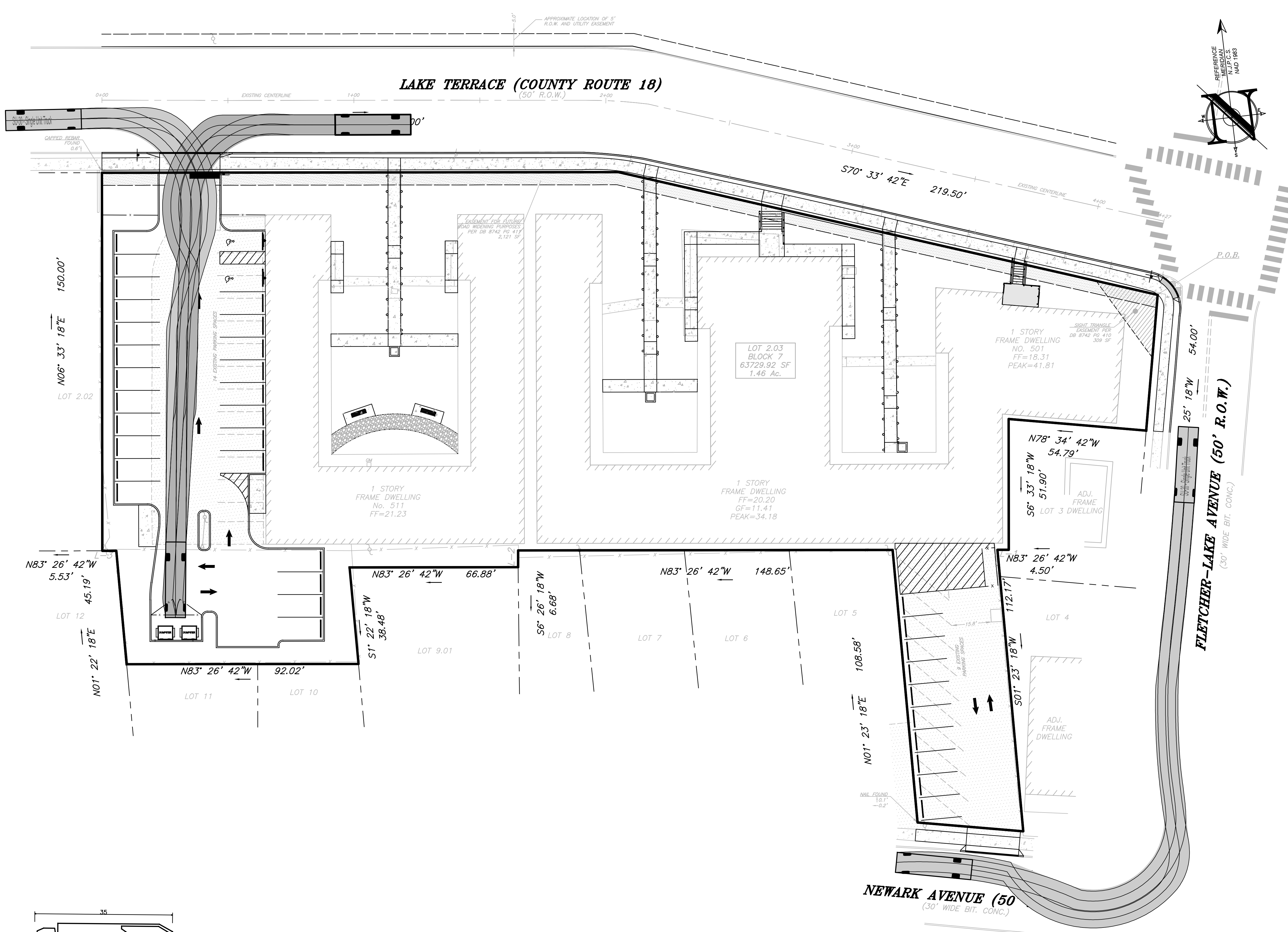
PARKING, DRIVEWAY & LOADING COMPLIANCE CHART: GARDEN APARTMENTS

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
450-41(B)	STALL SIZE (FT)	9 X 18	9 X 18	9 X 16 (V)	NO (V)
450-41(B)	NUMBER OF PARKING SPACES	75 TOTAL SPACES	23 SPACES (E)	36 SPACES (I)	NO (V)
R.S.I.S.	STUDIO: 1.8 SPACES PER UNIT	4 UNITS * 1.8 SPACES = 8 SPACES	(INCLUDING NO HANDICAP SPACES)	(INCLUDING 2 HANDICAP SPACES)	
450-41(B)	1 BEDROOM: 1.8 SPACES PER UNIT	28 UNITS * 1.8 SPACES = 51 SPACES			
450-41(B)	2 BEDROOM: 2 SPACES PER UNIT	8 UNITS * 2 SPACES = 16 SPACES			
450-41(B)	MIN. DRIVEWAY WIDTH (TWO WAY) (FT)	20	11.9 (E)	21.1 (I)	YES
450-41(B)	MIN. DRIVEWAY SETBACK TO ALL LOT LINES (FT)	5	1.1 (E)	NO CHANGE	NO (V)
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT PROPERTY LINE (TWO-WAY) (FT)	24	19.9 (E)	24	YES
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT CURB LINE (TWO-WAY) (FT)	26	18.9 (E)	34 (V)	NO (V)
450-41(B)	MAX. DRIVEWAYS PER LOT (TWO-WAY)	1	2 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. DRIVEWAY SETBACK TO INTERSECTIONS (FT)	50	47.4 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. DRIVEWAY SETBACK TO ALL PROPERTY LINES (FT)	30	1.1 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. AISLE WIDTH (90° PARKING) (FT)	35	25 (E)	22.9 (V)	NO (V)
450-41(B)	MIN. AISLE WIDTH (45° PARKING) (FT)	NS	15.8 (E)	N/A	YES
450-41(B)	MIN. OFF-STREET VAN ACCESSIBLE SPACES (1)	1	NS	1	YES

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER N/S - NOT SPECIFIED
(1) 450-41 EVERY PARKING LOT FOR AN APARTMENT OR TOWNHOUSE USE SHALL INCLUDE AT LEAST ONE OFF-STREET VAN ACCESSIBLE SPACE, IN ADDITION TO THE MINIMUM TOTAL NUMBER OF SPACES REQUIRED UNDER 450-39.

File: S:\Sub\1472 - 501 Lake Terrace_Bradley Beach, NJ\20147201\Map\04-Site_Plan.dwg -> 0300 Site Plan
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 Plot: 11/20/20 11:20 AM
 Scale: 1"=20'
 Sheet: 0 of 1
 Title: 501 Lake Terrace - Preliminary & Final Major Site Plan - Site Layout Plan
 Author: JLS
 Date: 11/20/20
 Description: 501 Lake Terrace - Preliminary & Final Major Site Plan - Site Layout Plan
 Project: 20-1472-01
 Job: 20-1472-01
 Sheet: C300

File: S:\Sub\142 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, Bradley Beach, NJ\2014720100\Map\04-Site Planning.dwg -> C301 Turning Movements
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LEGEND	
EXISTING	PROPOSED

Overall Length	35,000ft
Overall Width	8.375ft
Overall Body Height	10.546ft
Min Body Ground Clearance	1.000ft
Track Width	8.375ft
Lock-to-lock time	6.00s
Curb to curb Turning Radius	29.300ft

GARBAGE TRUCK
NTS

PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC
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ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC
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NJPE #3718 NJPP #726 PAPE 61968
DEPE 3013 NYPE 802285 CYPE 23391
NCPCE 33336 DCPE 900682 COPE 38605

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NOT FOR CONSTRUCTION APPROVED BY:

<input type="checkbox"/> FOR CONSTRUCTION

PLAN INFORMATION

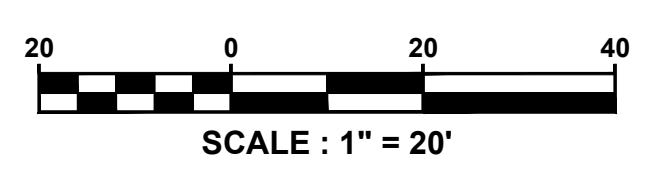
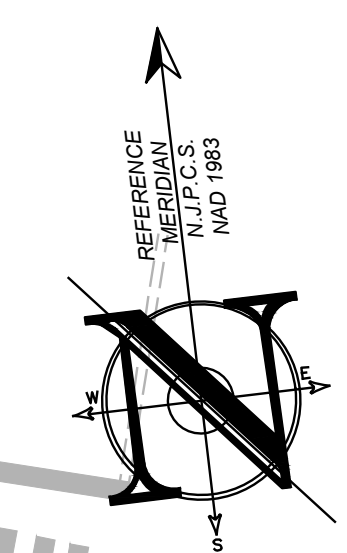
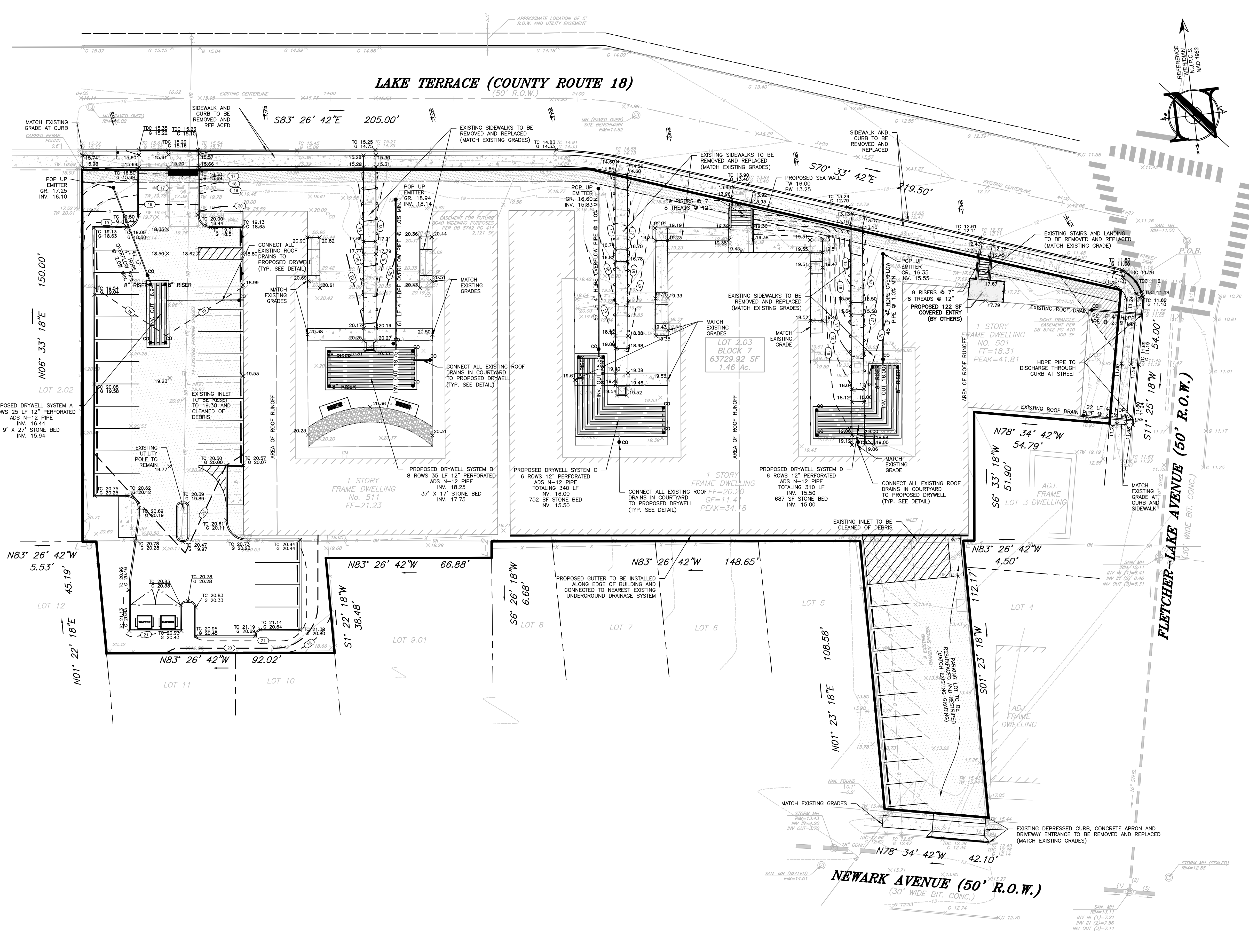
DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: TURNING MOVEMENT PLAN

SHEET NO.: C301

GRADING AND DRAINAGE NOTES

1. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL UNLESS OTHERWISE STATED.
2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
3. FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).
 - a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%).
 - b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.
 - c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
 - d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
 - e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
4. ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
5. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
6. ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
7. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOIL IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.
8. ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL IN ACCORDANCE WITH THE NJDEP "ALTERNATIVE AND CLEAN FILL GUIDANCE FOR SRP SITES" LATEST EDITION. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT. ALL IMPORTED MATERIAL REQUIRES APPROVAL BY OWNER PRIOR TO PLACEMENT ONSITE.
9. SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL STORM SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
10. BUILDING ROOF LEADERS TO CONNECT TO SITE STORM SEWER SYSTEM.
11. STORMWATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO INSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS BUILDUP AND STAGNANT WATER.
12. RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF THE STORMWATER FACILITIES, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED PARTICULATE MATERIAL AND DEBRIS, SHALL REMAIN WITH THE OWNER OR OWNERS OF THE PROPERTY. MAINTENANCE SHALL FOLLOW THE OPERATIONS MAINTENANCE MANUAL APPROVED BY THE BOARD ENGINEER.
13. IN THE EVENT THAT THE FACILITY BECOMES A DANGER TO PUBLIC SAFETY OR PUBLIC HEALTH, OR IF IT IS IN NEED OF MAINTENANCE, THE OWNER SHALL AFFECT SUCH MAINTENANCE AND REPAIR OF THE FACILITY IN A MANNER THAT IS APPROVED BY THE BOROUGH ENGINEER.



LEGEND	
EXISTING	PROPOSED

PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03, 501-511 LAKE TERRACE, BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, NJ, TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC, 1412 MAIN STREET, ASBURY PARK, NJ 07712, (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC, ASBURY PARK, NJ 07712, (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP, 49 MARKET STREET, MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES, 34 SYCAMORE AVENUE, UNIT #1E, LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BML STUDIO, LLC, 11 PERMINWILE DRIVE, BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

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ELECTRIC	RED
CLUBS	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
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DEPE 3013 NYPE 802285 CIPPE 23391
NCPPE 33336 DCPPE 900682 CCOPE 38605

REVISIONS

Rev. #	Date	Comment
1	11/20/20	INITIAL RELEASE
2	05/01/21	REV. PER CLIENT COMMENTS
3	05/06/21	REV. PER COUNTY COMMENTS

SCALE: 1"=20' DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01r2

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FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: GRADING AND DRAINAGE PLAN

SHEET NO.: C400

File: S:\Info\1472 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, LLC\20-1472-01.dwg User: JLF Date: 11/20/20 10:00 AM

PROJECT INFORMATION

PROJECT NAME:

501-511 LAKE TERRACE

PROJECT LOCATION:
BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

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WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

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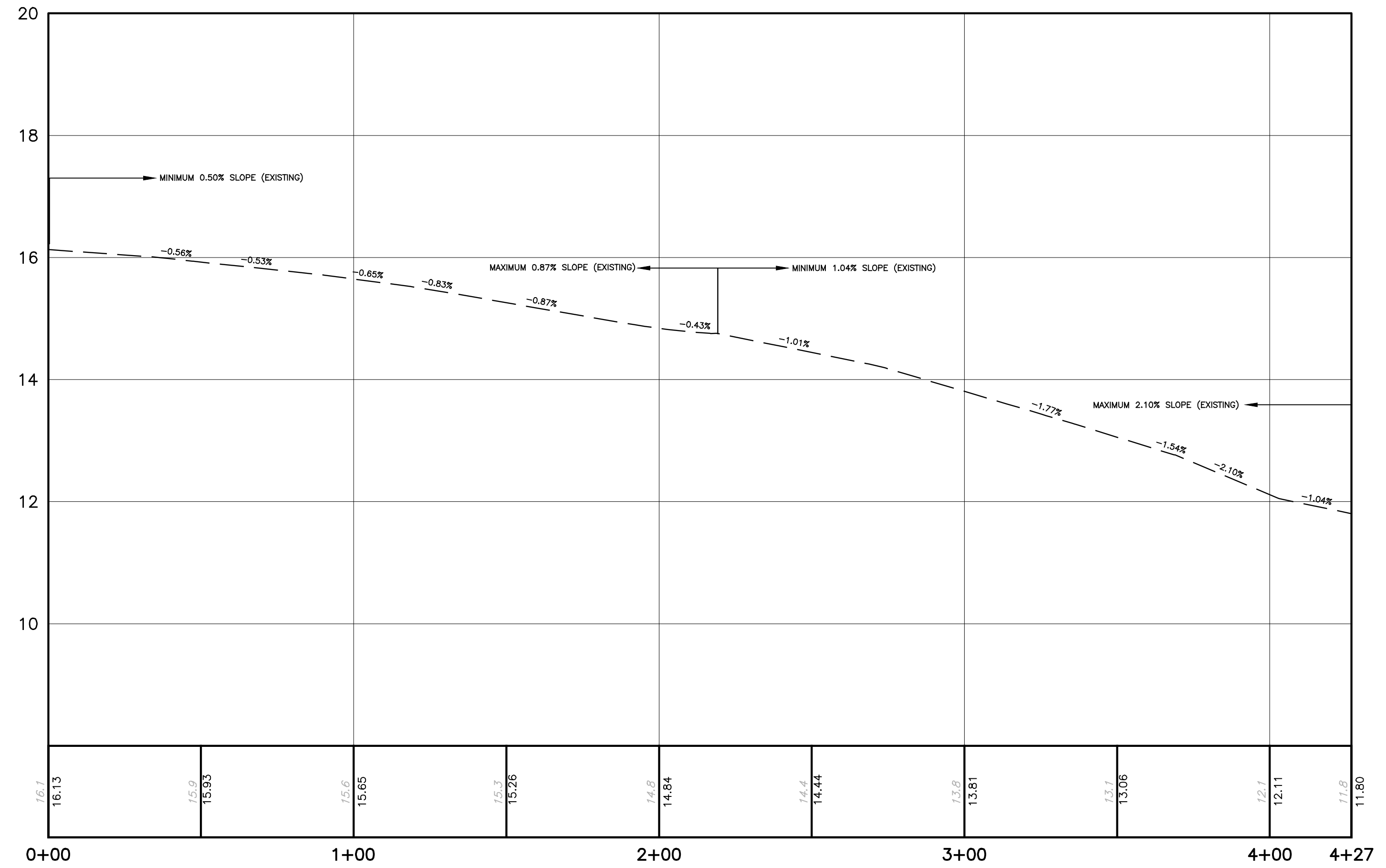
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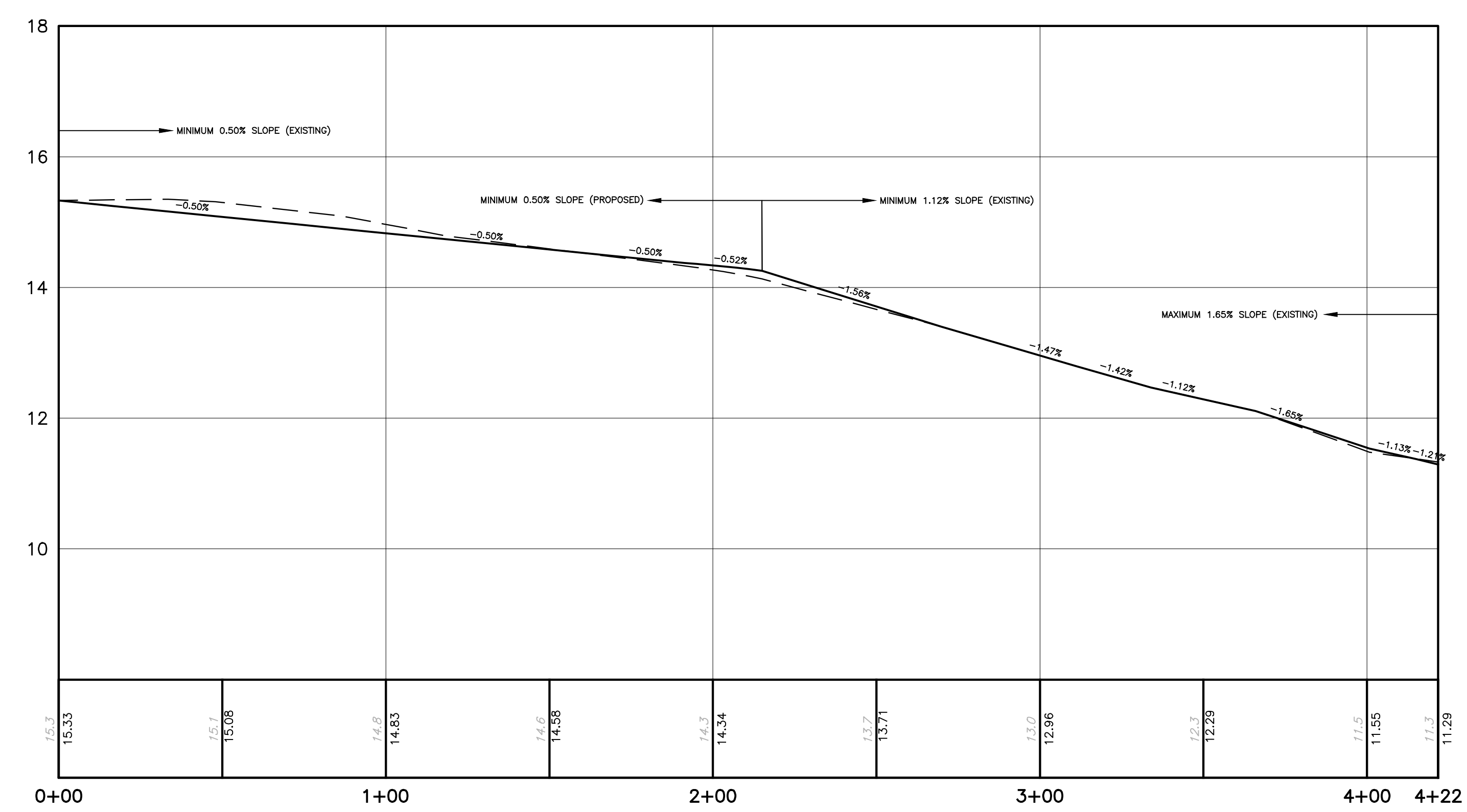
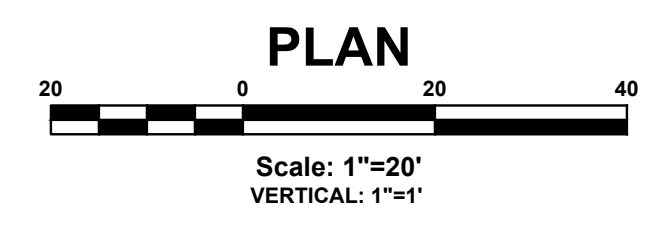
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PROFILES

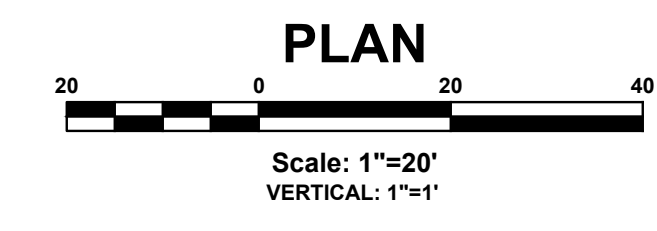
SHEET NO.: C500



EXISTING CENTERLINE OF LAKE TERRACE



GUTTER PROFILE OF LAKE TERRACE

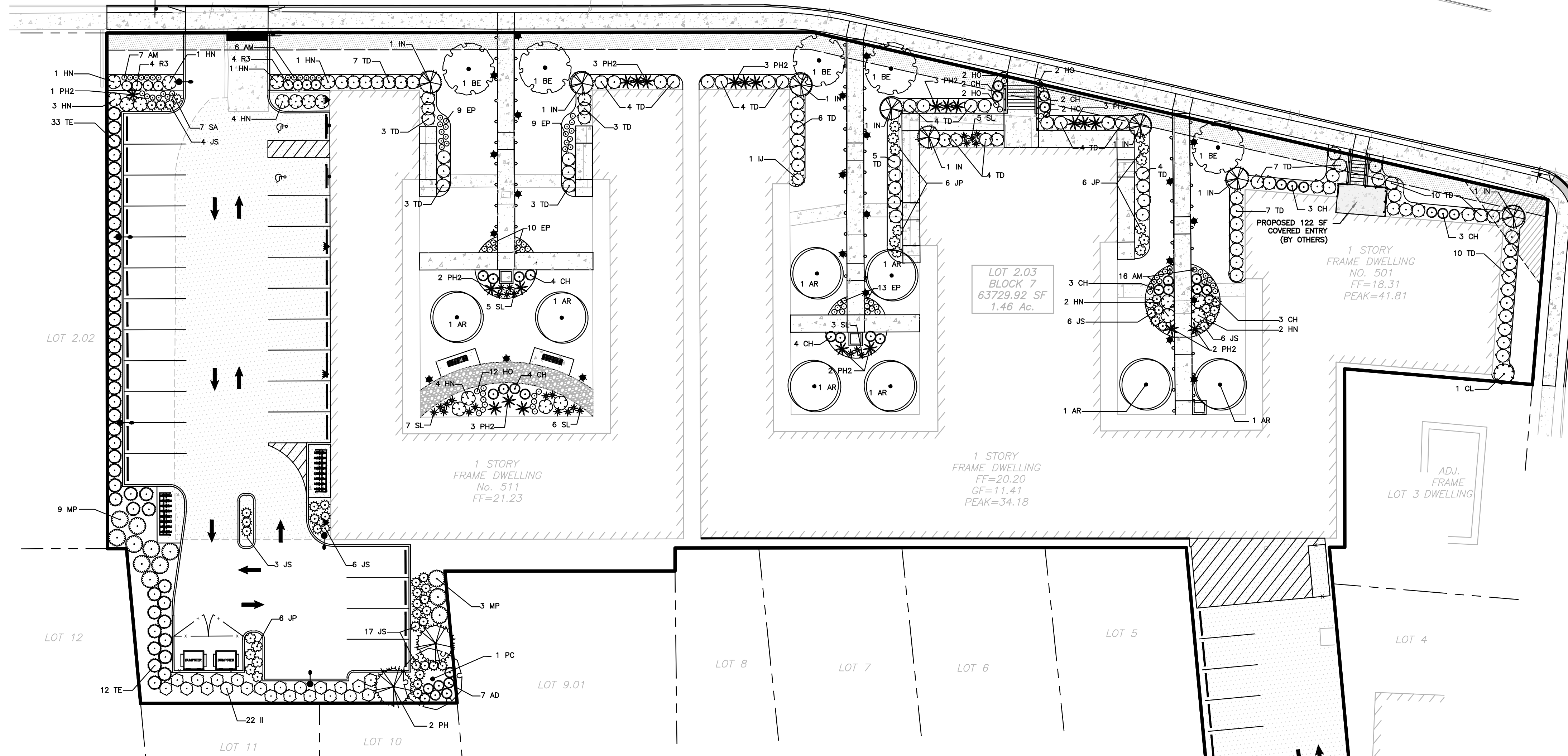


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GENERAL LANDSCAPE NOTES

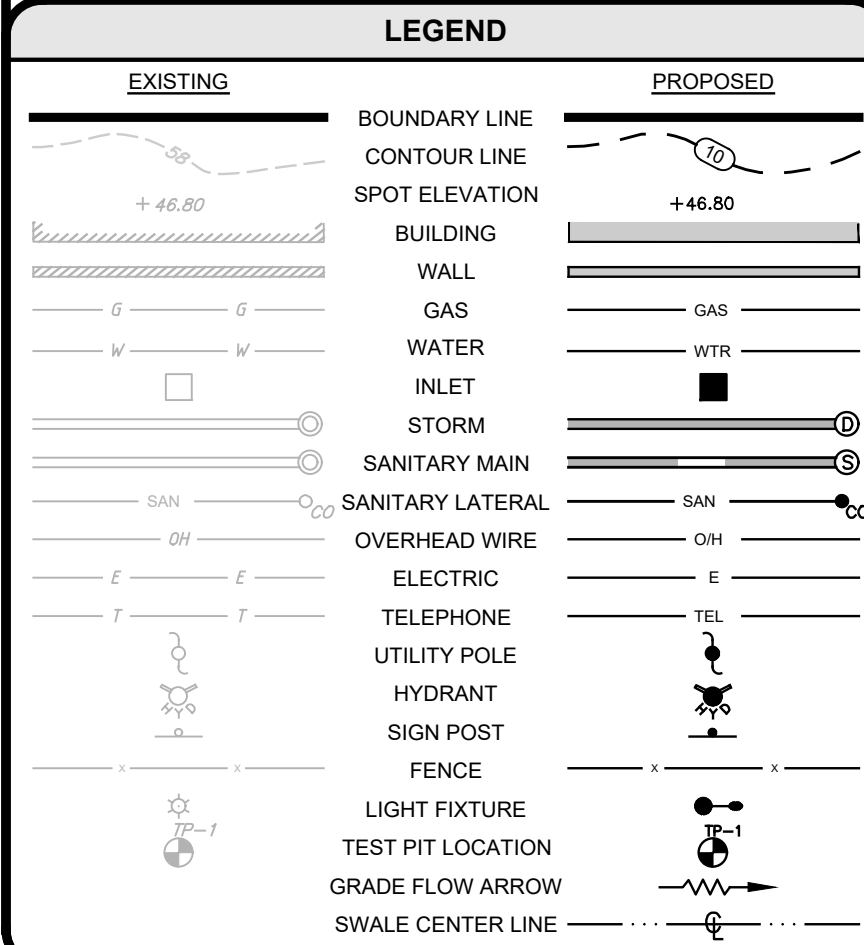
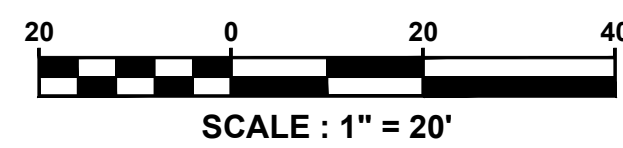
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF ALL PLANTING AREAS.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREET LIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- ALL TURF AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.
- ALL TURF AREAS AND PLANTING AREAS ARE TO IRRIGATED. THE CONTRACTOR IS TO PROVIDE A DETAILED IRRIGATION PLAN AND GAIN TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A 1-YEAR PERIOD FROM THE RELEASE OF THE PERFORMANCE BOND. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEE PERIOD.
- PLANTING AREA BETWEEN THE SIDEWALK AND CURB SHALL REMAIN NATURAL GRASS.
- SEE LANDSCAPING DETAIL SHEET FOR ADDITIONAL PLANTING NOTES AND DETAILS.

LAKE TERRACE (COUNTY ROUTE 18)
(50' R.O.W.)



FLETCHER-LAKE AVENUE (50' R.O.W.)
(30' WIDE BIT CONC.)

PLANTING SCHEDULE					
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
AR	8	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Apple Serviceberry	B & B	3" Cal
BE	5	Betula nigra 'Heritage'	Heritage River Birch	B & B	10'-12' HT
PC	1	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	B & B	3" Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE
CL	1	Cupressocyparis x leylandii	Leyland Cypress	CONT.	5'-6' HT.
IN	8	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B	6'-7' HT
PH	2	Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	B & B	7'-8' HT
TE	45	Thuja occidentalis 'Emerald'	Emerald Arborvitae	B & B	5'-6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AD	7	Azalea x 'Delaware Valley White'	Valley White Azalea	Cont.	18"-24" HT.
CH	28	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18"-24" HT.
HN	19	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	Cont.	2'-2.5' HT.
IJ	1	Ilex crenata 'Steeds'	Steeds Japanese Holly	B & B	3'-4' HT.
II	22	Ilex glabra 'Compacta'	Compact holly	Cont.	2'-2.5' HT.
JP	18	Juniperus chinensis 'Pfitzeriana Nicks Compacta'	Nick's Compact Pfitzer Juniper	Cont.	18"-24" SPD.
JS	42	Juniperus chinensis sargentii	Sargent Juniper	Cont.	18"-24" SPD.
MP	12	Myrica pensylvanica	Northern Bayberry	B & B	3'-4' HT.
R3	8	Rosa x 'Radrazz'	Knock Out Shrub Rose	Cont.	3 GAL.
TD	88	Taxus x media 'Densiformis'	Dense Yew	B & B	2'-2.5' HT.
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AM	29	Achillea x 'Moonshine'	Moonshine Yarrow	Cont.	1 GAL.
EP	40	Echinacea purpurea	Purple Coneflower	Cont.	1 GAL.
HO	20	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	Cont.	1 GAL.
SA	7	Sedum x 'Autumn Joy'	Autumn Joy Sedum	Cont.	1 GAL.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PH2	22	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	Cont.	3 GAL.
SL	26	Schizachyrium scoparium	Little Bluestem Grass	Cont.	3 GAL.



PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: **501 LAKE TERRACE, LLC**
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: **501 LAKE TERRACE, LLC**
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APPLICANT'S PROFESSIONALS

ATTORNEY: **FOX ROTHSCHILD, LLP**
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MORRISTOWN, NJ 07960

ARCHITECT: **MICHAEL SAVARESE ASSOCIATES**
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: **BML STUDIO, LLC**
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DEPE #013 NYPE #02295 CPE 23391
NCPCE 33336 DCPE 900682 COPE 38605

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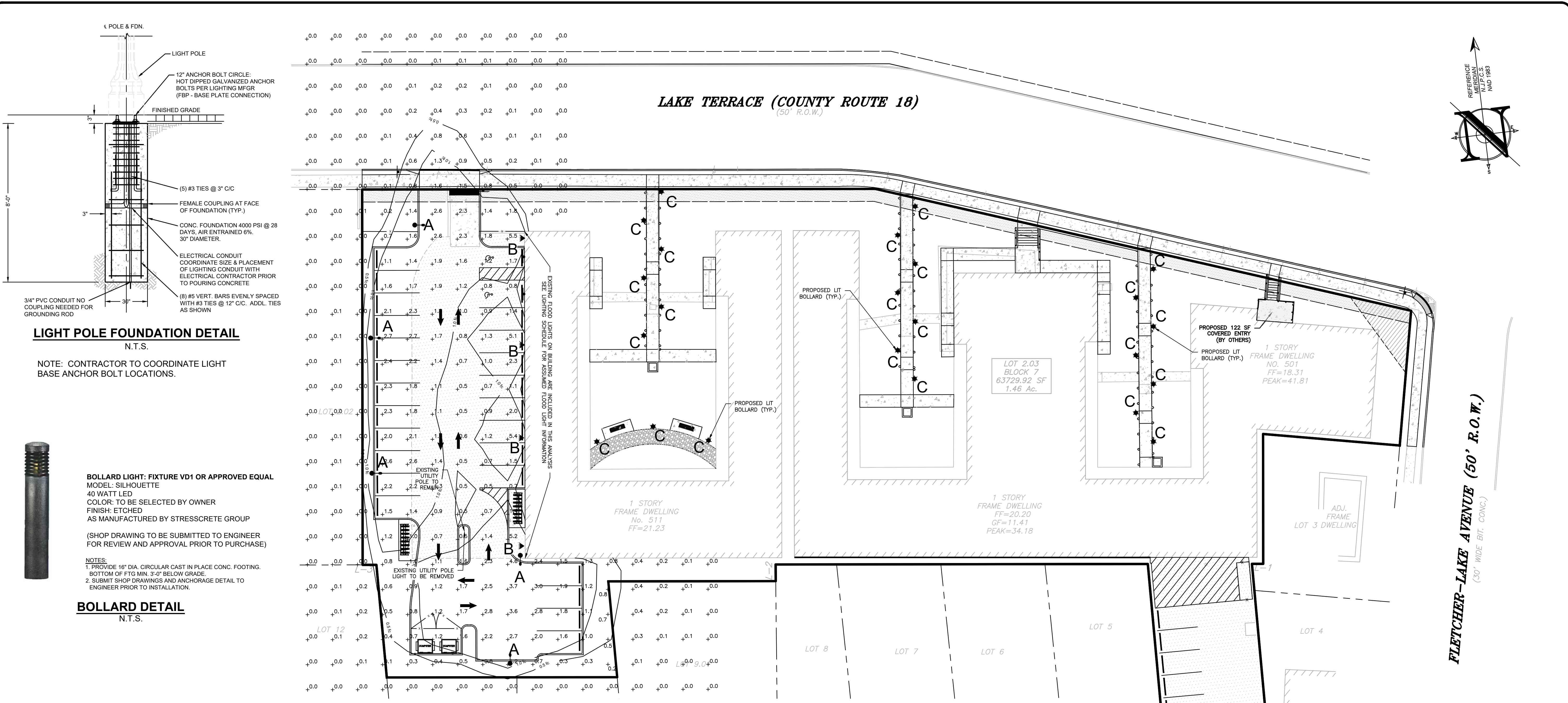
FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
LANDSCAPE PLAN

SHEET NO.: **C600**

File: S:\Web\1472 - 501 Lake Terrace_Bradley Beach, NJ\20147201040\Map\05-Landscape.dwg -> C600 Landscape
Plot: S:\Web\1472 - 501 Lake Terrace_Bradley Beach, NJ\20147201040\Map\05-Landscape.dwg -> C600 Landscape
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PROJECT INFORMATION

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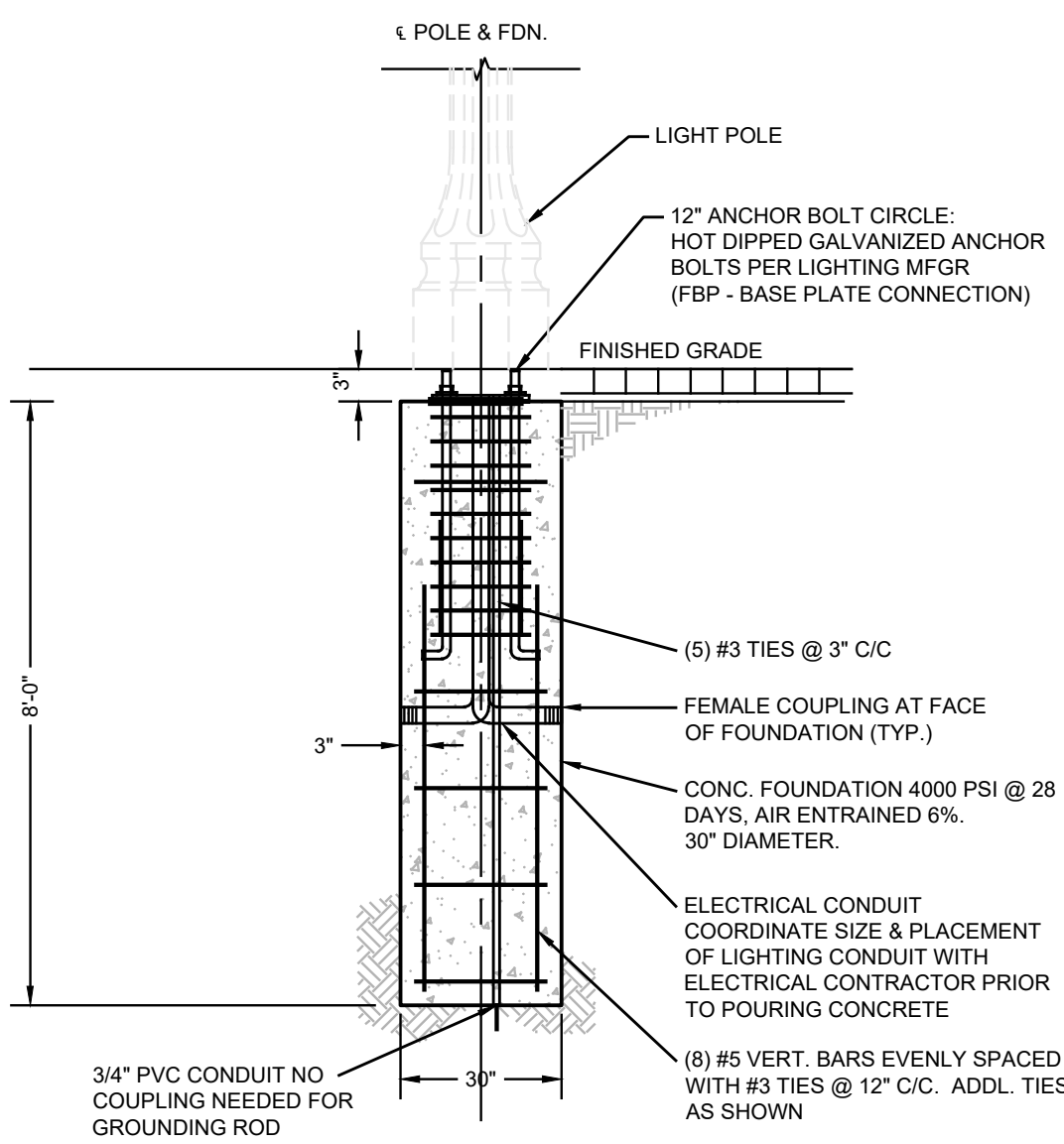
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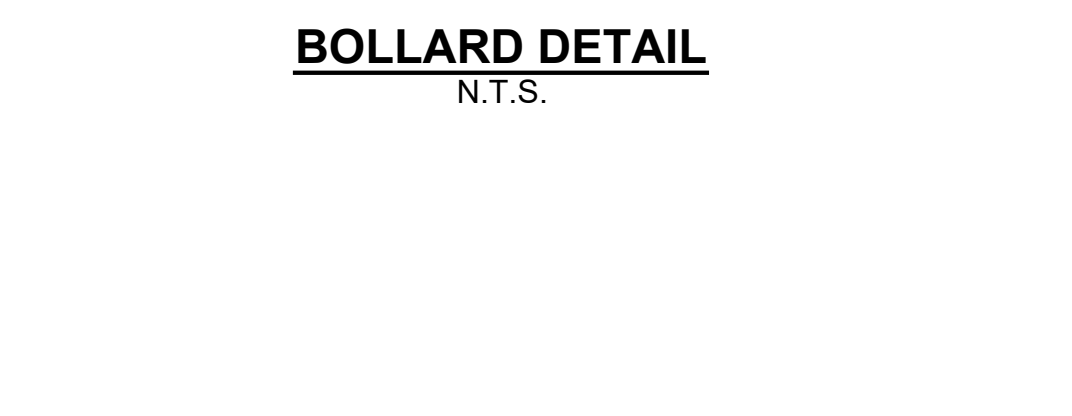
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SEWER	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
STORM	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED PLANTING	WHITE



BOLLARD LIGHT: FIXTURE VD1 OR APPROVED EQUAL
MODEL: SILHOUETTE
40 WATT LED
COLOR: TO BE SELECTED BY OWNER
FINISH: ETCHED
AS MANUFACTURED BY STRESSCRETE GROUP

(SHOP DRAWING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE)

NOTES:
1. PROVIDE 16" DIA. CIRCULAR CAST IN PLACE CONC. FOOTING. BOTTOM OF FTG MIN. 3'-0" BELOW GRADE.
2. SUBMIT SHOP DRAWINGS AND ANCHORAGE DETAIL TO ENGINEER PRIOR TO INSTALLATION.



D-Series Size 0 LED Area Luminaire

DSX0 LED P1 30K T2M MVOLT HS

Specifications:
EPA: 0.95 ft
Length: 26"
Width: 13"
Height: 3"
Height: 2"
Height: 16.5"
Width: 16.5"

Introduction:
The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Contractor Select® OLF & OVFL LED Floodlighting

OLF 2RH120 PE BZ M4

Contractor Select®
OLF & OVFL LED
Floodlighting

The OLF family from Lithonia Lighting® has the largest breadth of offering from one security lighting family. The OLF family provides a multitude of lighting, energy saving packages and mounting options to meet the varying needs of your residential, large and multi-family applications.

FEATURES:
• Replaces up to 120-150W incandescent PAR lamp.
• Small, compact form.
• Rays for half or less than 2 years.

Catalog Number	WIC	Replaces Up To	Lumens	Input Watts	CT	Voltage	Finish	Warranty	Energy Star Rated	Notes
OLF 2RH 48 120 PE BZ M4	1104047911	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047912	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047913	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047914	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047915	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047916	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'
OLF 2RH 48 120 PE BZ M4	1104047917	100W PAR INCANDESCENT	2,300	25	4000K	50V	WHITE	3 years	YES	100'

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

DSX0 LED	Color temperature	Beam angle	Warranty	Shipping
Forward optics	40K	120°	3 years	Standard
Diffuse optics	40K	120°	3 years	Standard

LUMINAIRE SCHEDULE

LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	TYPE	DIRECTION OF ILLUMINATION
A	5	LITHONIA - DSX0 LED P1 30K T2M MVOLT HS	38 WATT	SINGLE	15'	AREA	DOWN
B	4	LITHONIA - OLF 2RH120 PE BZ M4	24.5 WATT	DOUBLE	9'	FLOOD	DOWN
C	23	BOLLARD LIGHT: FIXTURE VD-1	40 WATT	SINGLE	3'	BOLLARD	SPREAD

NOTE:
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOTCANDLES.
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.
3. EXISTING LIGHTS OFF-SITE ARE NOT INCLUDED IN THIS ANALYSIS.

NEWARK AVENUE (50' R.O.W.)
(30' WIDE BIT, CONC.)

INSITE ENGINEERING, LLC
Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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JASON K. FICHTER, PE, PP, CFM, CME
NJPE #37118 NJPP #726 PAPE #1968
DEPE #6113 NYPE #02295 CIPPE #23391
NCPPE #3336 DCPE #900682 CCOPE #36605

REVISIONS

Rev. #	Date	Description
2	05/01/21	REV. PER CLIENT COMMENTS
1	05/06/21	REV. PER COUNTY COMMENTS
0	11/22/20	INITIAL RELEASE

SCALE: 1"=20' DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01-2

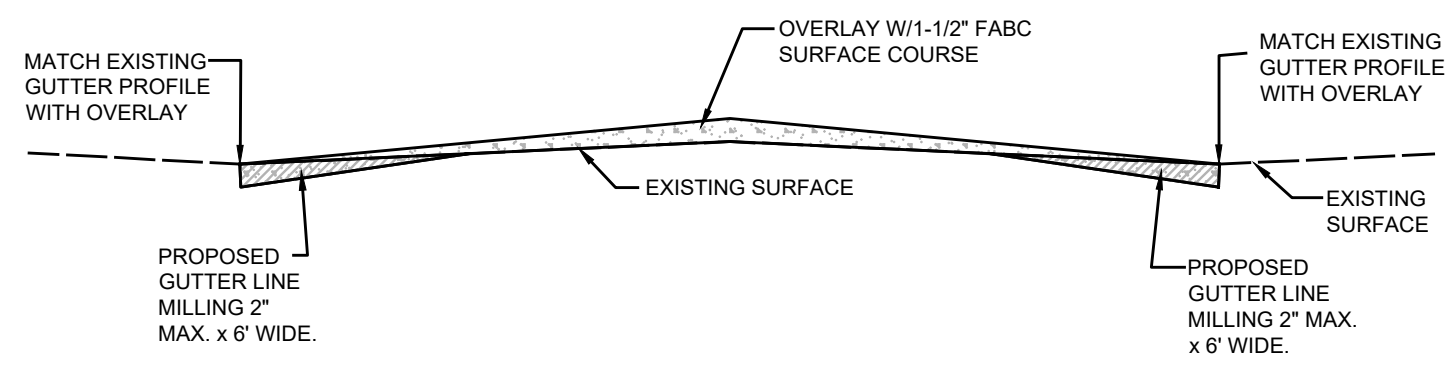
NOT FOR CONSTRUCTION APPROVED BY:

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

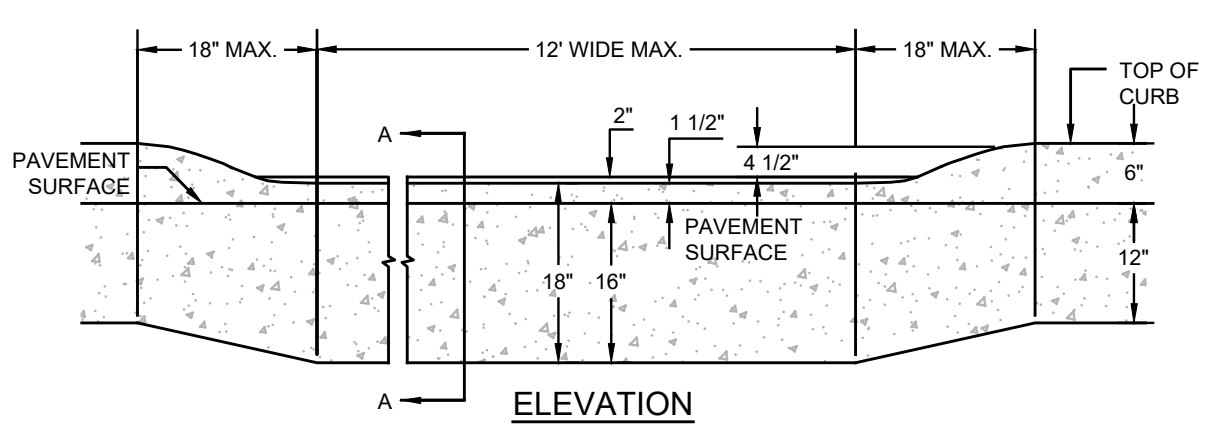
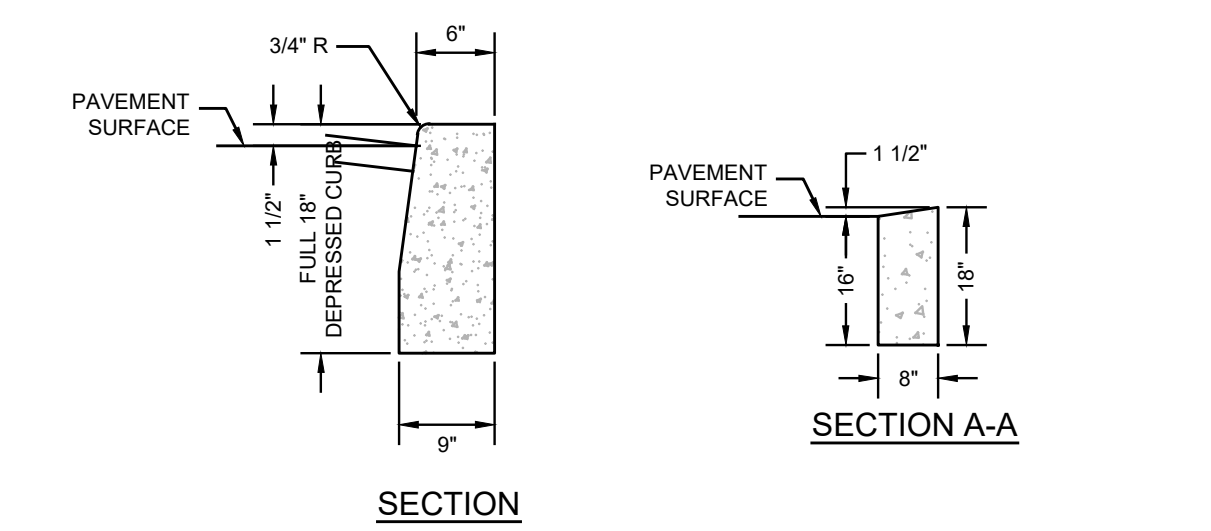
SHEET TITLE: LIGHTING PLAN AND DETAILS
SHEET NO.: C602

File: S:\Web\1472 - 501 Lake Terrace - Bradley Beach, NJ\20147201.DWG User: JLS Date: 11/20/2021 10:00:00 AM



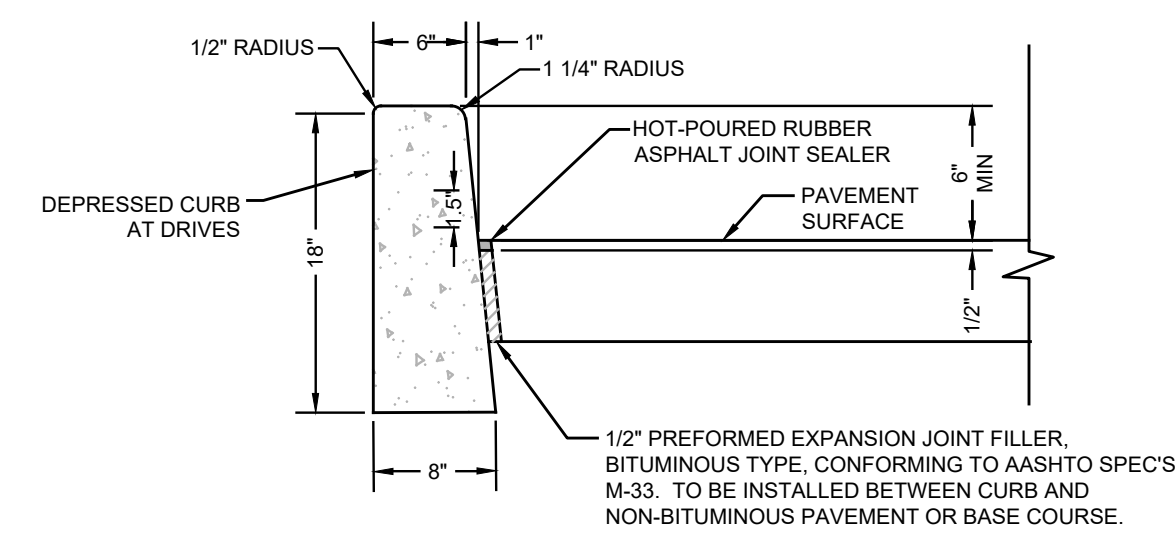
- NOTES:
- PRIOR TO PLACEMENT OF THE SURFACE COURSE, A TACK COAT OF CUTBACK ASPHALT, GRADE RC-70 SHALL BE APPLIED AT A MINIMUM RATE OF 0.05 GAL PER S.Y. OVER THE BASE COURSE.
 - PRIOR TO PLACEMENT OF THE BASE COURSE, A PRIME COAT OF CUTBACK ASPHALT, GRADE MC-70 SHALL BE APPLIED AT A MINIMUM RATE OF 0.15 GAL PER S.Y. OVER THE SUBGRADE.
 - ALL WORKMANSHIP, METHODS AND MATERIALS TO BE IN ACCORDANCE WITH N.J.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
 - FABC LEVELING COURSE TO BE USED AS DIRECTED FOR TRENCH REPAIR AND TO MAINTAIN A MINIMUM 3" ROADWAY CROWN.
 - CONTRACTOR SHALL EXCAVATE AND REPLACE PAVEMENT WHERE DIRECTED IF PROPOSED MILLING BREAKS THROUGH TO UNSUITABLE SUBBASE MATERIALS.

MILLING & OVERLAY CROSS SECTION
NTS



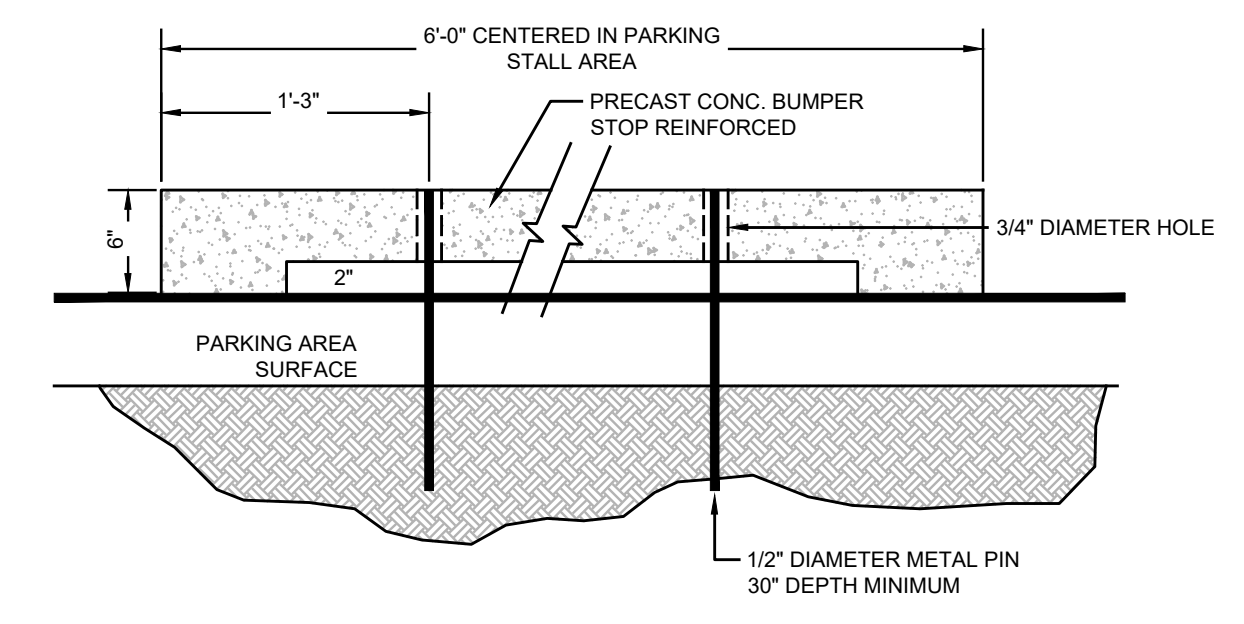
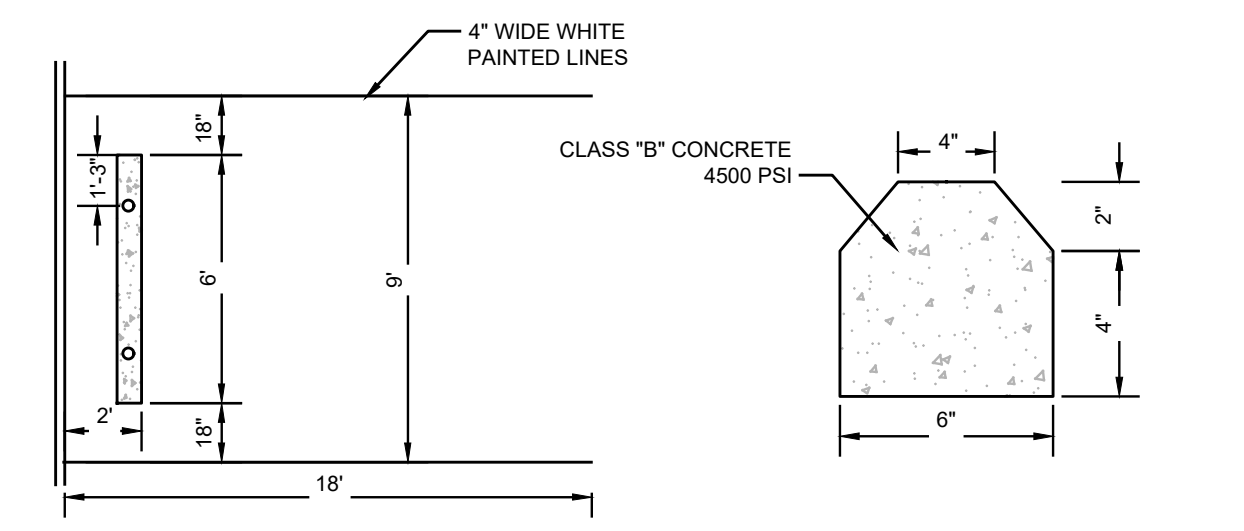
- NOTES:
- ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B"
 - PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 - PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6=W2.9XW2.9 AT DRIVEWAY APRONS.
 - CURB AND SIDEWALK SHALL BE POURED SEPARATELY.
 - LONGITUDINAL JOINTS BETWEEN CURB AND SIDEWALK SHALL BE PREFORMED BITUMINOUS FIBER EXPANSION MATERIAL 1/2" THICK.
 - FOR CURB, PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.

DEPRESSED CURB
NTS

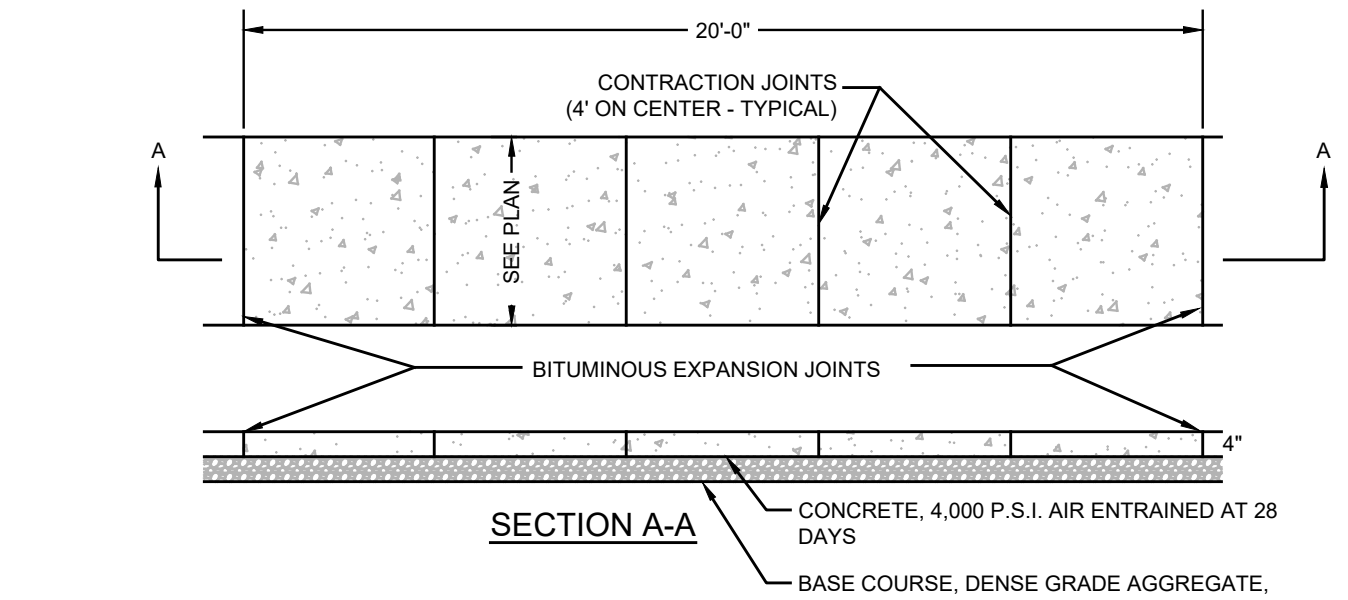


- NOTES:
- CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).
 - TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
 - DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
 - WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2"

CONCRETE VERTICAL CURB
NTS

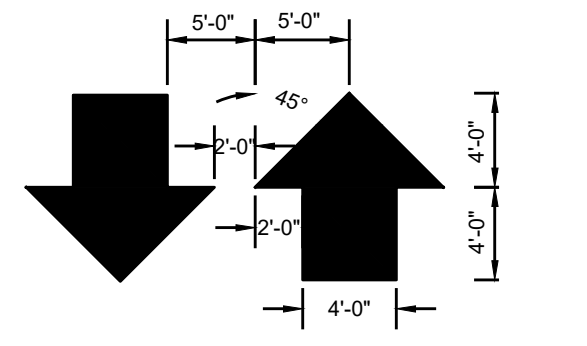


PRECAST CONCRETE WHEEL STOP
NTS



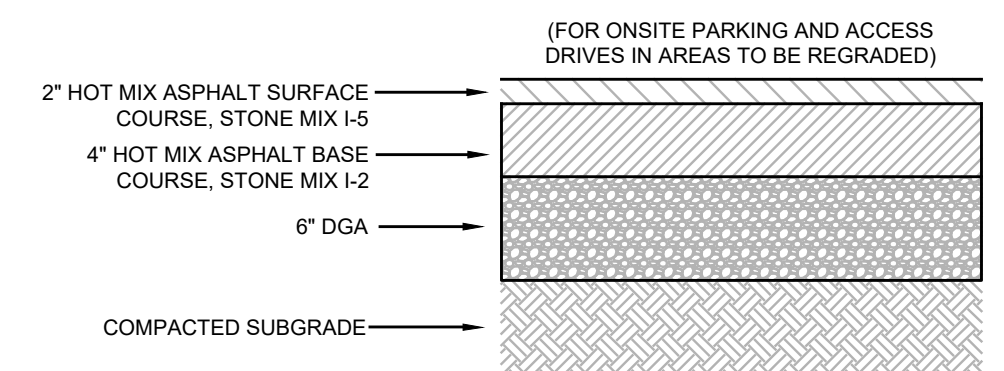
- CONSTRUCTION NOTES:
- SUBGRADE SHALL BE WELL DRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
 - THE SIDEWALK SHALL BE FINISHED WITH A WOOD FLOAT FOLLOWED BY BRUSHING WITH A WET SOFT HAIR BRUSH.
 - A FULL DEPTH TRANSVERSE EXPANSION JOINT IS TO BE CUT EVERY 20 LINEAR FEET. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, WHICH SHALL BE FLUSH WITH THE TOP. A FALSE TRANSVERSE JOINT IS TO BE CUT EVERY 4 LINEAR FEET.
 - WHERE SIDEWALK ADJOINS A CURB OR OTHER STRUCTURE, A 1/2" PREFORMED JOINT FILLER SHALL BE INSTALLED.
 - SEE DRIVEWAY APRON AND CURB SECTION DETAIL FOR SPECIFICATIONS OF SIDEWALK WHEN CROSSING A DRIVEWAY.

CONCRETE SIDEWALK
NTS



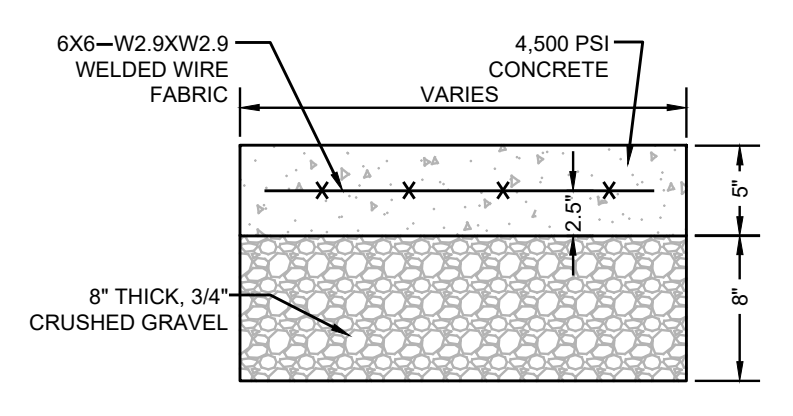
- NOTE:
- ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
 - THESE ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.

TRAFFIC ARROW PAVEMENT MARKINGS
NTS

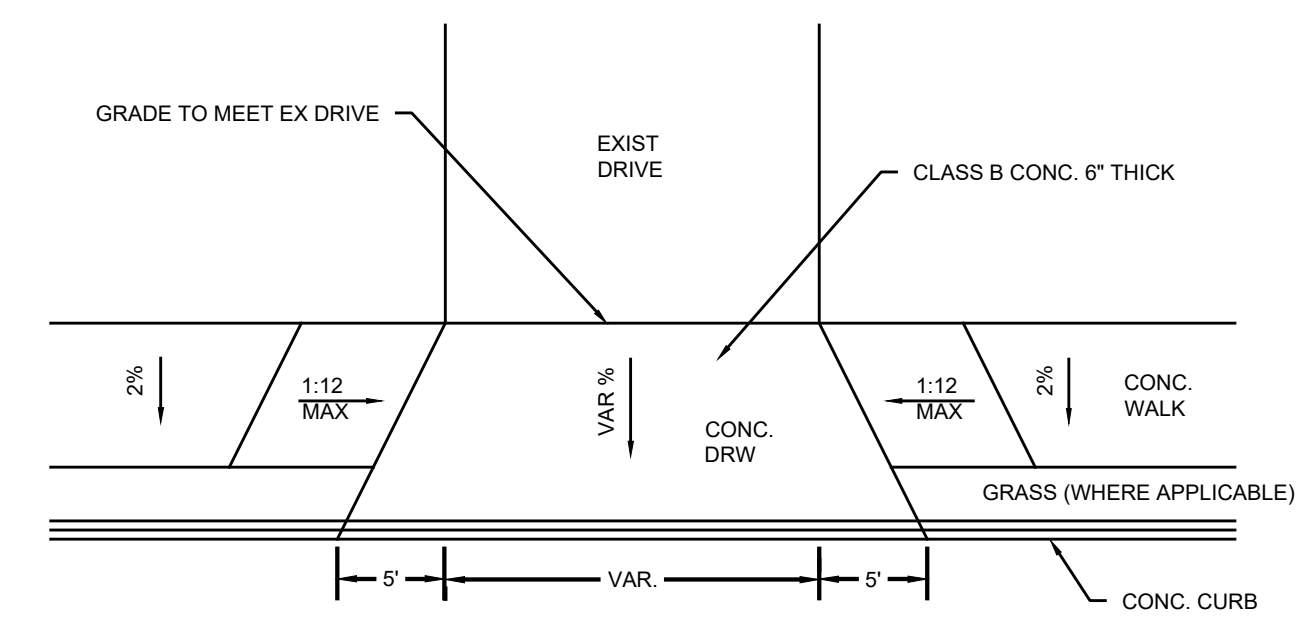


MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

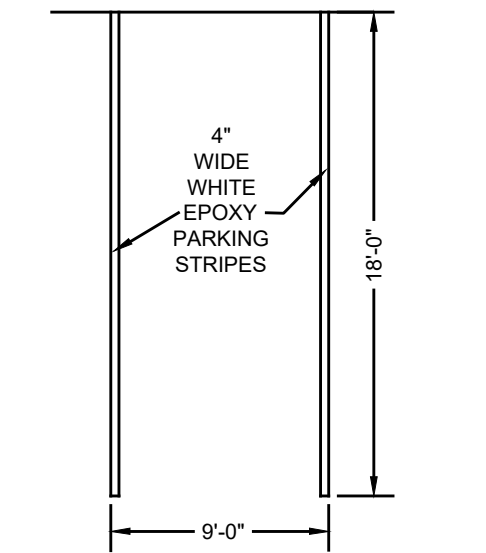
PAVEMENT SECTION
NTS



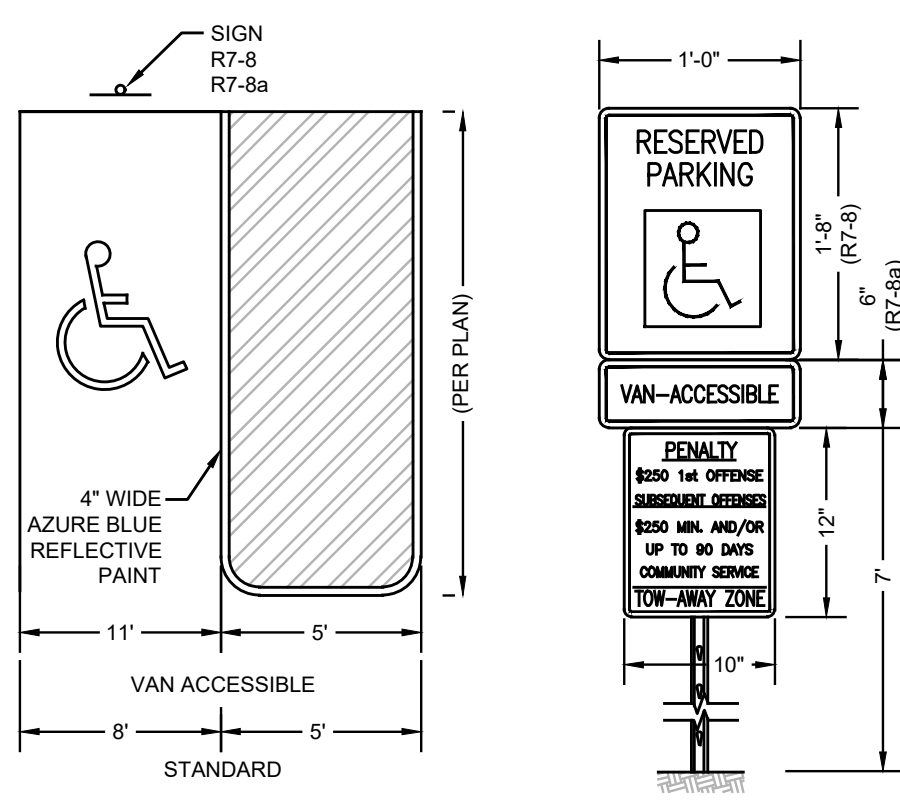
CONCRETE PAD
NTS



MONMOUTH COUNTY CONC. DRIVEWAY APRON DETAIL
NTS

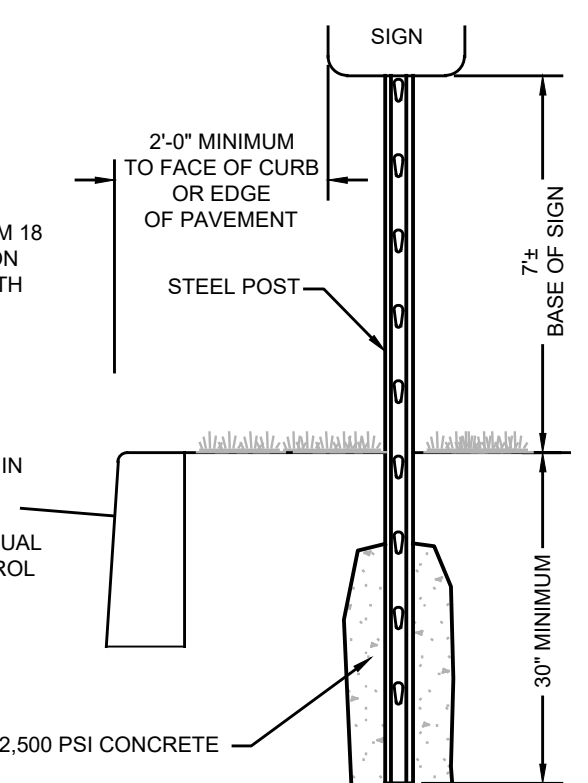


PARKING STRIPING
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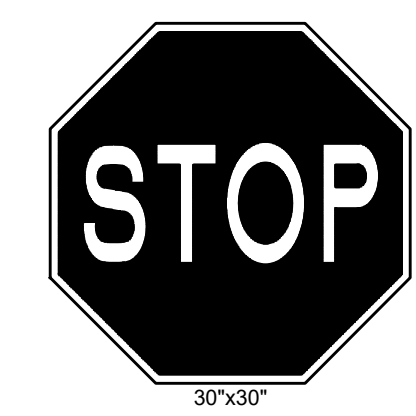


ACCESSIBLE PARKING STALL
NTS

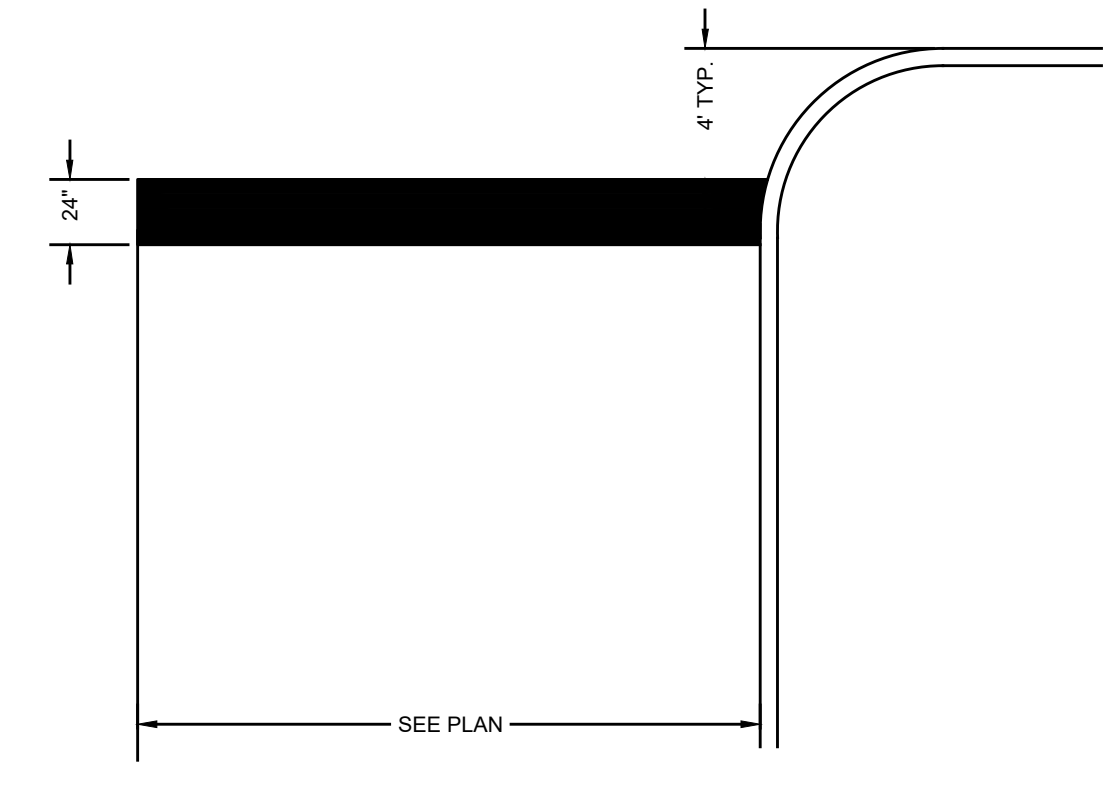
- NOTES:
- ALL SIGNS SHALL BE MINIMUM 18 GAUGE STEEL WITH BAKED ON ENAMEL FINISH. PROVIDE WITH PRE-PUNCHED MOUNTING HOLES.
 - POSTS: 2" STEEL U-CHANNEL BREAKAWAY POST.
 - SIGNS AND POSTS SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE AND MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



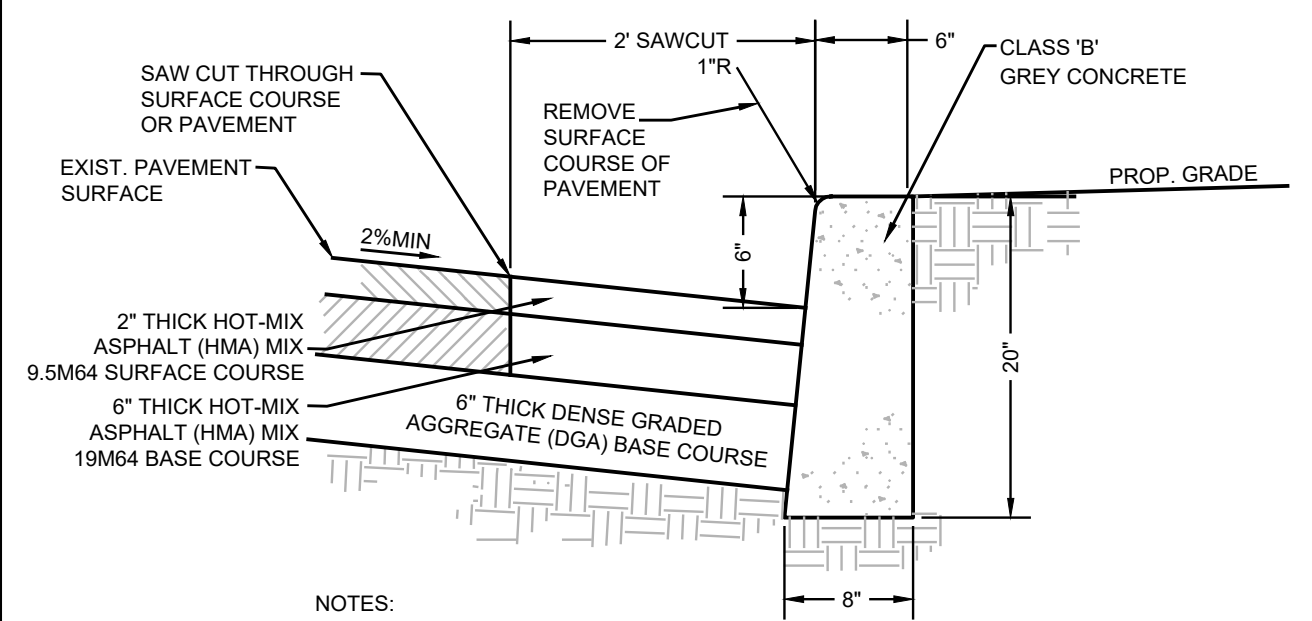
SIGN POST
NTS



STOP SIGN (R1-1)
NTS



THERMOPLASTIC STOP BAR
NTS



- NOTES:
- ALL WORKMANSHIP, METHODS AND MATERIALS TO BE IN ACCORDANCE WITH N.J.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, 1983"
 - MONMOUTH COUNTY ROAD OPENING PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
 - TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF A.A.S.H.O. SPEC. M-213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 - THE ALIGNMENT AND GRADE OF CURBING IS TO BE DETERMINED BY THAT ESTABLISHED OR EXISTING IN THE AREA AND SUBJECT TO THE APPROVAL OF THE COUNTY ENGINEER.

MONMOUTH COUNTY CURB & PAVEMENT DETAIL
NTS

PROJECT INFORMATION

PROJECT NAME:
501-511 LAKE TERRACE

PROJECT LOCATION:
BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER:
501 LAKE TERRACE, LLC
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT:
501 LAKE TERRACE, LLC
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY:
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49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT:
MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT:
BML STUDIO, LLC
11 PERMINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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ELECTRIC	RED
CAST IRON	YELLOW
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WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
UNDERGROUND UTILITIES	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

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Jason K. Fichter
JASON K. FICHTER, P.E., P.P., CFM, CME
NJPE #3718 NJPP #726 PAPE 61968
DEPE 3613 NYPE 802285 CYPE 23391
NCPPE 33336 DCPE 800682 COPE 38605

REVISIONS

Rev.#	Date	Comment
2	05/01/21	REV. PER CLIENT COMMENTS
1	05/06/21	REV. PER COUNTY COMMENTS
0	11/20/20	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01/2

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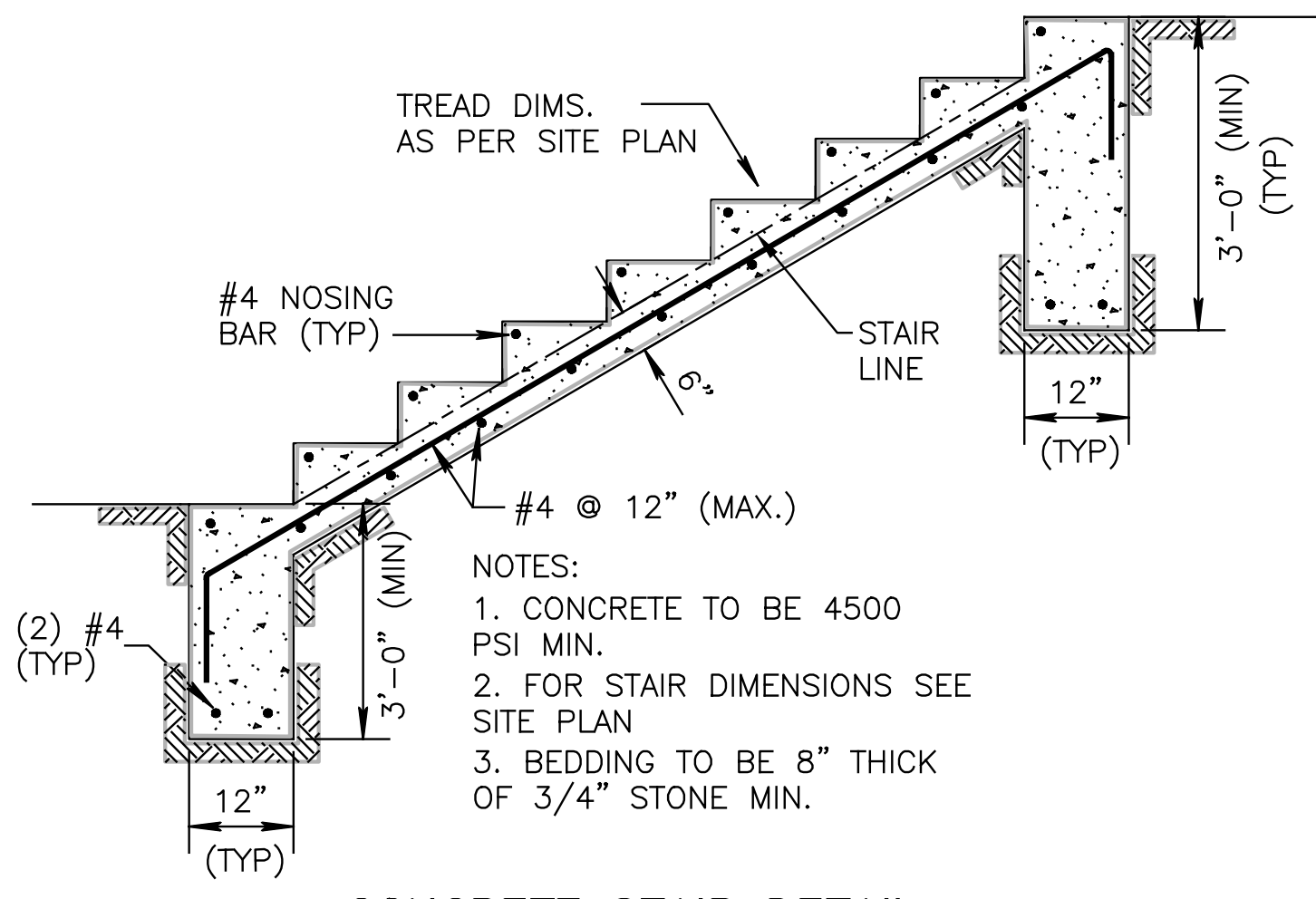
FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

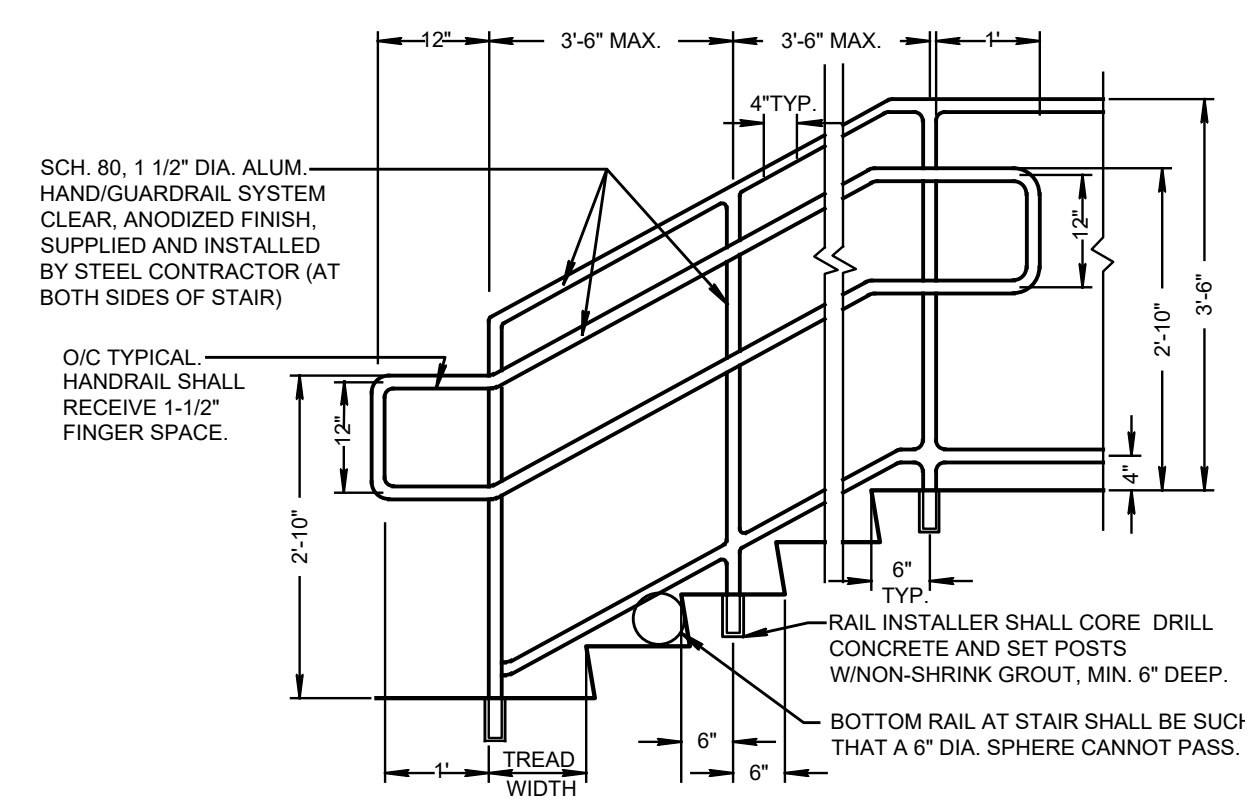
SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NO.:
C800

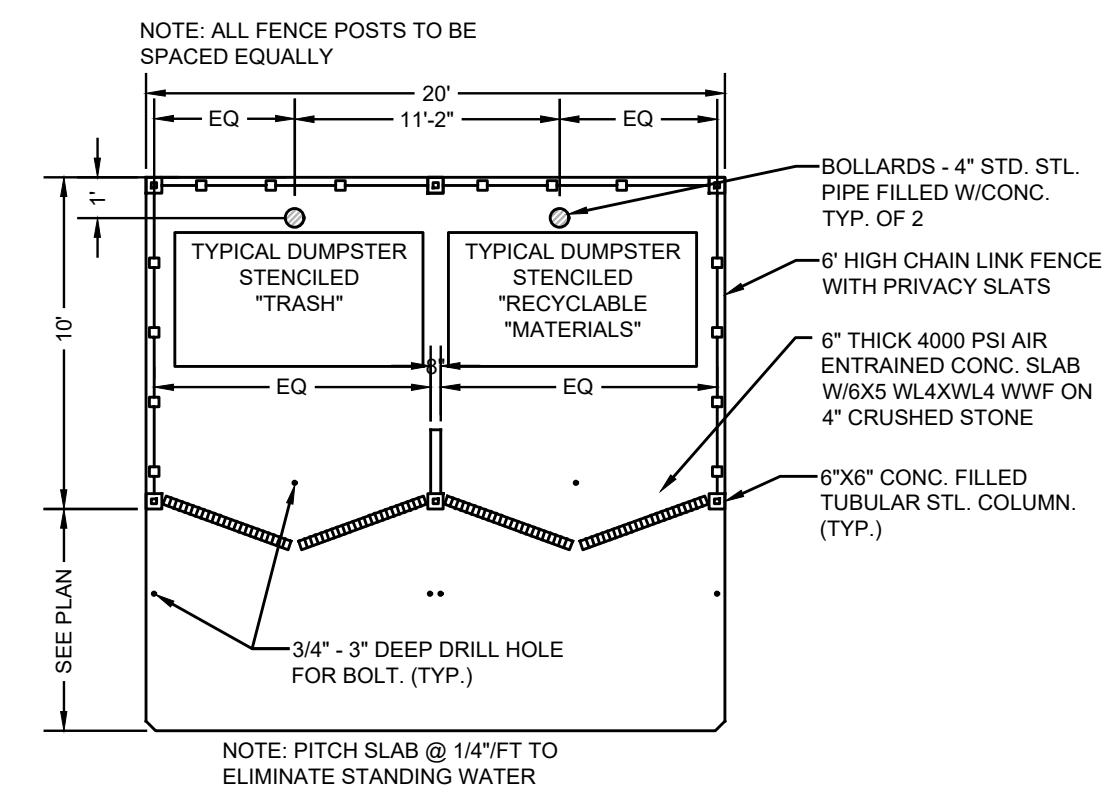
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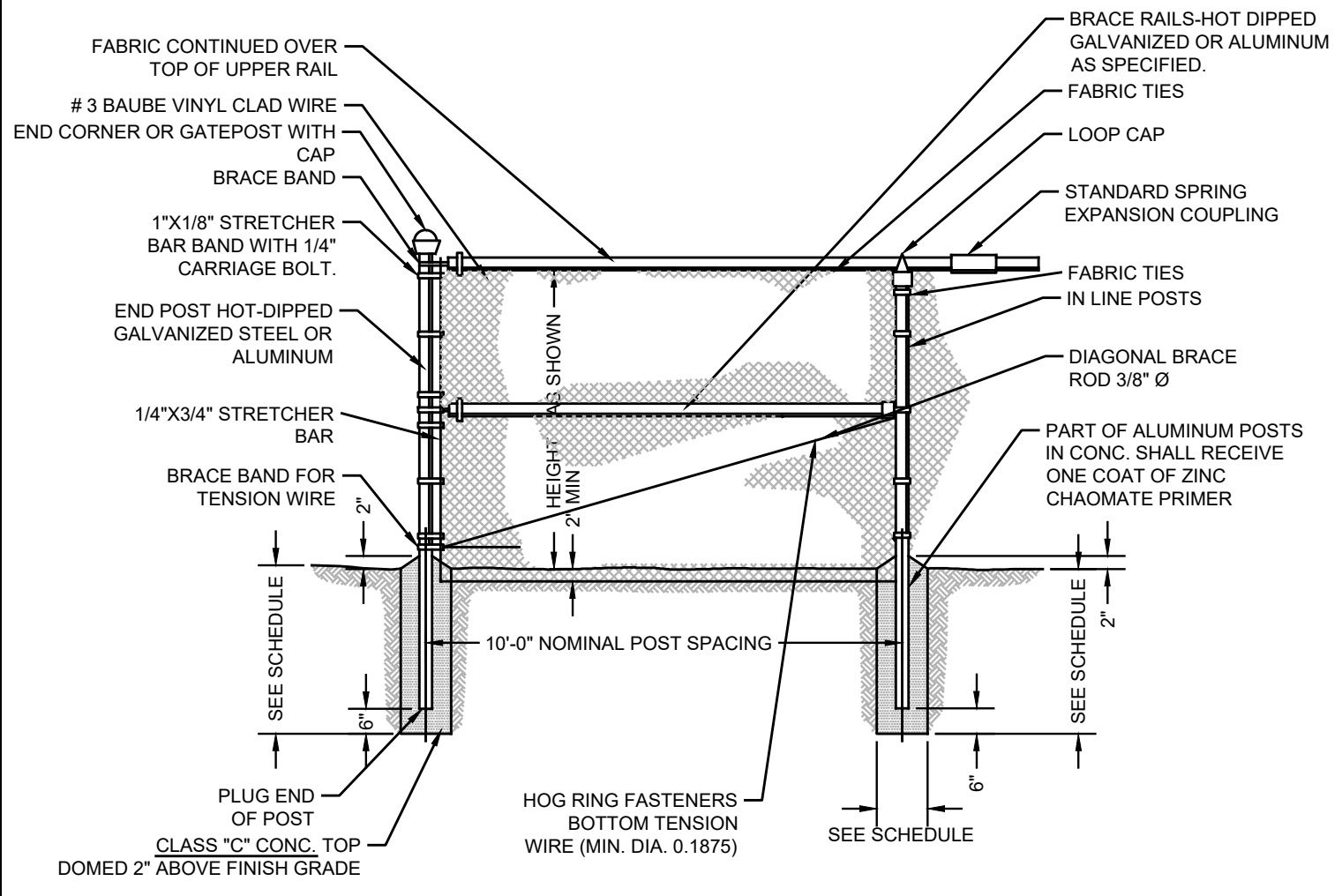
CONCRETE STAIR DETAIL
N.T.S.



GUARD AND HANDRAIL ASSEMBLY
N.T.S.

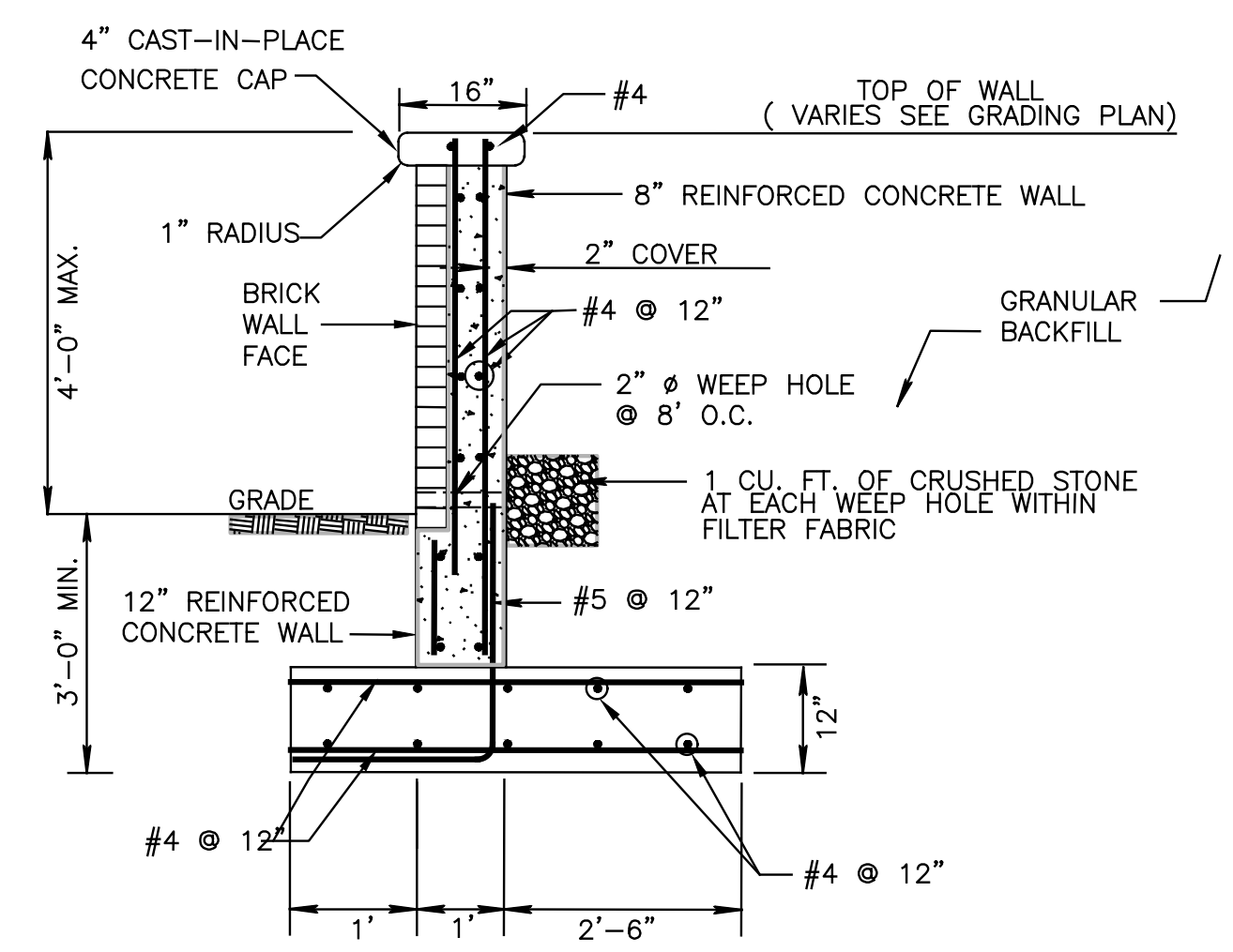


CHAIN LINK FENCE DUMPSTER ENCLOSURE: TWIN
N.T.S.



DESCRIPTION	NOMINAL FENCE HEIGHT		
	UNDER 4'	4' - 8'	8' - 12'
MEMBER SCHEDULE	2"	2-1/2"	2-1/2"
IN-LINE POST	2"	2-1/2"	2-1/2"
TERMINAL AND CORNER POSTS	2-1/2"	3"	3"
BRACE RAILS (TOP, BOTTOM OR INTERMEDIATE)	1-3/8"	1-5/8"	1-5/8"
FOOTING SCHEDULE			
FOOTING DEPTH	3'-6"	4'-0"	4'-0"
- CORNER AND TERMINAL POSTS	3'-0"	3'-6"	3'-6"
- GATE POSTS	3'-6"	4'-0"	4'-0"
FOOTING DIAMETER (BOTTOM)	12"	14"	16"
- CORNER AND TERMINAL POSTS	10"	12"	14"
- IN-LINE POSTS	12"	14"	16"
FOOTING DIAMETER (TOP)	10"	12"	14"
- CORNER AND TERMINAL POSTS	8"	10"	12"
- IN-LINE POSTS	10"	12"	14"
- GATE POSTS	10"	12"	14"

CHAIN LINK FENCE & SCHEDULE
N.T.S.

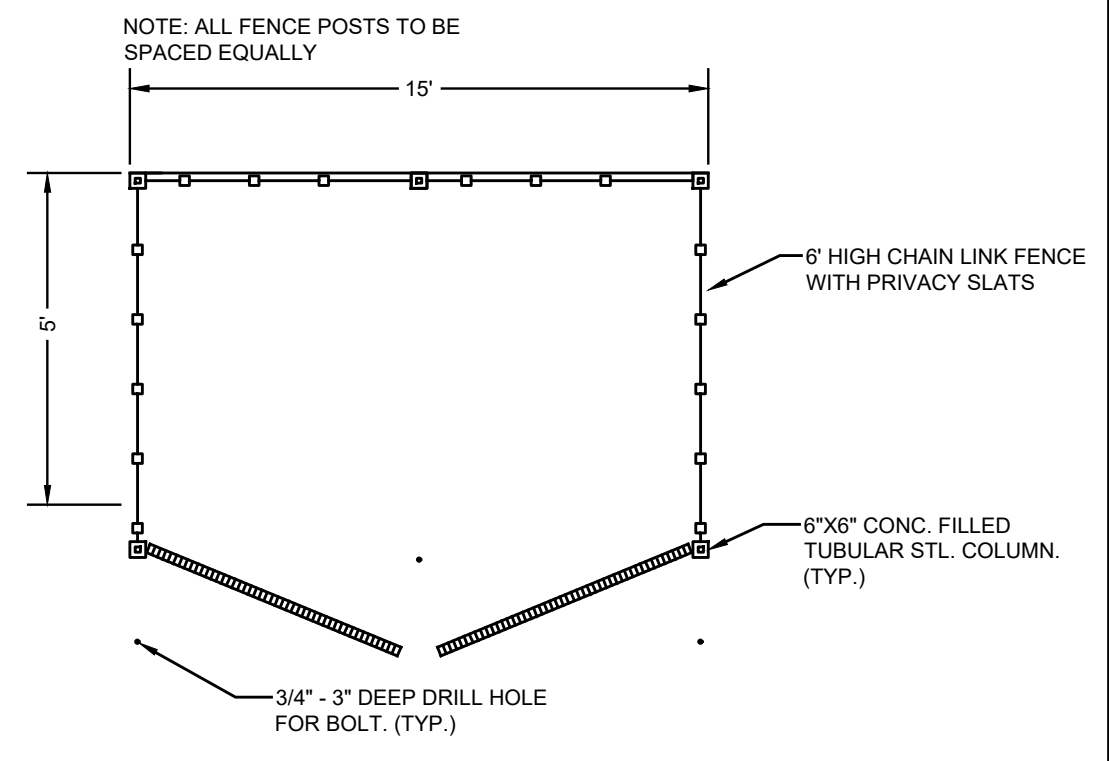


LANDSCAPE WALL (BRICK - ONE SIDE)
SCALE: N.T.S.

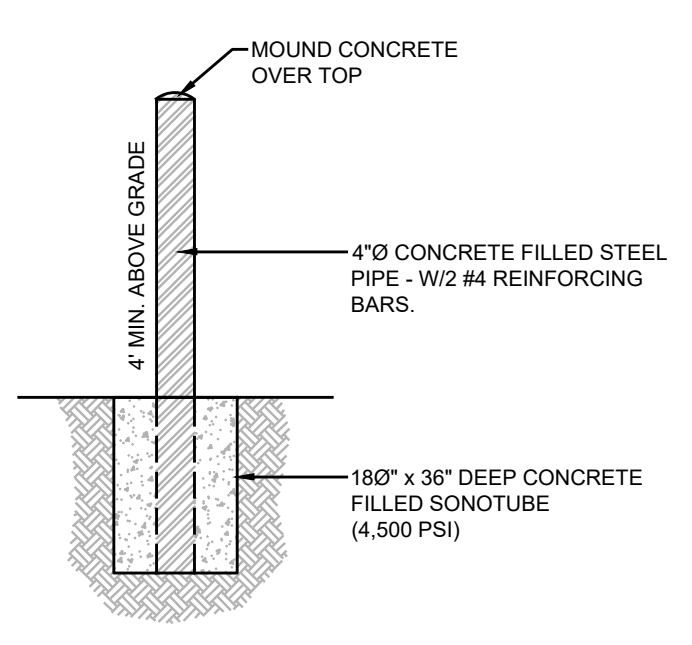


AUSTIN BENCH OR APPROVED EQUAL
SURFACE MOUNT BACKED ALUMINUM BENCH
POWDERCOAT FINISH: TO BE SELECTED BY OWNER
(SHOP DRAWING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE)

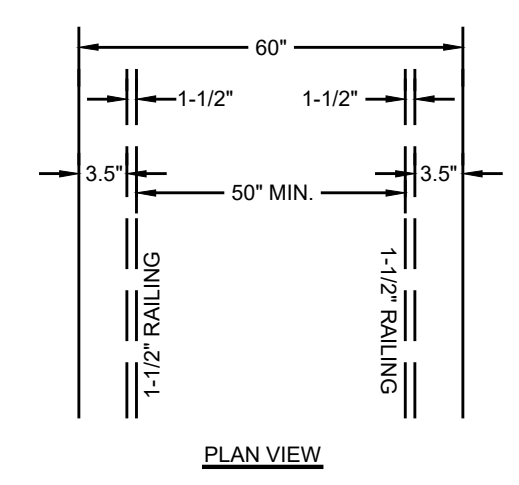
BENCH DETAIL
N.T.S.



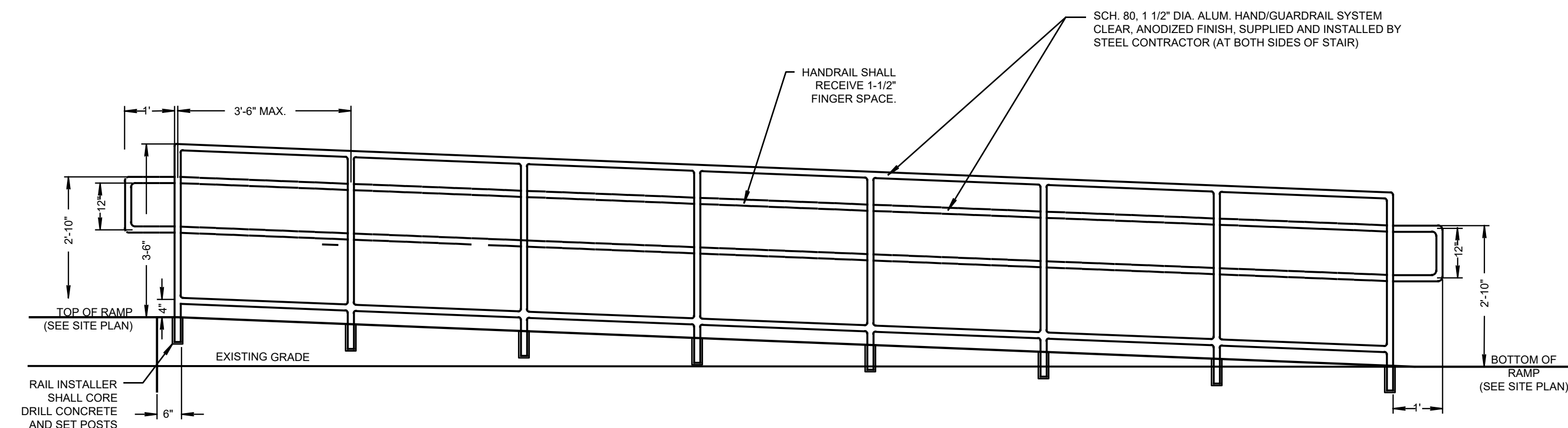
CHAIN LINK FENCE INDIVIDUAL TRASH BIN COLLECTION AREA DETAIL
N.T.S.



4" BOLLARD DETAIL
N.T.S.



PLAN VIEW



HANDICAPPED RAMP DETAIL
N.T.S.

PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BML STUDIO, LLC 11 PERMINCKLE DRIVE BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

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TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

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MASON F. FICHTER, PE, PP, CFM, CME
NJPE #3718 NJPP #726 PAPE 61968
DEPE 3813 NYPE 802285 CIPPE 23391
NCPPE 33336 DCPE 800682 COPE 38605

REVISIONS

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CAD ID: 20-1472-01/2

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FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

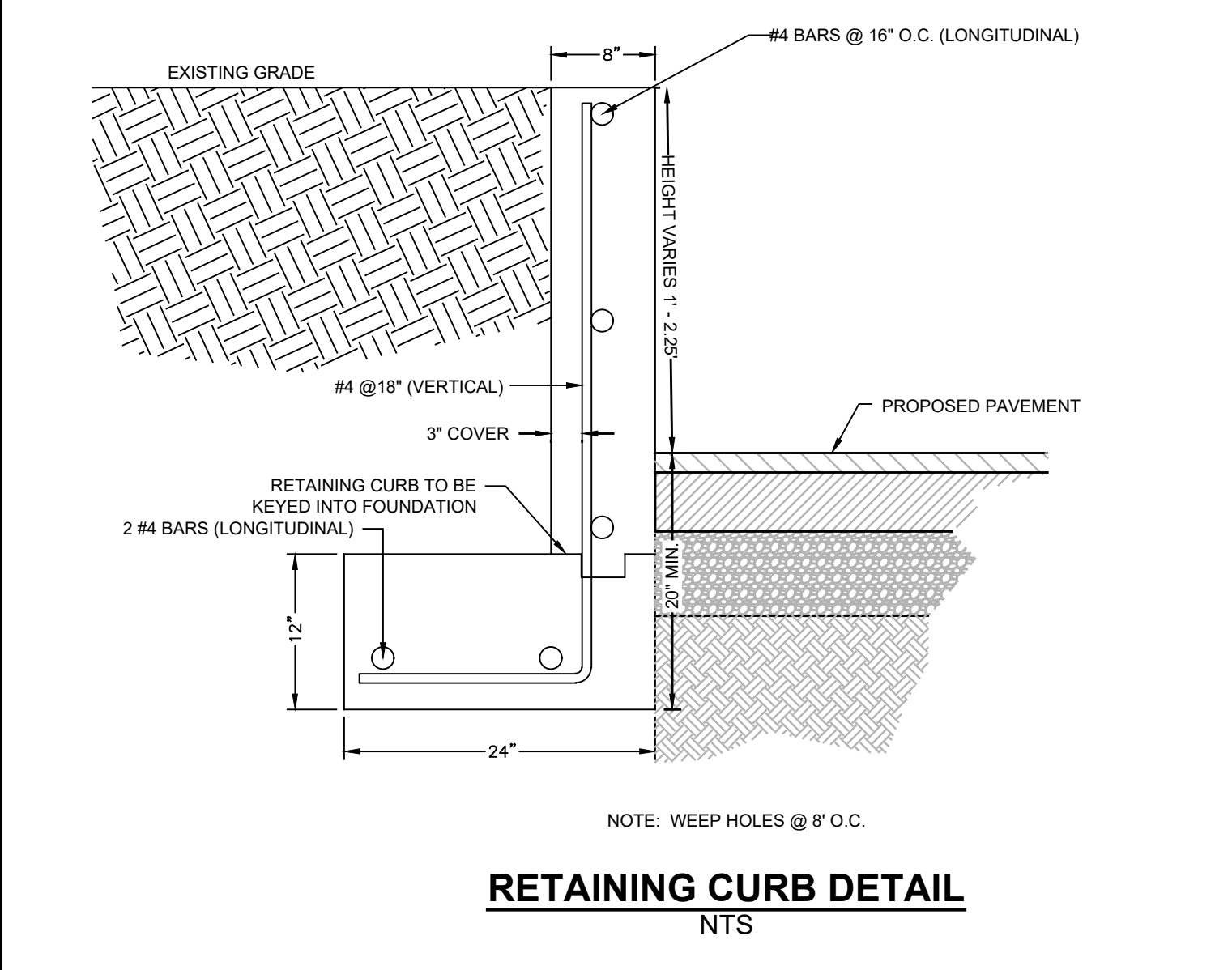
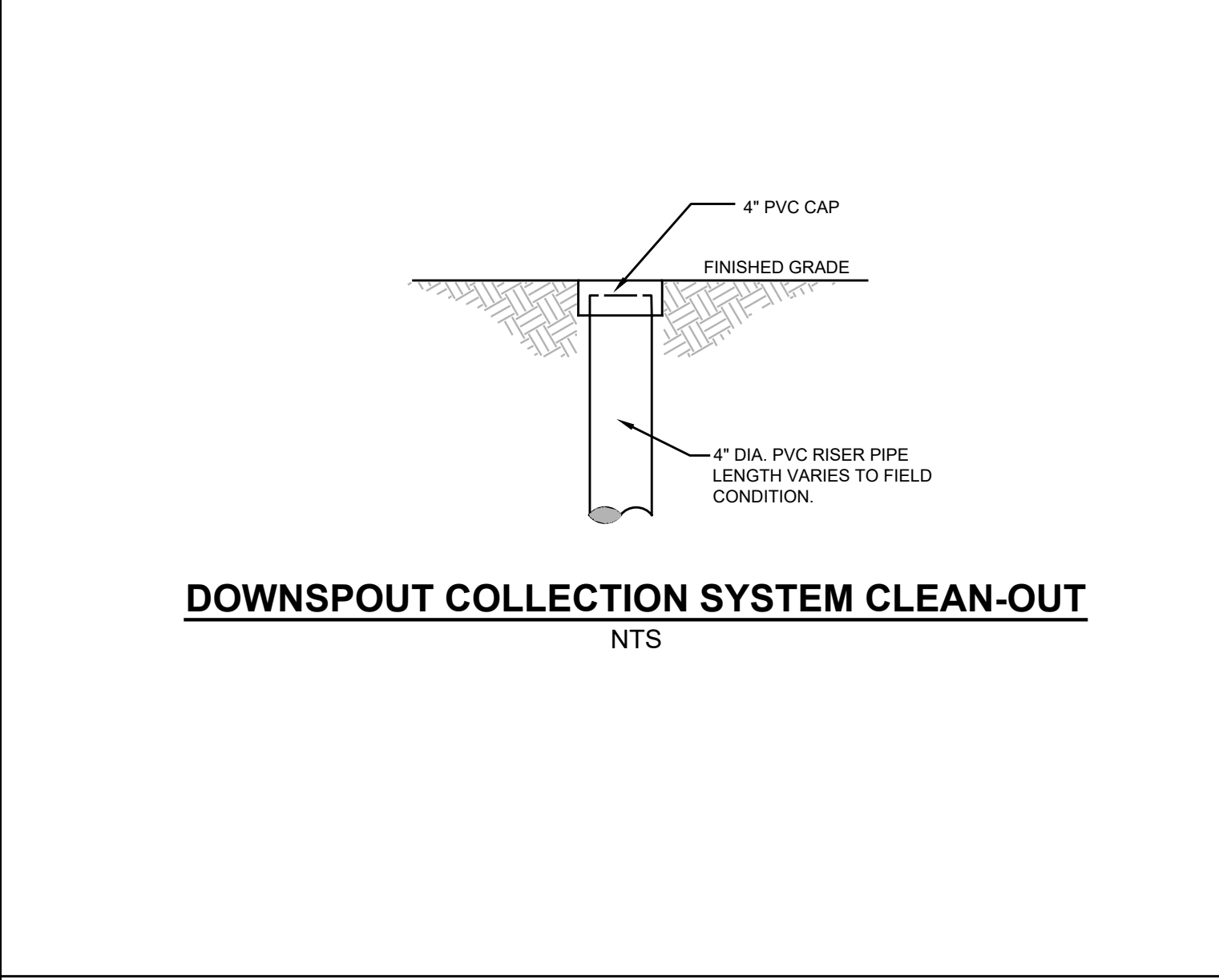
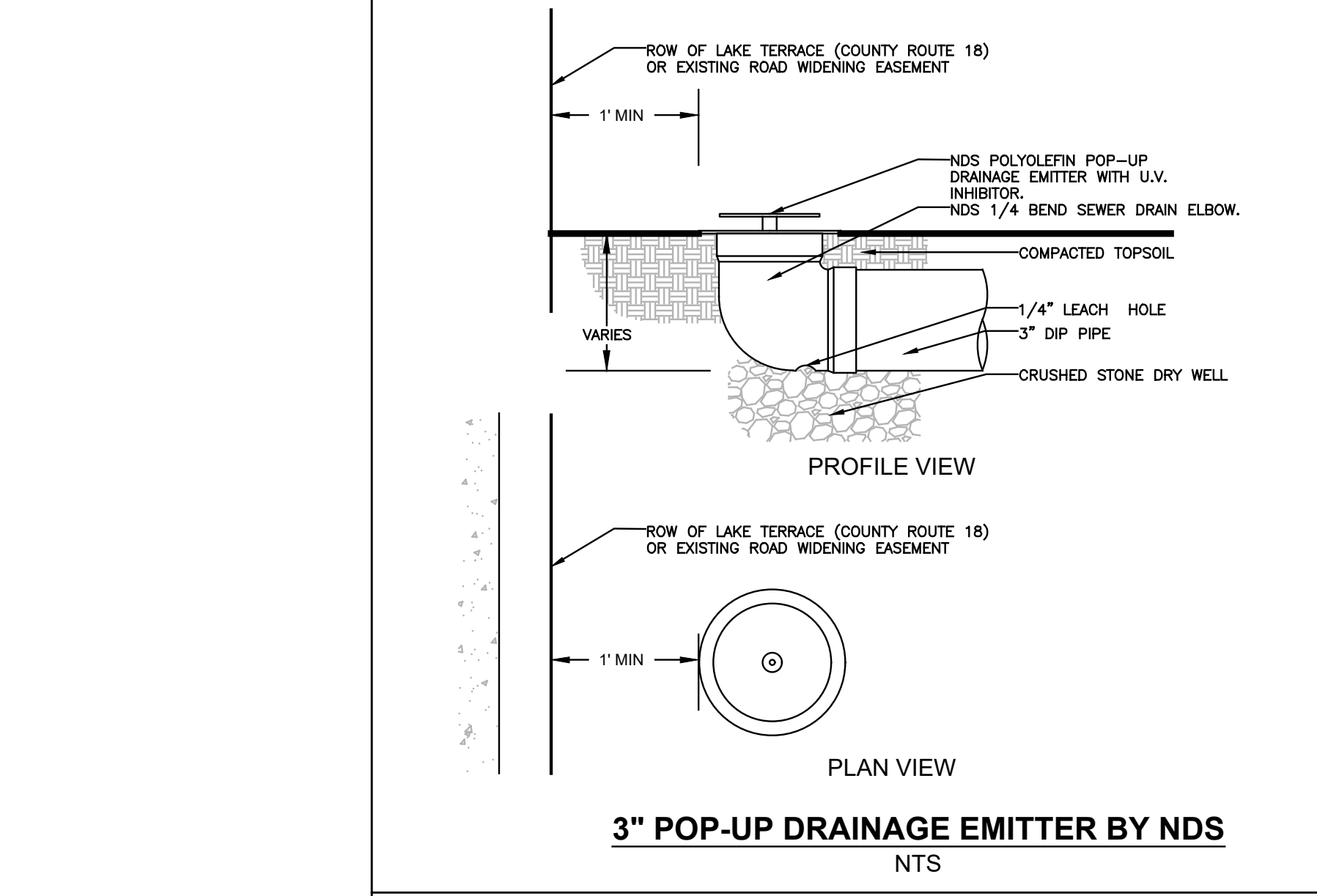
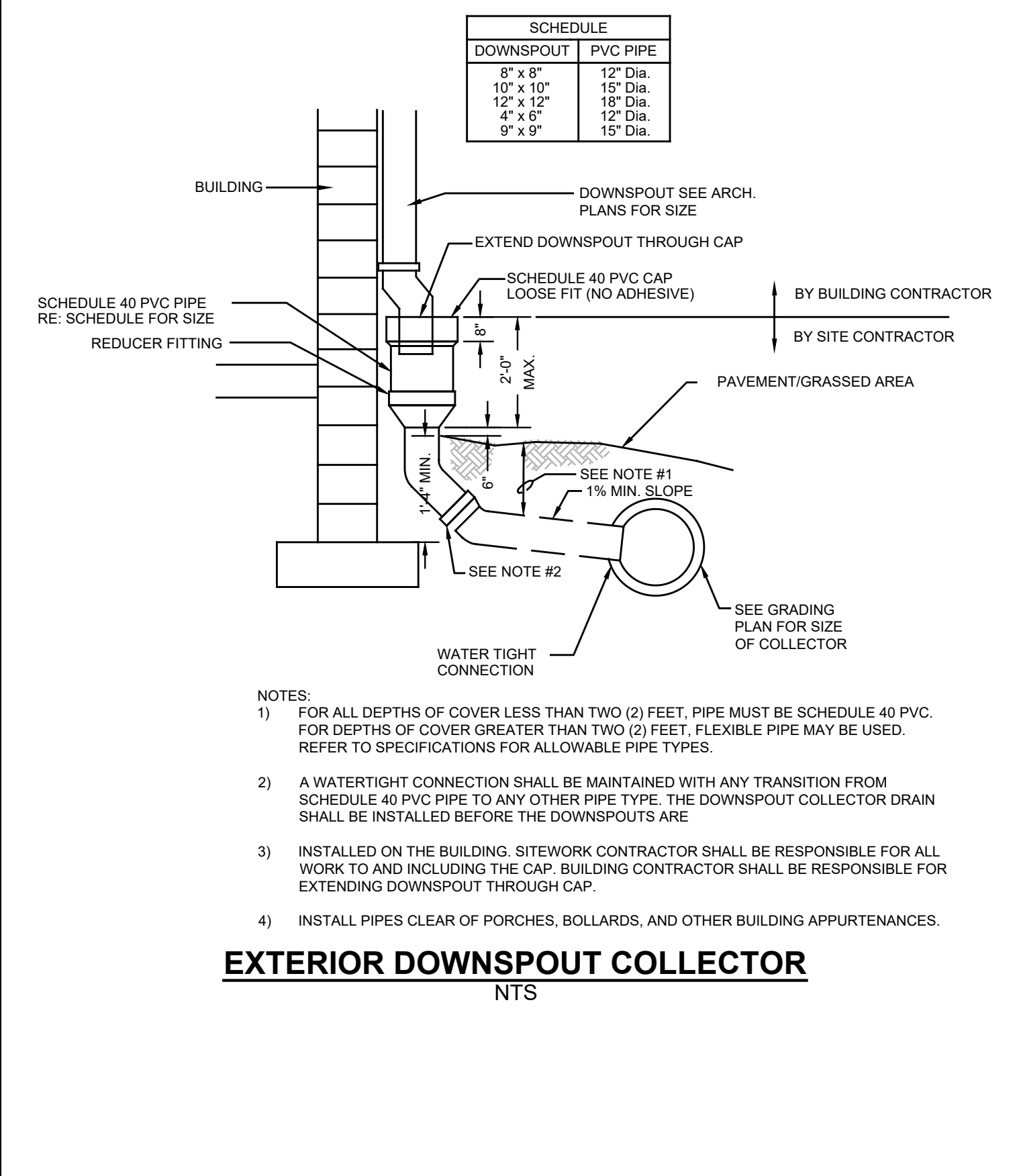
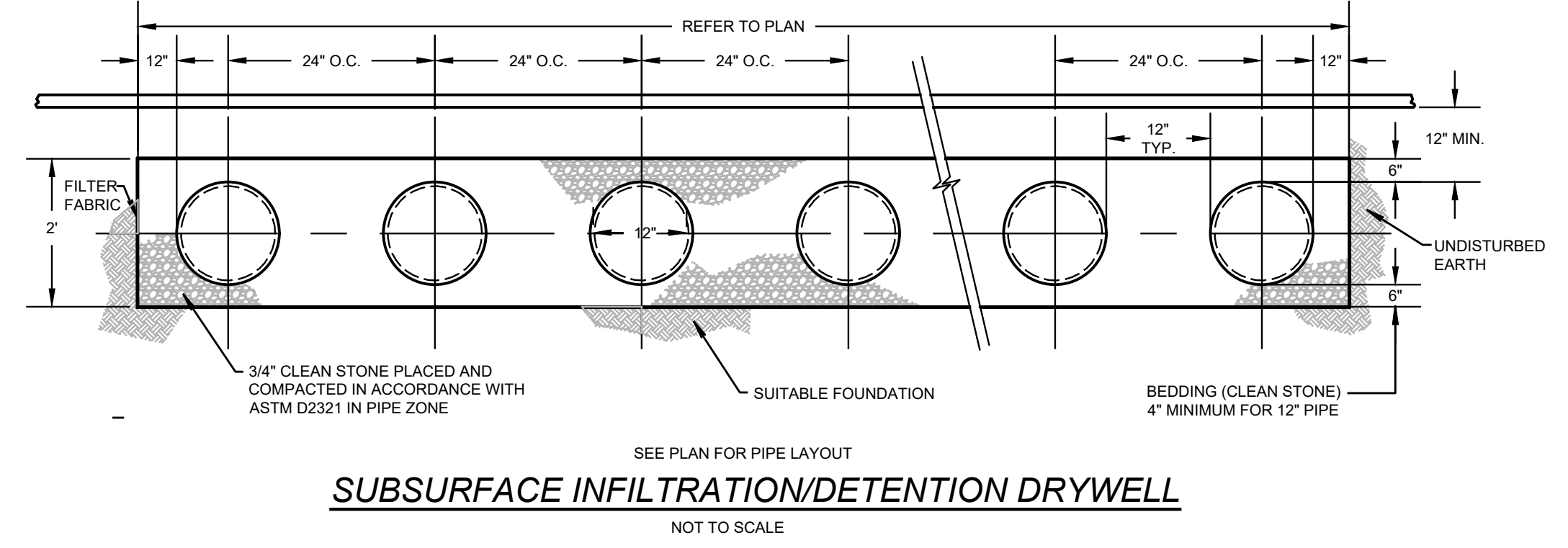
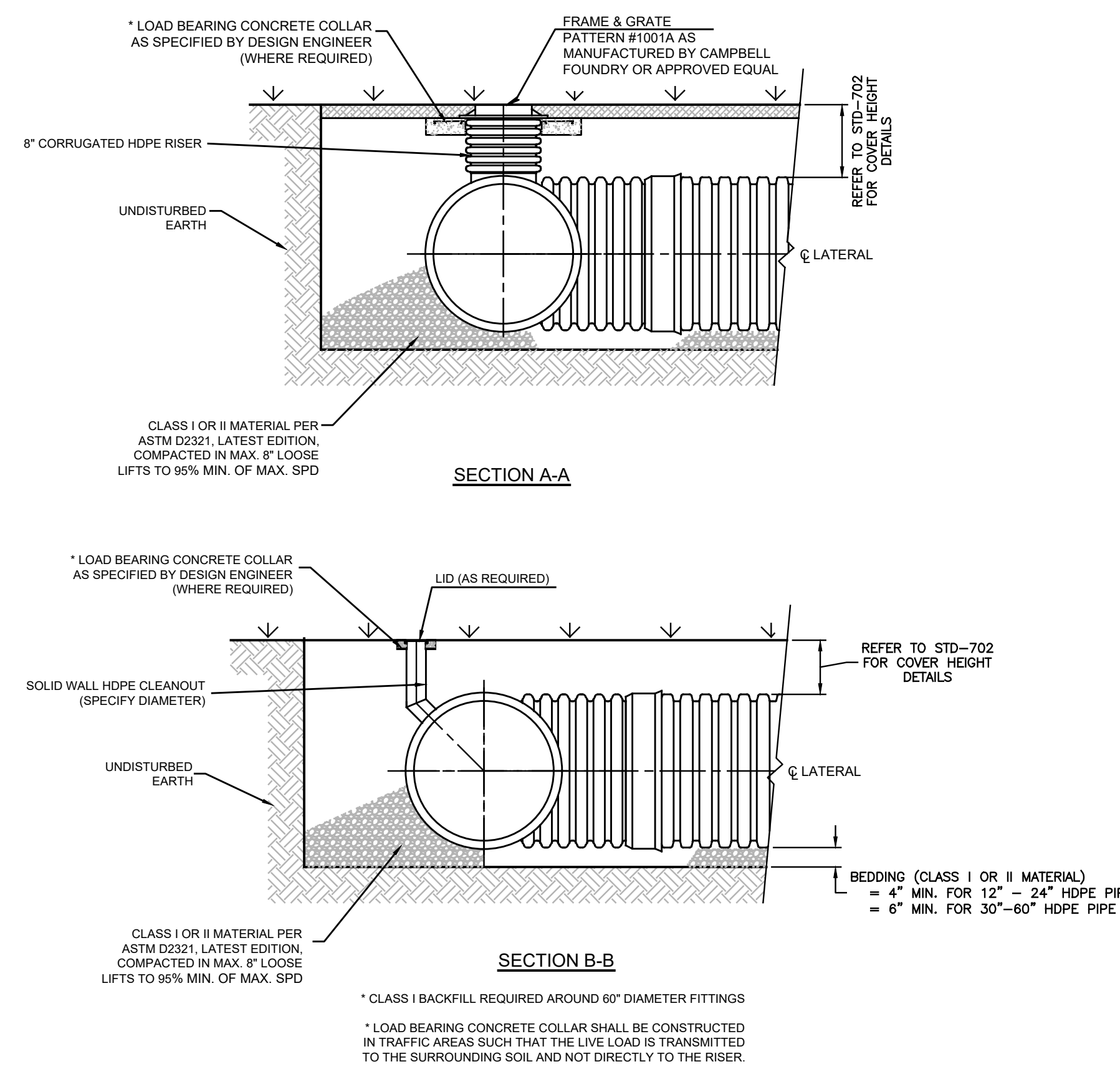
SHEET TITLE: CONSTRUCTION DETAILS

SHEET NO.: C801

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STORAGE VOLUME CALCULATION

DRYWELL SYSTEM A	DRYWELL SYSTEM B	DRYWELL SYSTEM C	DRYWELL SYSTEM D
$Q = (P \cdot 0.25) / (P + 0.85)$ (SCS Equation) $P = \text{Runoff (inches)}$ $Q = \text{Runoff curve no.} = 98$ $CH = (1000 / CH) - 10 = 0.20$ $Q = 1.03$ in Roof Area = 2084.00 sf Runoff Volume = 179.67 cf	$Q = (P \cdot 0.25) / (P + 0.85)$ (SCS Equation) $P = \text{Runoff (inches)}$ $Q = \text{Runoff curve no.} = 98$ $CH = (1000 / CH) - 10 = 0.20$ $Q = 1.03$ in Roof Area = 6539.00 sf Runoff Volume = 563.76 cf	$Q = (P \cdot 0.25) / (P + 0.85)$ (SCS Equation) $P = \text{Runoff (inches)}$ $Q = \text{Runoff curve no.} = 98$ $CH = (1000 / CH) - 10 = 0.20$ $Q = 1.03$ in Roof Area = 8948.00 sf Runoff Volume = 693.85 cf	$Q = (P \cdot 0.25) / (P + 0.85)$ (SCS Equation) $P = \text{Runoff (inches)}$ $Q = \text{Runoff curve no.} = 98$ $CH = (1000 / CH) - 10 = 0.20$ $Q = 1.03$ in Roof Area = 7257.00 sf Runoff Volume = 625.66 cf
Drywell volume (perf pipe + stone) Perf pipe diameter: 12 in Stone surround: 6 in Length of pipe: 275 ft trench dim's (square): 2.00 ft pipe diameter: 1.00 ft pipe volume/LF: 0.79 cf void ratio: 0.40 stone volume/LF: 1.29 cf	Drywell volume (perf pipe + stone) Perf pipe diameter: 12 in Stone surround: 6 in Length of pipe: 275 ft trench dim's (square): 2.00 ft pipe diameter: 1.00 ft pipe volume/LF: 0.79 cf void ratio: 0.40 stone volume/LF: 1.29 cf	Drywell volume (perf pipe + stone) Perf pipe diameter: 12 in Stone surround: 6 in Length of pipe: 340 ft trench dim's (square): 2.00 ft pipe diameter: 1.00 ft pipe volume/LF: 0.79 cf void ratio: 0.40 stone volume/LF: 1.29 cf	Drywell volume (perf pipe + stone) Perf pipe diameter: 12 in Stone surround: 6 in Length of pipe: 310 ft trench dim's (square): 2.00 ft pipe diameter: 1.00 ft pipe volume/LF: 0.79 cf void ratio: 0.40 stone volume/LF: 1.29 cf
Total storage volume = 186.41 cf	Total storage volume = 569.59 cf	Total storage volume = 704.22 cf	Total storage volume = 642.08 cf
Total roof runoff volume = 179.67 cf	Total roof runoff volume = 563.76 cf	Total roof runoff volume = 693.85 cf	Total roof runoff volume = 625.66 cf



PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS:

ATTORNEY: FOX ROTHCHILD, LLP
49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BNL STUDIO, LLC
11 PERMINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: WASTE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

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ELECTRIC	RED
CABLE	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
BROWNS/BLACK/WHITE	WHITE

INSITE ENGINEERING, LLC
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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Jason F. Ticht
JASON F. TICTH, P.E., P.P., C.F.M., C.M.E.
NJPE #3718 NJPP #726 PAPE 61968
DEPE 3613 NYPE 80295 CPE 23391
NCPPE 33336 DCPPE 900682 CCOPE 36605

REVISIONS

Rev.#	Date	Comment
2	05/01/21	REV. PER CLIENT COMMENTS
1	05/06/21	REV. PER COUNTY COMMENTS
0	11/20/20	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01r2

NOT FOR CONSTRUCTION APPROVED BY: _____

FOR CONSTRUCTION PLAN INFORMATION

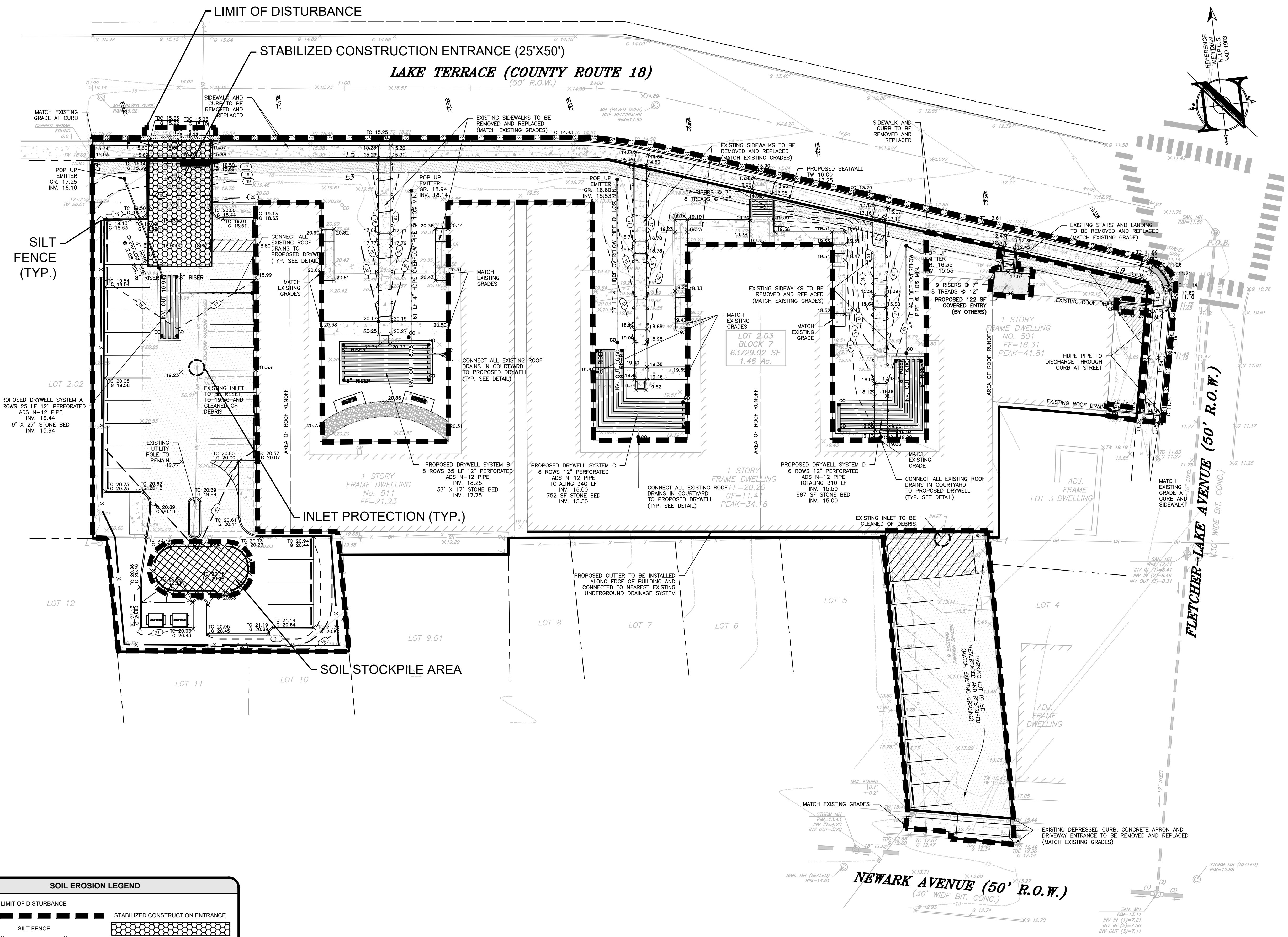
DRAWING TITLE: **PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NO.: **C802**

File: A:\501-511 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, LLC.dwg -- 08/23/2023 10:02:33 AM -- Construction Details
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- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- TRACKING PADS TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED SESC PLAN. A MINIMUM OF 1 TRACKING PAD MUST BE IN OPERATION AT ALL TIMES. ADDITIONAL TRACKING PADS, CONFORMING TO SESC STANDARDS MAY BE ADDED AS THE CONTRACTOR DEEMS NECESSARY.
 - SOIL STOCKPILES TO BE PLACED AS REQUIRED WITHIN THE PROJECT SITE AND SILT FENCE LIMITS WITH SILT FENCE PLACED AROUND THE PERIMETER IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DETAILS.
 - SHOULD ADDITIONAL STOCKPILE AREA BE NEEDED, THE CONTRACTOR SHALL CONFORM TO THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - THIS PLAN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJG0088323 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.
 - THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.



PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS:

ATTORNEY: FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BML STUDIO, LLC 11 PERKINWILE DRIVE BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

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CLERK	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
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1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (PH) 732-531-7344 (FAX)
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Jason K. Fichter, PE, PP, CFM, CME
N.J.P.E. #3718 N.J.P.P. #726 P.A.P.E. #1968
DEPE 3613 NYPE 802285 C/PPE 23291
NCPCE 33336 DCPE 800682 COPE 38605

REVISIONS

Rev. #	Date	Description
1	11/20/20	INITIAL RELEASE
2	05/01/21	REV. PER CLIENT COMMENTS
3	05/06/21	REV. PER COUNTY COMMENTS
4	01/12/22	INITIAL RELEASE

SCALE: 1"=20'

DATE: 11/20/20 DESIGNED BY: CMB

DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF

CAD ID: 20-1472-01r2

NOT FOR CONSTRUCTION

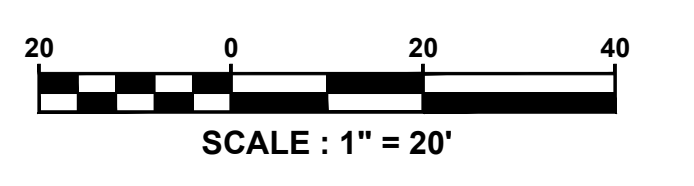
APPROVED BY:

PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION & SEDIMENT CONTROL PLAN

C900

File: S:\Info\1472 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace_Bradley Beach, NJ\20147201DWG\108-SESC.dwg, --D-- 0900 SESS Copyright 2021, InSite Engineering, LLC. All Rights Reserved.



LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND

LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	PROPOSED TREE PROTECTION

CONSTRUCTION / SPPP NOTE

THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.91 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017), THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.

