PRELIMINARY & FINAL MAJOR SITE PLAN FOR 501-511 LAKE TERRACE

BLOCK 7, LOT 2.03 TAX MAP SHEET #1 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, NJ

Maria District	D	Made = A.1.1	Charles - Fr
Muni-Block-Lot 1308-17-1	Property Owner WONG WENDY & WINCIE & JEFFREY	Mailing Address 83-25 VIETOR AVE-APT 7C	City/State/Zip ELMHURST NY 11373
1308-17-19	BIANCHI RICHARD T. SR. & PATRICIA	414 PARK PLACE AVE	BRADLEY BEACH N J 07720
1308-17-2	COOPERMAN DANIEL R & LENORE F.	413 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-17-20	SCHENKER KAREN MCCLAIN ET ALS	4 BROOKFIELD COURT	CHESHIRE CT 06410
1308-17-3	O CONNELL KEVIN & TIZIANA NATASHA	411 1/2 NEWARK AVE	BRADLEY BEACH NJ 07720
L308-18-1 L308-18-10	HOLLOWAY CANDACE CARREA DOMINIC & PAGNOTTA BEATRICE	517 NEWARK AVE 501 NEWARK AVE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
308-18-11	VELARDI THOMAS & CHRISTINE	2 HOOPER CT	CLARKSBURG NJ 08510
1308-18-12	MULKINS BLAIR & MILLMANN LOUISE	502 PARK PLACE AVE	BRADLEY BEACH NJ 07720
L308-18- 1 3	O NEILL CHARLES B. & MARY D.	108 EVERGREEN AVE	BRADLEY BEACH NJ 07720
308-18-14	IYER GURURAJ & SONEJA PRIYANKA	506 PARK PLACE AVE	BRADLEY BEACH NJ 07720
.308-18-15	MAFFIA JAMES A RANDOLPH KENNETH F & CONSTANCE	1202 MARION AVE 508 PARK PLACE AVE	OCEAN NJ 07712 BRADLEY BEACH NJ 07720
.308-18-17	PREKOP JACQUELINE	508A PARK PLACE AVE	BRADLEY BEACH NJ 07720
.308-18-18	AURIEMMA ARTHUR & SAVINO HOPE	44 OVERLOOK TERRACE	BLOOMFIELD NJ 07003
.308-18-19	MELICK JENNIFER	512 PARK PLACE AVE	BRADLEY BEACH NJ 07720
.308-18-2	BARRATT KELLY A & JONATHAN L	515 NEWARK AVE	BRADLEY BEACH NJ 07720
308-18-20	AGUAM DARYLE S & CINDY	514 PARK PLACE AVE	BRADLEY BEACH NJ 07720
308-18-21 308-18-3	MCDONOUGH DENNIS P & ROBERTA B HAHN MICHAEL & RACHEL C.	516 PARK PLACE AVENUE 14 WINDERMERE ROAD	BRADLEY BEACH NJ 07720 LINCROFT NJ 07738
308-18-4	MORACA MIRIAM	949 79TH ST	BROOKLYN NY 11228
308-18-5	PERAZA LILLIAN	509 1/2 NEWARK AVE	BRADLEY BEACH N J 07720
308-18-6	CONNOLLY ALICE T. TRUSTEE	223 A N MIDDLETOWN RD	PEARL RIVER NY 10965
308-18-7	GROSS IRA & JUAREZ JL	507 NEWARK AVE	BRADLEY BEACH NJ 07720
308-18-8	ALBRECHT TRUST: JEFFREY TRUSTEE	1412 WEST 6 1/2 STREET	AUSTIN TX 78703
308-18-9 308-19-5	HARTIGAN MARK & ELIZABETH P NUTAITIS JULIANN	64 BROOKFIELD AVE 605 NEWARK AVE	NUTLEY NJ 07110 BRADLEY BEACH NJ 07720
308-19-6	ARIAS ROBERTO	603-1/2 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-19-7	DORRIS PETER M & MICHELE M	3 CARNATION COURT	MT. LAUREL NJ 08054
308-19-8	KOEBLER AMY BLOCK	P.O. BOX 544	NANUET NY 10954
308-19-9	SIROTA HEIDI	7681 TIMBER CIRCLE	HUNTINGTON BEACH CA 92648
308-2-1 308-2-1.01	OCEAN GROVE CAMPMEETING ASSOCIATION ROSS JUDITH M	PO BOX 248 414 LAKE TERRACE	OCEAN GROVE NJ 07756 BRADLEY BEACH NJ 07720
308-2-1.01	OCEAN GROVE CAMPMEETING ASSOCIATION	54 PITMAN AVE	OCEAN GROVE NJ 07756
308-2-2.01	VANARSDALE THOMAS R III ETAL	412 LAKE TERRACE	BRADLEY BEACH NJ 07720
308-2-3.01	WIECZOREK FRANK C. & GLORIA	410 LAKE TERRACE	BRADLEY BEACH NJ 07720
308-2-4.01	FLIPSE ROBYN	408 LAKE TERRACE	BRADLEY BEACH NJ 07720
308-4.01-1 308-4.01-10	TRULLO RICHARD BALL SHARON	520 LAKE TERRACE	POMONA NY 1097C
308-4.01-10	ISAKSEN JUDITH	123 POMONA ROAD 500 LAKE TERRACE	POMONA NY 1097C BRADLEY BEACH NJ 07720
308-4.01-2	SHAH UTPAL & MARITONI	4393 PROVINCE LINE ROAD	PRINCETON NJ 08540
308-4.01-3	GUERCIO RICHARD & SUSAN	800 FILBERT STREET	ROSELLE PARK NJ 07204
308-4.01-4	MASELLA RICHARD & JEAN MARIE	514 LAKE TERR	BRADLEY BEACH NJ 07720
308-4.01-5	BONOMOLO PETER A & PATRICIA	512 LAKE TERRACE	BRADLEY BEACH NJ 07720
308-4.01-6 308-4.01-7	HURLEY KEVIN J & MARYANN JULIAN JUNE	510 LAKE TERRACE 508 LAKE TERR	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
.308-4.01-8	BELLINA CHARLES & NANCY	PO BOX 114	BRADLEY BEACH NJ 07720
308-4.01-9	GRYSZKA MARLENE A & WILLIAM J	504 LAKE TERR	BRADLEY BEACH NJ 07720
308-4.02-1	OCEAN GROVE CAMPMEETING ASSOCIATION	PO BOX 248	OCEAN GROVE NJ 07756
308-4.02-2	STRASSBURGER ALBERT & LINDA	130 INSKIP AVE	OCEAN GROVE N J 07756
308-4.03-1	BOROUGH OF BRADLEY BEACH	701 MAIN STREET	BRADLEY BEACH NJ 07720
308-5-1.01 308-7-1	MERIDIAN NURSING & REHABILITATION OCEAN GROVE CAMP MEEING ASSC OF THE	1350 CAMPUS PARKWAY PO BOX 248	NEPTUNE NJ 07753 OCEAN GROVE NJ 07756
308-7-10	DALRYMPLE JOHN F & CIEMPOLA PAULS	514 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-7-11	WEST ROBERT JAY & EVA MARIE	518 NEWARK AVE	BRADLEY BEACH NJ 07720
308-7-12	TRIOLO CHARLES E & ELIZ. RAFTERY	520 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-7-13	CURCIO DANIELLE L	600 1/2 NEWARK AVE	BRADLEY BEACH NJ 07720
308-7-14 308-7-15	SHI SHOU HENG SCHMIDT PHYLLIS	355 61TH STREET 602 NEWARK AVENUE	BROOKLYN NY 11220 BRADLEY BEACH NJ 07720
308-7-16	ANDERSON AMY LYN	602 1/2 NEWARK AVE	BRADLEY BEACH NJ 07720
308-7-17	HOFSESS SCOTT & JOANNE	604 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-7-18	RING JOHN P	606 NEWARK AVE	BRADLEY BEACH N J 07720
308-7-19	TAYLOR ROBERT & INEZ	1024 ARNOLD AVE	RARITAN NJ 08869
308-7-2.01 308-7-2.02	RIBEIRA ERNESTO&BUCKELEW PATRICIA L SIRILAN HENEDIA V&LEVINSON STUART J	601 LAKE TERRACE 519 LAKE TERRACE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
308-7-2.03	501 LAKE TERR LLC	1412 MAIN STREET	ASBURY PARK NJ 07712
308-7-3	IZRAILEV MARK ALEXANDER	1101 FLETCHER LAKE AVE	BRADLEY BEACH NJ 07720
308-7-4	BUTLER SHANE & JENSEN MELISSA	500 NEWARK AVE	BRADLEY BEACH NJ 07720
308-7-5	MERENDA ANTHONY R & MARGARET S	504 NEWARK AVE	BRADLEY BEACH NJ 07720
308-7-6	YOUNGHANS WALTER & SUSAN	369 PROSPECT ST	SOUTH AMBOY NJ 08879
308-7-7 308-7-8	MCMAK 510 LLC	508 NEWARK AVE 206 ROBBINS RD	BRADLEY BEACH NJ 07720 NEPTUNE NJ 07753
308-7-8	RAPAPORT ALLEN & JODI	512 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-7-3:01	BRADLEY BEACH BORO	701 MAIN ST	BRADLEY BEACH NJ 07720
308-8-10	MURRAY ANTHONY P & ANNE M	412 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-8-11	BAMB REAL ESTATE LLC	6 KNOLLCROFT TERRACE	WARWICK NY 10990
308-8-12	NEVADUNSKY JOS J & SUZANNE	416 NEWARK AVENUE	BRADLEY BEACH NJ 07720
308-8-13 308-8-14	ENG VIRGINIA W & YEU LAURA V ENG DANIEL D. & MARGARET L.	12 QUARRY DRIVE 27 OAKDENE AVE	WOODLAND PARK NJ 07424 TEANECK NJ 07666
308-8-14	LOBO ALAN & ARKIN HOLLY	445 WEST 54TH ST. 3B	NY NY 10019
308-8-16	BURNE MARY L	127 MAGNOLIA AVE	SEA GIRT NJ 08750
.505-5-10			

15D MERIDIAN NURSING & REHABILITATION INSKIP AVE 1350 CAMPUS PARKWAY NEPTUNE, NJ 07753

2 GENTILE, JOS R & BALLAS, RICHARD 126 INSKIP AVE PO BOX 565 OCEAN GROVE, NJ 07756

15C TOWNSHIP OF NEPTUNE PO BOX 1125 NEPTUNE, NJ

1450 WYCKOFF RD. P.O. BOX 1464 N.J. AMERICAN WATER CO. 661 SHREWSBURY AVENUE SHREWSBURY, NJ 07702 MONMOUTH COUNTY PLANNING BOARD 1 EAST MAIN ST. HALL OF RECORDS ANNEX FREEHOLD, NJ 07728 CABLEVISION 1501 EIGHTEENTH AVENUE P.O. BOX 58 WALL, NJ 07719 JERSEY CENTRAL POWER & LIGHT 300 MADISON AVENUE MORRISTOWN, NJ 07960 VERIZON NEW JERSEY, INC. 175 WEST MAIN STREET FREEHOLD, NJ 07728 STATE OF NEW JERSEY

COMMISSIONER OF TRANSPORTATION 1035 PARKWAY AVENUE, CN 600

NEW JERSEY-AMERICAN WATER COMPANY, INC.

ATTN: DONNA SHORT GIS SUPERVISOR

LEGAL DEPARTMENT 17TH FLOOR

NEW JERSEY NATURAL GAS COMPANY

JERSEY CENTRAL POWER & LIGHT COMPANY

ATTN: RIGHT OF WAY DEPARTMENT

1025 LAUREL OAK ROAD

C/O LAND USE MATTERS 540 BROAD STREET

NEWARK, NJ 07102

1415 WYCKOFF ROAD WALL TWP, NJ 07719

1501 18TH AVENUE WALL TWP, NJ 07719

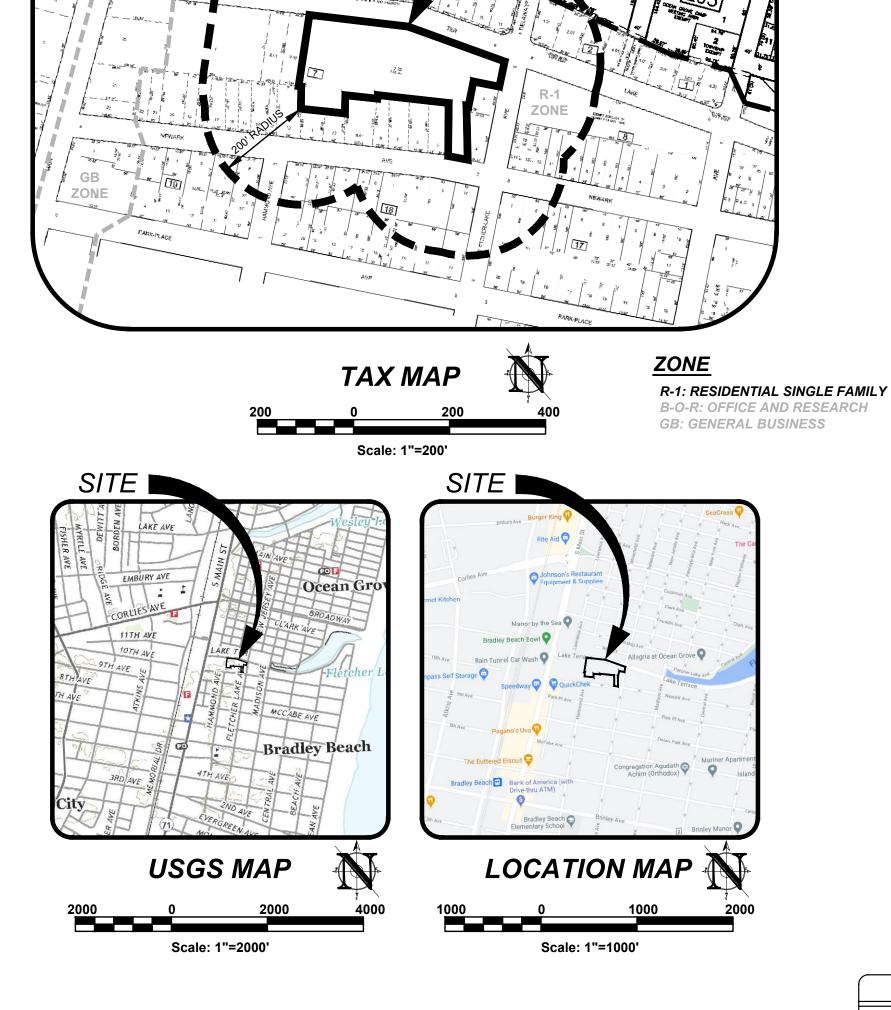
ATTN: LAND USE MATTERS 300 MADISON AVENUE MORRISTOWN, NJ 07960 MONMOUTH CABLEVISION ATTN: LAND USE MATTERS

VOORHEES, NJ 08043

TRENTON, NJ 08625

UTILITY CONTACTS

N.J. NATURAL GAS CO



GENERAL NOTES

- 1. SUBJECT PROPERTY
 TAX MAP 1: BLOCK 7, LOT 2.03, BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY
 CENTER SITE COORDINATES 500,812N 627,835E.
- 2. PURPOSE OF THIS PLAN SET

 THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
- 3. SURVEY DATA
 SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED
 "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY OF BLOCK 7, LOT 2.03, 501-511 LAKE TERRACE", BEING DATED 10/08/20 & LAST
 REVISED 05/03/21.
- HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88

 4. BASE FLOOD ELEVATION
 ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)." COMMUNITY PANEL 34025C0334F, DATED 9/25/09, THE SITE IS LOCATED IN ZONE X. ACCORDING TO
- FEMA'S CURRENT PRELIMINARY FIRM ENTITLED, "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)", COMMUNITY PANEL 34025C0334G, DATED 01/31/14, THE SITE IS LOCATED IN ZONE X. BOTH FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM.

 5. ARCHITECTURAL INFORMATION
 ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY MICHAEL SAVARESE ASSOCIATES,
- ENTITLED "COVERED ENTRY FOR: 501 LAKE TERRACE, BRADLEY BEACH, NJ 07712", BEING DATED 10/08/19, LAST REVISED 03/04/20

 6. UNDERGROUND UTILITIES NOTIFICATION
- 6. <u>UNDERGROUND UTILITIES NOTIFICATION</u>
 FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- 7. VERIFICATION OF UTILITIES

 THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN
- 8. SPECIFICATIONS
 UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE
 "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",
 LATEST EDITION.

WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

- 9. CONSTRUCTION REQUIREMENTS

 a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

 CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL

 CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN

 THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL
- b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF
 THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL
 METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND
- d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
 e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE THE BOROUGH OF BRADLEY BEACH, COUNTY OF MONMOUTH, NJ AMERICAN WATER, SEWER COMPANY, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.

RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.

- a. SOIL EROSION PLANS HAVE BEEN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJ6008823 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.

 b. CONTRACTOR/DEVELOPER MUST PREPARE AND FOLLOW A STORMWATER POLLUTION PREVENTION PLAN FOR THE DURATION OF THE PROJECT.
- 14. OVERALL CONSTRUCTION DOCUMENTS
 THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.

ZONING BOARD APPROVAL APPROVED BY THE BOROUGH OF BRADLEY BEACH ZONING BOARD OF ADJUSTMENT		
BOARD CHAIRPERSON	DATE	
BOARD SECRETARY	DATE	
BOARD ENGINEER	DATE	

	INDEX OF SHEETS:		
IEET#:	SHEET TITLE:	INITIAL RELEASE:	REV. DATE:
C100	TITLE SHEET	11/20/20	06/01/21
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	11/20/20	06/01/21
C300	SITE LAYOUT PLAN	11/20/20	06/01/21
C301	TURNING MOVEMENT PLAN	11/20/20	06/01/21
C400	GRADING AND DRAINAGE PLAN	11/20/20	06/01/21
C500	PROFILES	05/06/21	06/01/21
C600	LANDSCAPE PLAN	11/20/20	06/01/21
C601	LANDSCAPE DETAILS	11/20/20	06/01/21
C602	LIGHTING PLAN AND DETAILS	11/20/20	06/01/21
C800	CONSTRUCTION DETAILS	11/20/20	06/01/21
C801	CONSTRUCTION DETAILS	11/20/20	06/01/21
C802	CONSTRUCTION DETAILS	11/20/20	06/01/21
C900	SOIL EROSION & SEDIMENT CONTROL PLAN	11/20/20	06/01/21
C901	SESC NOTES & DETAILS	11/20/20	06/01/21

PROJECT INFORMATION

501-511 LAKE TERRACE

BLOCK 7, LOT 2.03

501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ

TAX MAP SHEET #1

501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

501 LAKE TERRACE, LLC
1412 MAIN STREET

ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

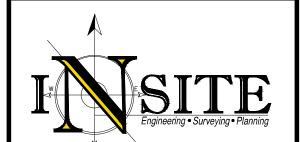
ATTORNEY:
FOX ROTHSCHILD, LLP
49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT:
MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT:
BML STUDIO, LLC
11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719





CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATUR AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINA AND MAY HAVE BEEN ALTERED

NASON L. FICHTER, PE, PP, CFM, CN
NJPE 43118 NJPP 1726 PAPE 61968
DEPE 3813 NYPE 802295 CTPE 23291
NCPE 33336 DCPE 900682 COPE 36605

Date Comment

REVISIONS

2 06/01/21 REV. PER CLIENT COMMENTS
1 05/06/21 REV. PER COUNTY COMMENTS
0 11/20/20 INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: CMB

DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF

CAD ID: 20-1472-01r2

NOT FOR CONSTRUCTION

APPROX

APPROV.
FOR CONSTRUCTION

DRAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

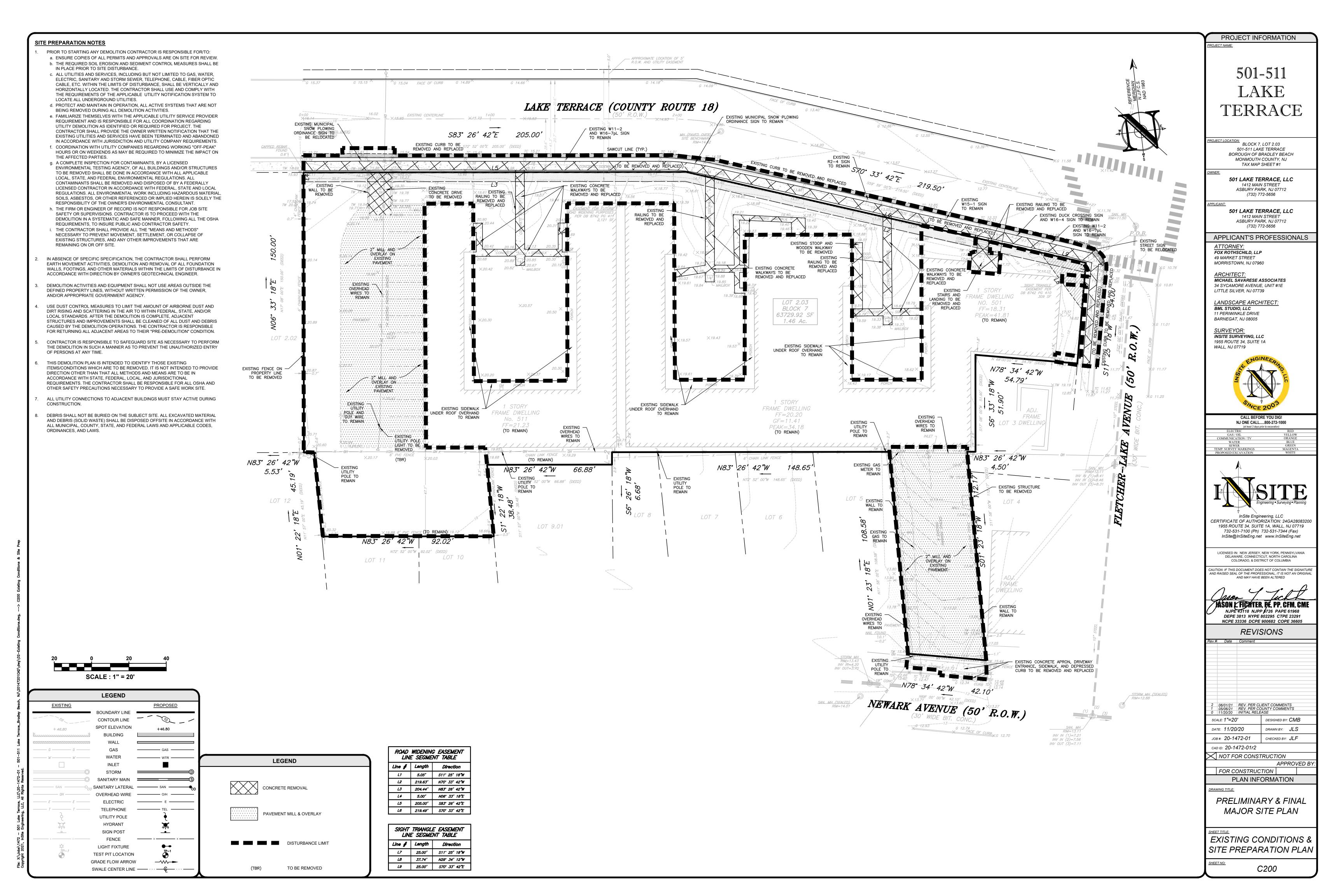
PLAN INFORMATION

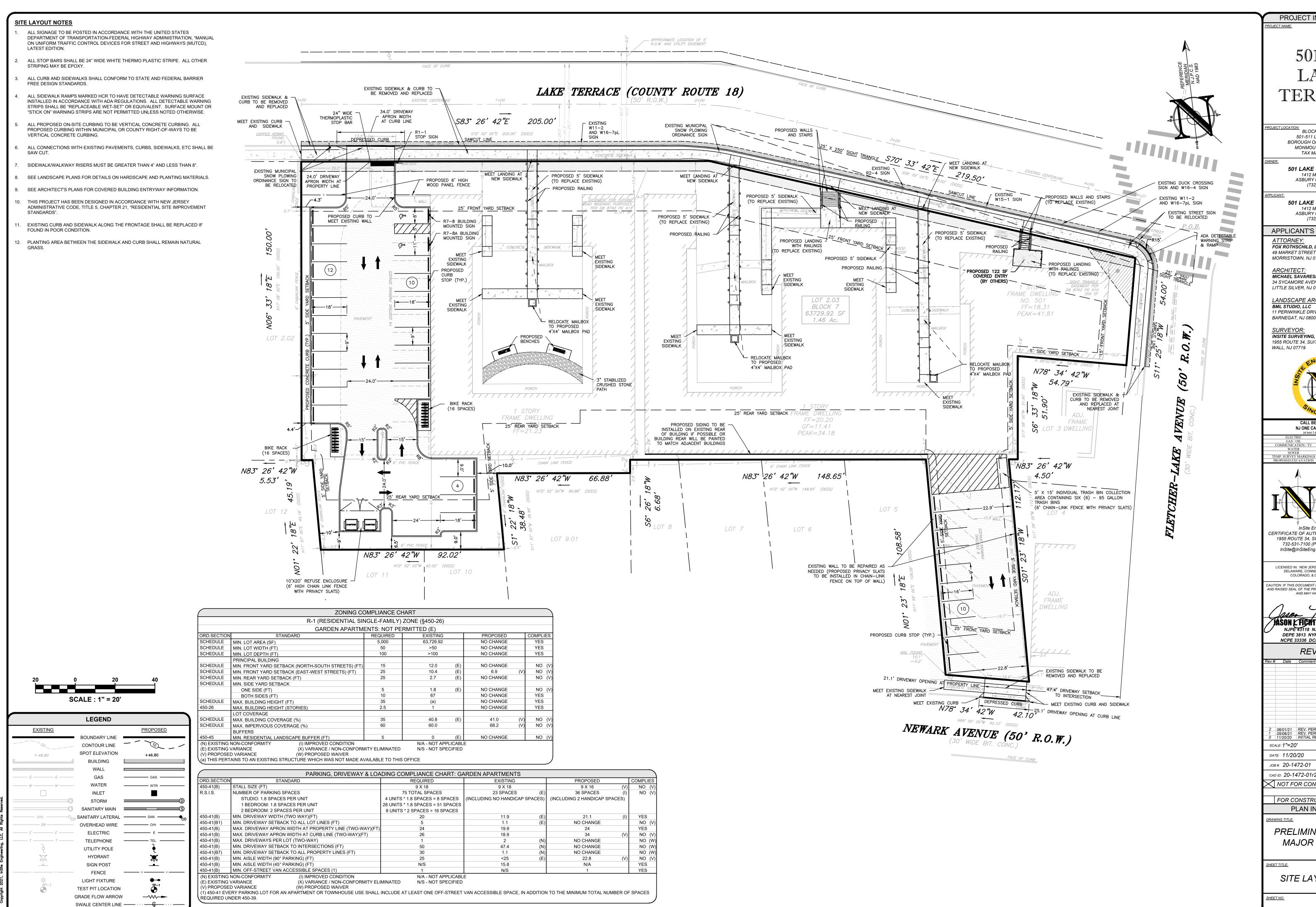
SHEET TITLE:

TITLE SHEET

C100

File: X:\Jobs\1472 – 501 Lake Terrace, L.C\20—1472—01 – 501—511 Lake Terrace_Bradley Beach, NJ\20147201CAD\dwg\01—Title.dwg, ——> C100 Title Copyright 2021, InSite Engineering, L.C, All Rights Reserved.





501-511 TERRACE

PROJECT INFORMATION

ROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ

> 501 LAKE TERRACE, LLC *1412 MAIN STREET* ASBURY PARK, NJ 07712

(732) 772-5656

TAX MAP SHEET #1

501 LAKE TERRACE, LLC 1412 MAIN STREET

ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

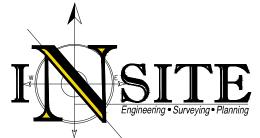
MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



NJ ONE CALL....800-272-1000 TEMP. SURVEY MARKINGS



CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

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NJPE 43118 NJPP \$726 PAPE 61968 DEPE 3813 NYPE 802295 CTPE 23291 NCPE 33336 DCPE 900682 COPE 36605

REVISIONS

DESIGNED BY: CMB SCALE: 1"=20' DATE: 11/20/20 DRAWN BY: JLS

CHECKED BY: **JLF**

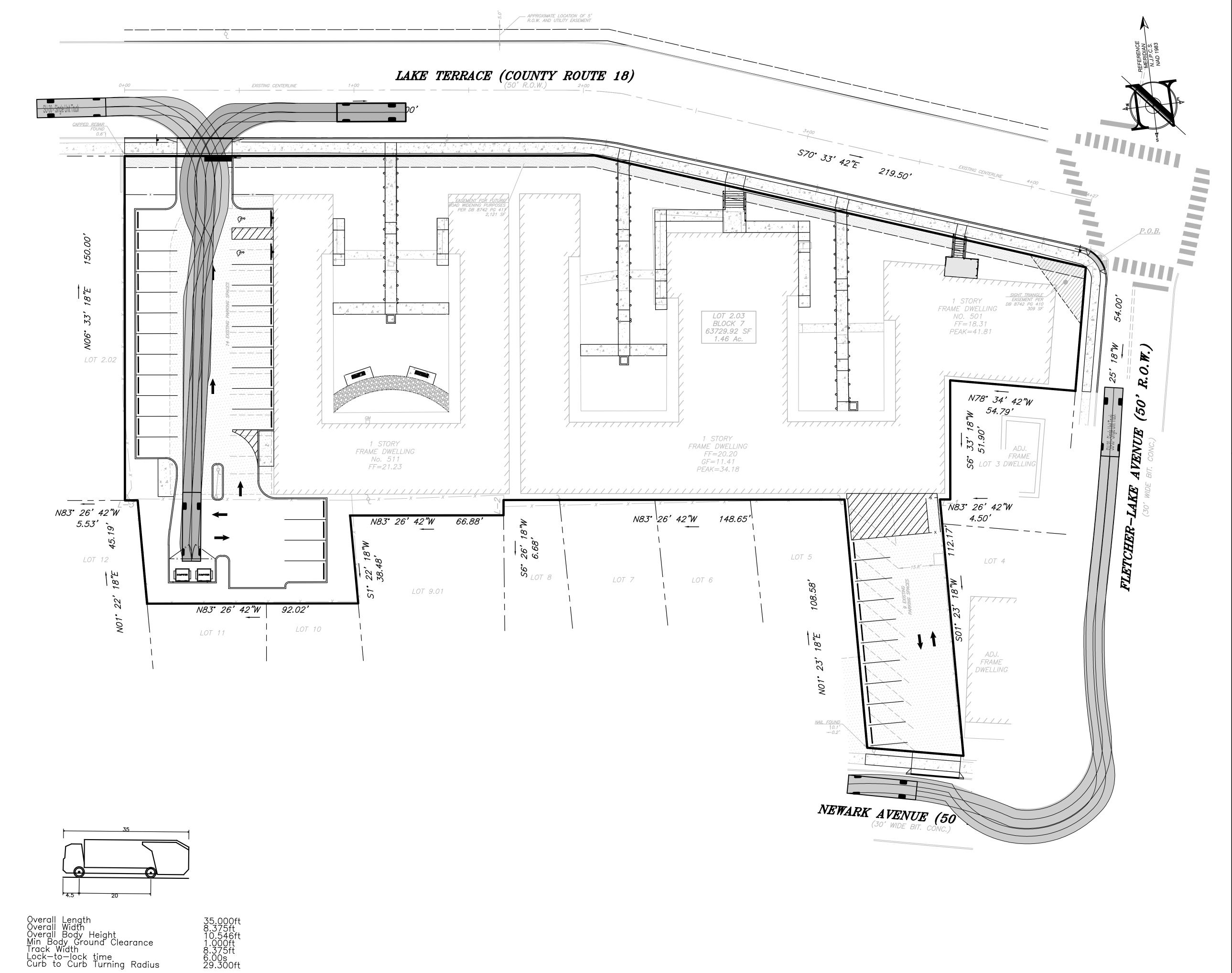
CAD ID: **20-1472-01r2** NOT FOR CONSTRUCTION

APPROVED BY FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SITE LAYOUT PLAN



SCALE : 1" = 20'

LEGEND

CONTOUR LINE

SPOT ELEVATION

BUILDING

WATER

INLET

STORM

ELECTRIC TELEPHONE

UTILITY POLE
HYDRANT
SIGN POST

FENCE

LIGHT FIXTURE

TEST PIT LOCATION
GRADE FLOW ARROW

PROPOSED

+46.80

-

GARBAGE TRUCK

NTS

EXISTING

PROJECT INFORMATION

501-511 LAKE TERRACE

BLOCK 7, LOT 2.03

501-511 LAKE TERRACE

BOROUGH OF BRADLEY BEACH

MONMOUTH COUNTY, NJ

TAX MAP SHEET #1

501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

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(732) 772-5656

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ATTORNEY:
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BML STUDIO, LLC
11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



 CALL BEFORE YOU DIG!

 NJ ONE CALL.....800-272-1000

 (at least 3 days prior to excavation)

 ELECTRIC
 RED

 GAS/OIL
 YELLOW

 COMMUNICATION / TV
 ORANGE

 WATER
 BLUE

 SEWER
 GREEN

 TEMP. SURVEY MARKINGS
 MAGENTA

 PROPOSED EXCAVATION
 WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
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REVISIONS

2 06/01/21 REV. PER CLIENT COMMENTS
1 05/06/21 REV. PER COUNTY COMMENTS
0 11/20/20 INITIAL RELEASE

SCALE: 1"=20' DESIGNED BY: CMB

DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF

CAD ID: 20-1472-01r2

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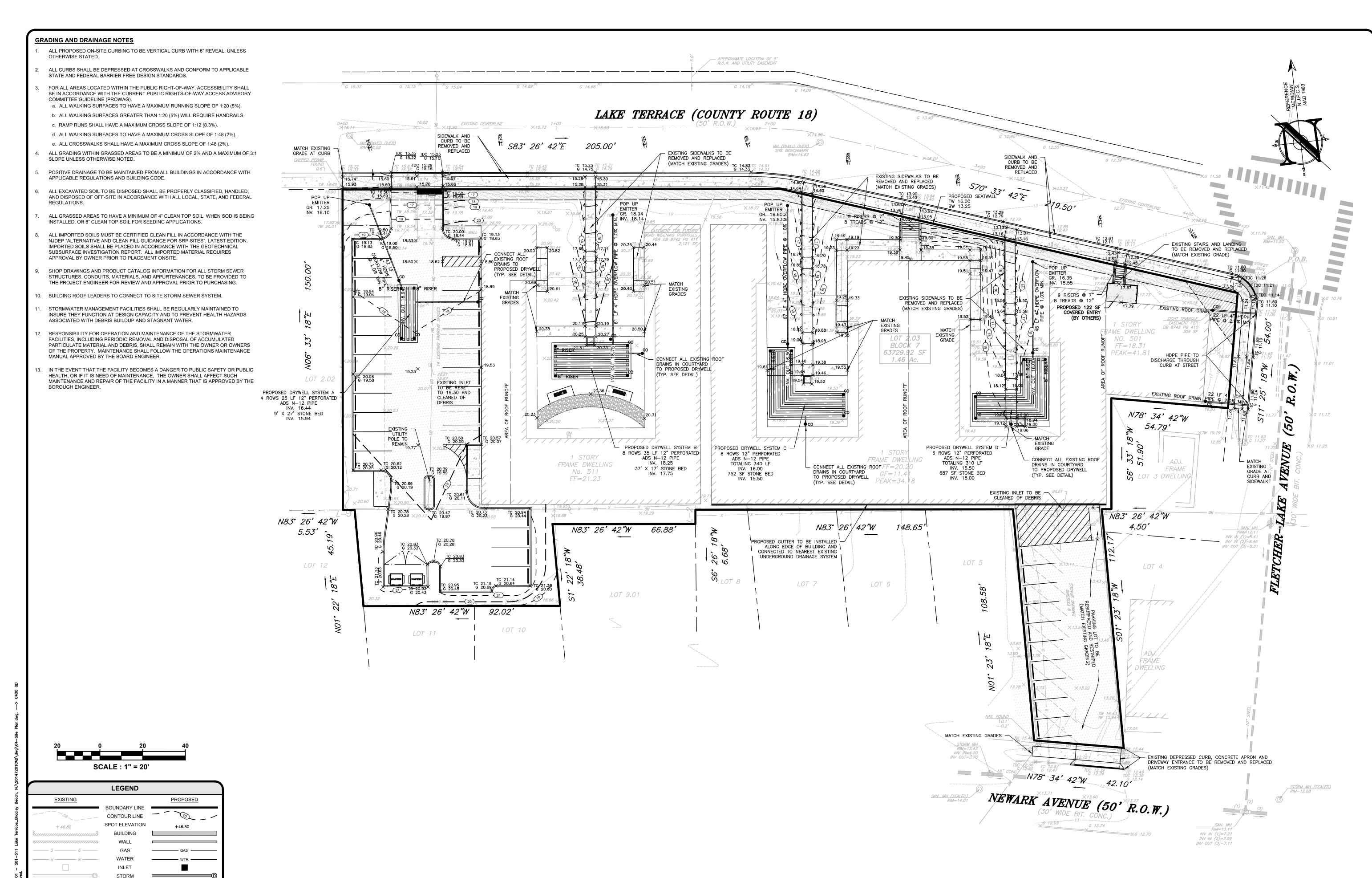
PLAN INFORMATION

WING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:

TURNING MOVEMENT PLAN



ECT NAME:

501-511 LAKE TERRACE

PROJECT INFORMATION

BLOCK 7, LOT 2.03

501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ

501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

(732) 772-5656

TAX MAP SHEET #1

501 LAKE TERRACE, LLC 1412 MAIN STREET

ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

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FOX ROTHSCHILD, LLP

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MORRISTOWN, NJ 07960
ARCHITECT:

ARCHITECT:
MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

11 PERIWINKLE DRIVE BARNEGAT, NJ 08005 SURVEYOR:

LANDSCAPE ARCHITECT:

BML STUDIO, LLC

INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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 WATER
 BLUE

 SEWER
 GREEN

 TEMP. SURVEY MARKINGS
 MAGENTA

 PROPOSED EYGAVATION
 WHITE

SITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
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REVISIONS

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DRAWING TITLE:

PRELIMINARY & FINAL

MAJOR SITE PLAN

GRADING AND
DRAINAGE PLAN

C400

SANITARY LATERAL

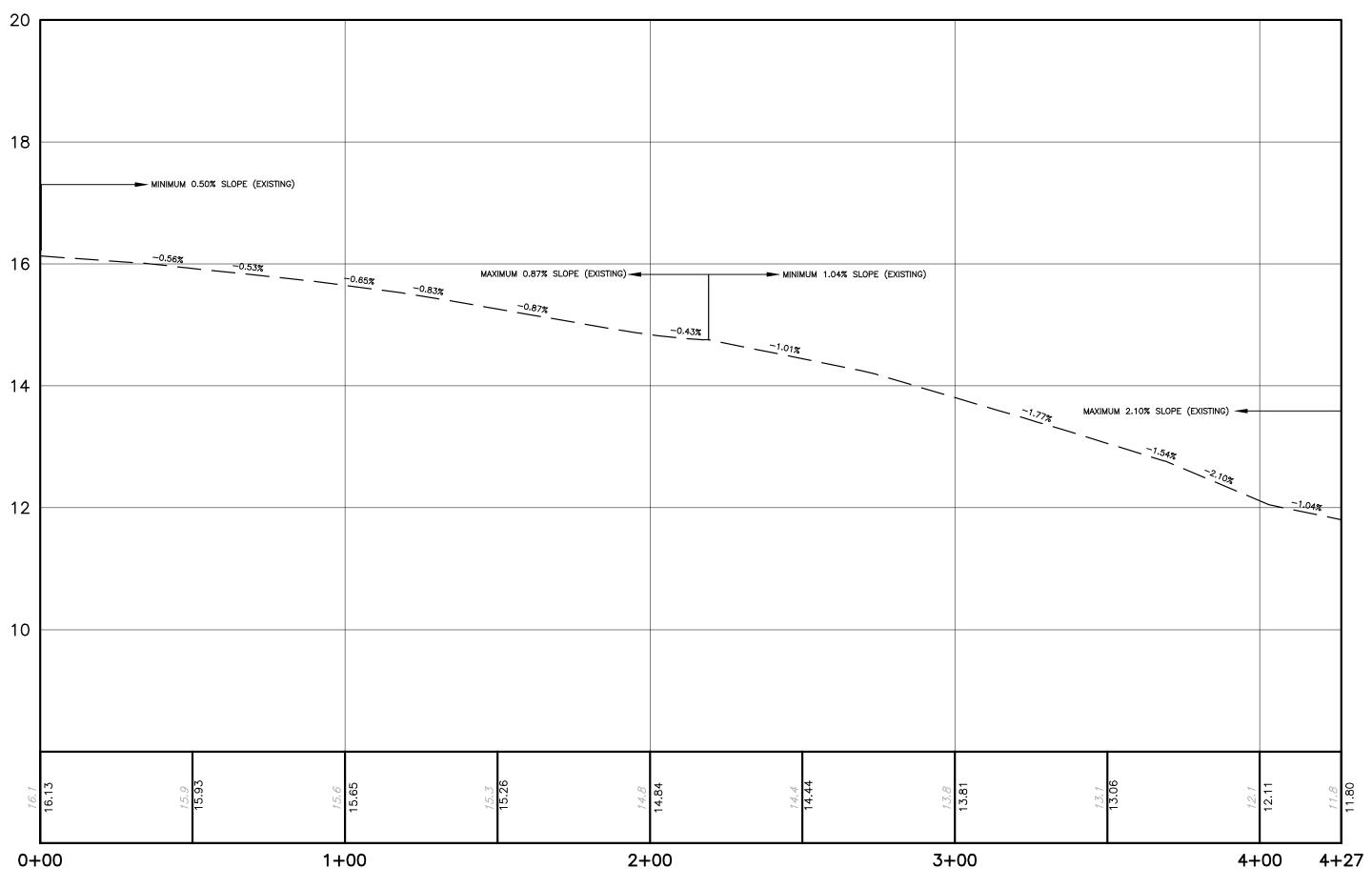
ELECTRIC

TELEPHONE
UTILITY POLE
HYDRANT
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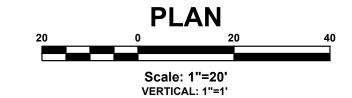
FENCE LIGHT FIXTURE

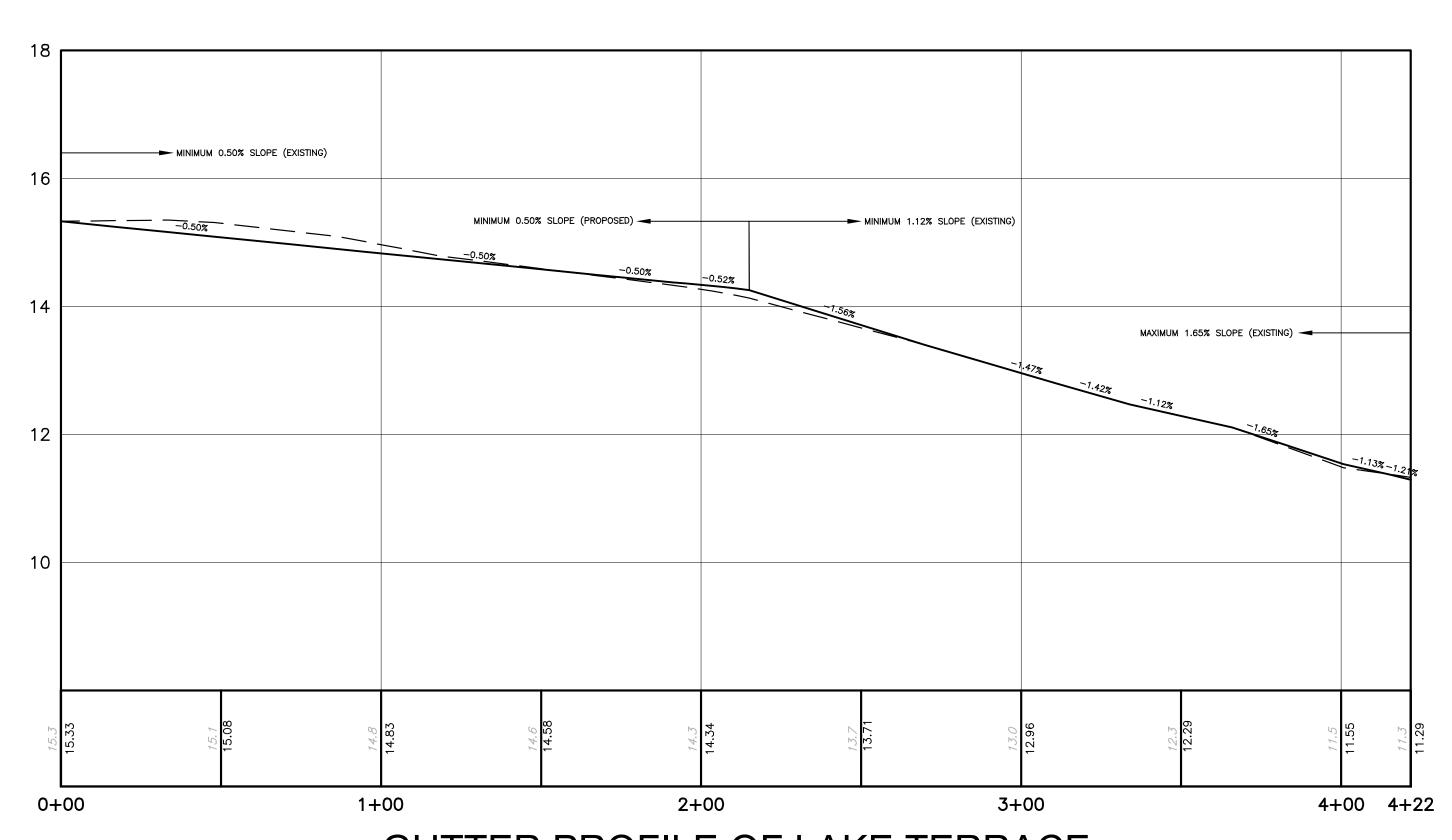
TEST PIT LOCATION
GRADE FLOW ARROW

-



EXISTING CENTERLINE OF LAKE TERRACE





GUTTER PROFILE OF LAKE TERRACE



PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT LOCATION:
BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

> 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

(732) 772-5656

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LANDSCAPE ARCHITECT:
BML STUDIO, LLC
11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



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REVISIONS

SCALE: AS SHOWN DESIGNED BY: CMB DATE: 11/20/20 JOB#: **20-1472-01** CHECKED BY: **JLF** CAD ID: 20-1472-01r2

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FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

PROFILES

SHEET TITLE:

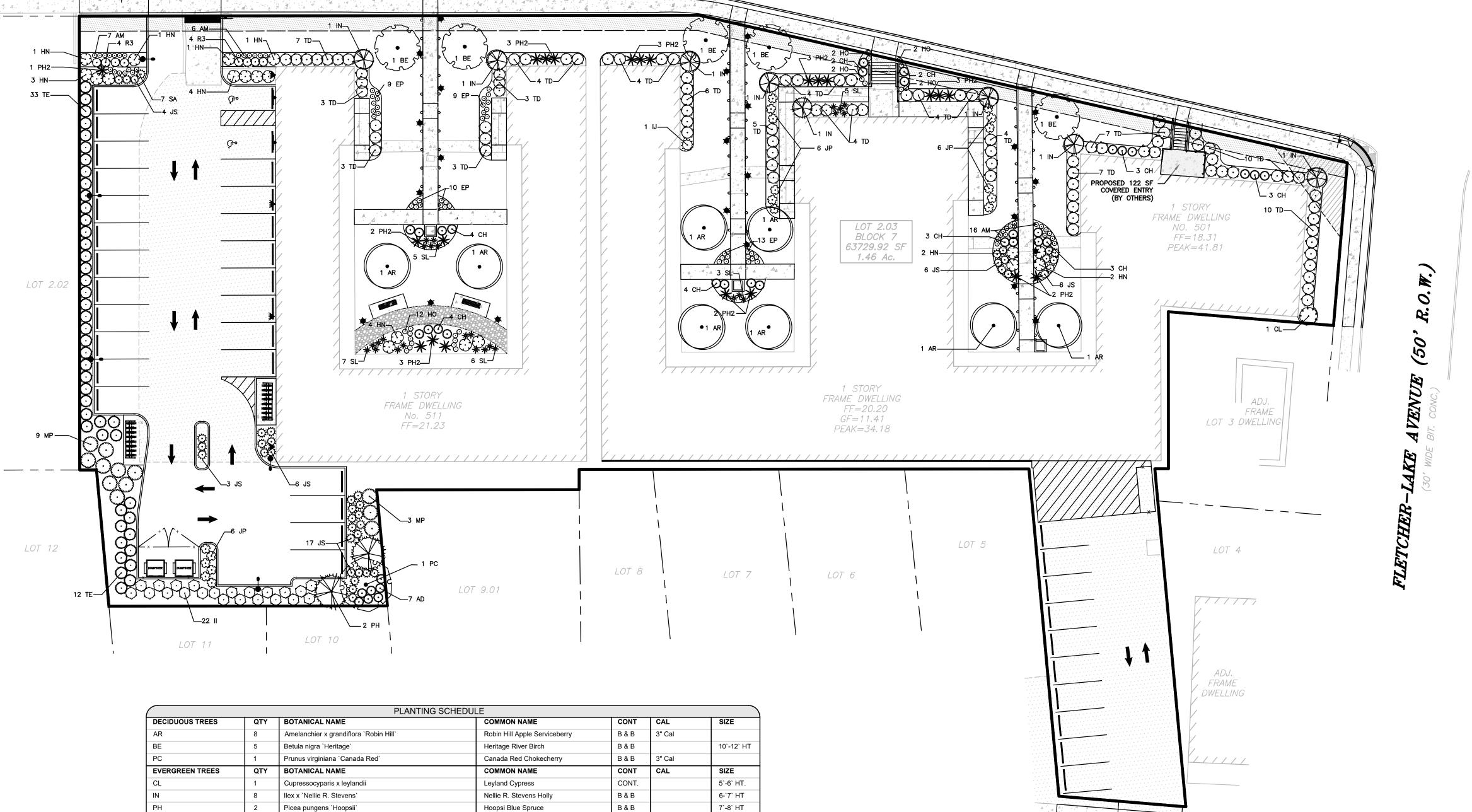
GENERAL LANDSCAPE NOTES

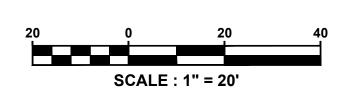
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY, PLANS SHALL
- DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS. ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY

THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED OF ANY

- SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT
- 12. ALL TURF AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.
- 13. ALL TURF AREAS AND PLANTING AREAS ARE TO IRRIGATED. THE CONTRACTOR IS TO PROVIDE A DETAILED IRRIGATION PLAN AND GAIN TOWNSHIP APPROVAL PRIOR
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A 1-YEAR PERIOD FROM THE RELEASE OF THE PERFORMANCE BOND. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEE PERIOD.
- PLANTING AREA BETWEEN THE SIDEWALK AND CURB SHALL REMAIN NATURAL
- 16. SEE LANDSCAPING DETAIL SHEET FOR ADDITIONAL PLANTING NOTES AND DETAILS.

LAKE TERRACE (COUNTY ROUTE 18)





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EXISTIN	NG		PROPOSED
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		CONTOUR LINE	To
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		GRADE FLOW ARROW	-W-
		SWALE CENTER LINE	

B & B Hoopsi Blue Spruce Picea pungens `Hoopsii` B & B 5`-6` HT. Thuja occidentalis `Emerald` **Emerald Arborvitae** ROOT SHRUBS QTY **BOTANICAL NAME** COMMON NAME Cont. 18"-24" HT. Azalea x `Delaware Valley White` Valley White Azalea Clethra alnifolia 'Hummingbird' 18"-24" HT. **Hummingbird Summersweet** 2`-2.5` HT. Hydrangea macrophylla 'Nikko Blue' Nikko Blue Hydrangea B & B 3`-4` HT. llex crenata 'Steeds' Steeds Japanese Holly Cont. 2`-2.5` HT. Ilex glabra 'Compacta' Compact Inkberry 18"-24" SPD. Juniperus chinensis 'Pfitzeriana Nicks Compacta' Cont. Nick's Compact Pfitzer Juniper Cont. 18"-24" SPD. Juniperus chinensis sargentii Sargent Juniper B & B 3`-4` HT. Northern Bayberry Myrica pensylvanica Cont. GAL. Rosa x `Radrazz` Knock Out Shrub Rose B & B Taxus x media 'Densiformis' Dense Yew 2`-2.5` HT. ANNUALS/PERENNIALS QTY **BOTANICAL NAME** COMMON NAME ROOT SIZE Achillea x `Moonshine` Moonshine Yarrow GAL Purple Coneflower Cont. Echinacea purpurea Hemerocallis x 'Stella de Oro' Cont. GAL Stella de Oro Daylily

Autumn Joy Sedum

Little Bluestem Grass

Heavy Metal Switch Grass

COMMON NAME

Cont.

ROOT

Cont.

GAL

SIZE

GAL.

Sedum x 'Autumn Joy'

BOTANICAL NAME

Panicum virgatum 'Heavy Metal'

Schizachyrium scoparium

QTY

GRASSES

NEWARK AVENUE (50' R.O.W.)

PROJECT INFORMATION

501-511 TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ

> 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

TAX MAP SHEET #1

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(732) 772-5656

ASBURY PARK, NJ 07712 (732) 772-5656

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MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E

LITTLE SILVER, NJ 07739 LANDSCAPE ARCHITECT. BML STUDIO, LLC 11 PERIWINKLE DRIVE

BARNEGAT, NJ 08005

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



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CERTIFICATE OF AUTHORIZATION: 24GA28083200

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JOB#: **20-1472-01** CHECKED BY: **JLF** CAD ID: 20-1472-01r2

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RAWING TITLE:

DATE: 11/20/20

PRELIMINARY & FINAL MAJOR SITE PLAN

PLAN INFORMATION

SHEET TITLE:

LANDSCAPE PLAN

GENERAL SITE PLANTING

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.

- WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)
- IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS. FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS
- WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID EROSION. 5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.

DPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.

- ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED. FROM THE SITE AND DISPOSED OF. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
- ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING
- FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
- SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS. ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH., SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB. REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.

PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. GROUND COVER - FLATS AND/OR CUTTINGS:

- ALL PLANT MATERIALS SPECIFIED AS PLUGS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG, WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.
- SHRUBS: PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.
- TREES: ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 1/2) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS, TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING/ EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES
- TOP DRESSING: TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING PLAN.
- AREAS SHALL HAVE A SMOOTH CONTINUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS. ROLL, SCARIFY. RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE.
- APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6". SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE
- RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY. UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE
- JOINTS AND EDGES. FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED SOIL. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO
- THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 9" WIDE
- NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED.

GENERAL SLOPE PLANTING

- a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
- b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
- WEED ERADICATION a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE.
- b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS. c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS
- d. IF PERENNIAL WEEDS APPEAR, DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY RECOMMENDED HERBICIDE BY LICENSED APPLICATOR IF ANNUAL WEEDS APPEAR. USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS, NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER.
- e. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD. f. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND
- APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.RO REMOVE ALL DESICCATED WEEDS FROM SLOPES.
- PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS.

GENERAL LANDSCAPING NOTES

AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.

DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED. PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS, SHRUBS, VINES AND TREES, EDGING AND MOWING LAWNS, FERTILIZING, CONTROL OF PESTS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL

- BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS. KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE
- AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY. RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER.
- DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL, LEVELED AND REPLANTED. THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE
- OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).
- AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER.
- ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOILS REPORT. THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE

OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.

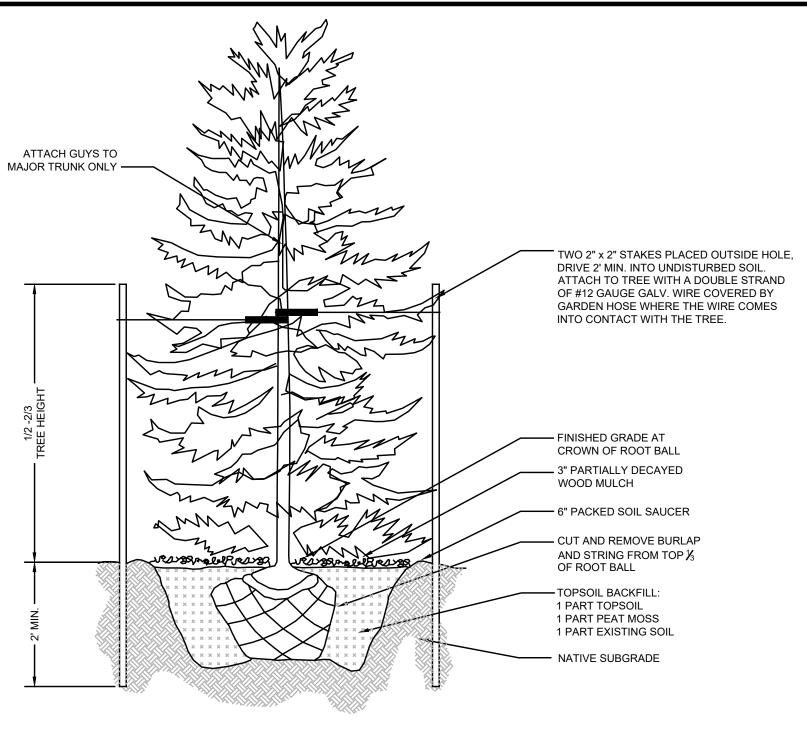
GUARANTEE
ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED.

- OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A
- OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK: a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING.
- b. WHEN TREES ARE SPOTTED FOR PLANTING, BUT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED.
- c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.

ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.

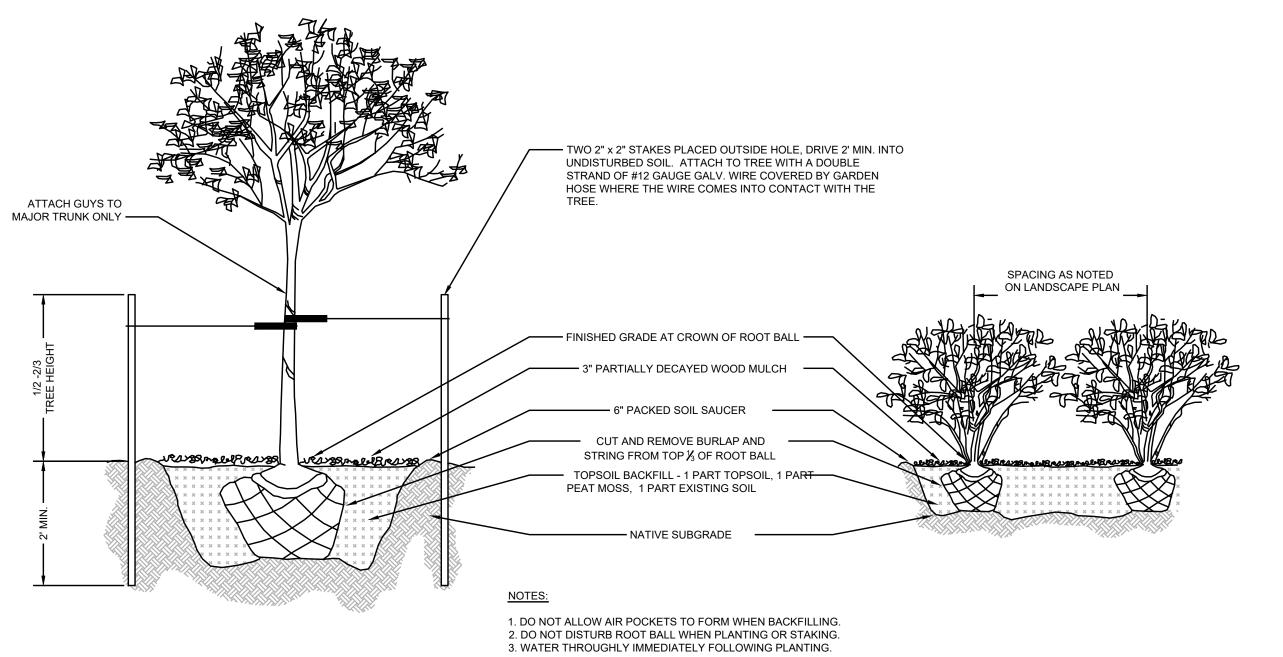
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION. SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATIONS OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.

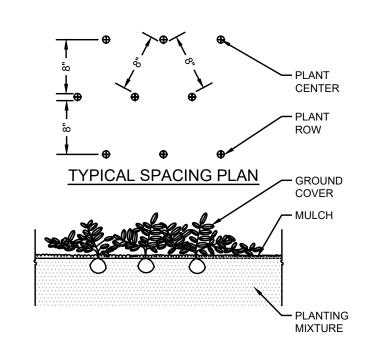


1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. 2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING 3. WATER THROUGHLY IMMEDIATELY FOLLOWING PLANTING.

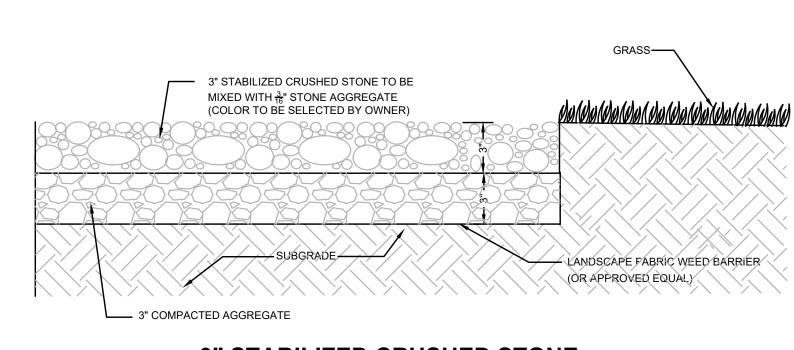
EVERGREEN PLANTING & STAKING



TREE & SHRUB PLANTING & STAKING



GROUND COVER PLANTING



3" STABILIZED CRUSHED STONE WITH WEED BARRIER DETAIL

PROJECT INFORMATION

DJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

501 LAKE TERRACE, LLC *1412 MAIN STREET* ASBURY PARK, NJ 07712 (732) 772-5656

> *501 LAKE TERRACE, LLC* 1412 MAIN STREET ASBURY PARK, NJ 07712

(732) 772-5656 APPLICANT'S PROFESSIONALS

FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



NJ ONE CALL....800-272-1000 TEMP. SURVEY MARKINGS



1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

CERTIFICATE OF AUTHORIZATION: 24GA28083200

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

UTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATUR AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINA

NJPE 43118 NJPP \$726 PAPE 61968 DEPE 3813 NYPE 802295 CTPE 23291

NCPE 33336 DCPE 900682 COPE 36605

AND MAY HAVE BEEN ALTERED

REVISIONS

SCALE: AS SHOWN DESIGNED BY: CMB DATE: 11/20/20 DRAWN BY: JLS JOB#: **20-1472-01** CHECKED BY: **JLF**

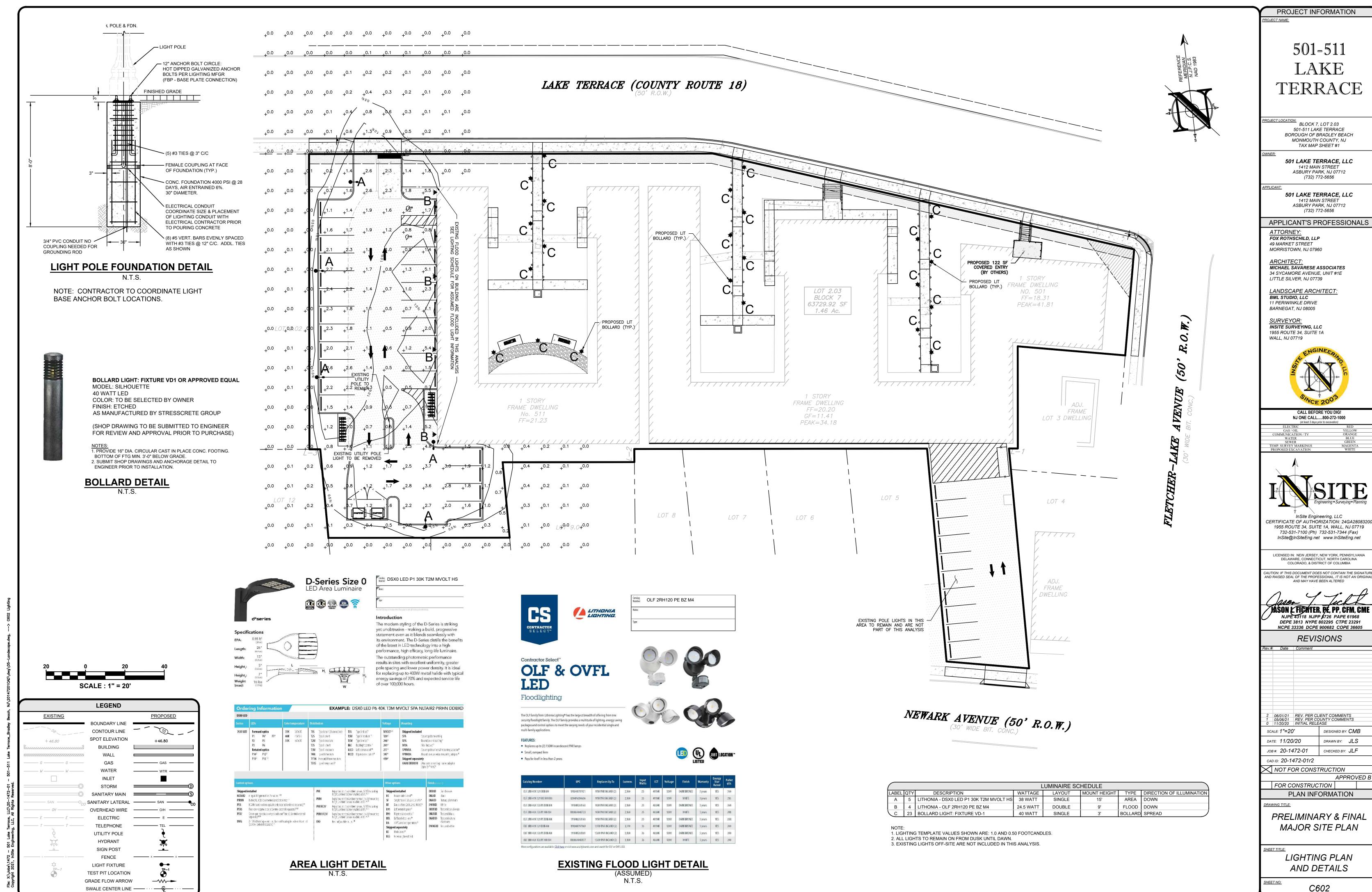
CAD ID: **20-1472-01r2**

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FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

LANDSCAPE DETAILS

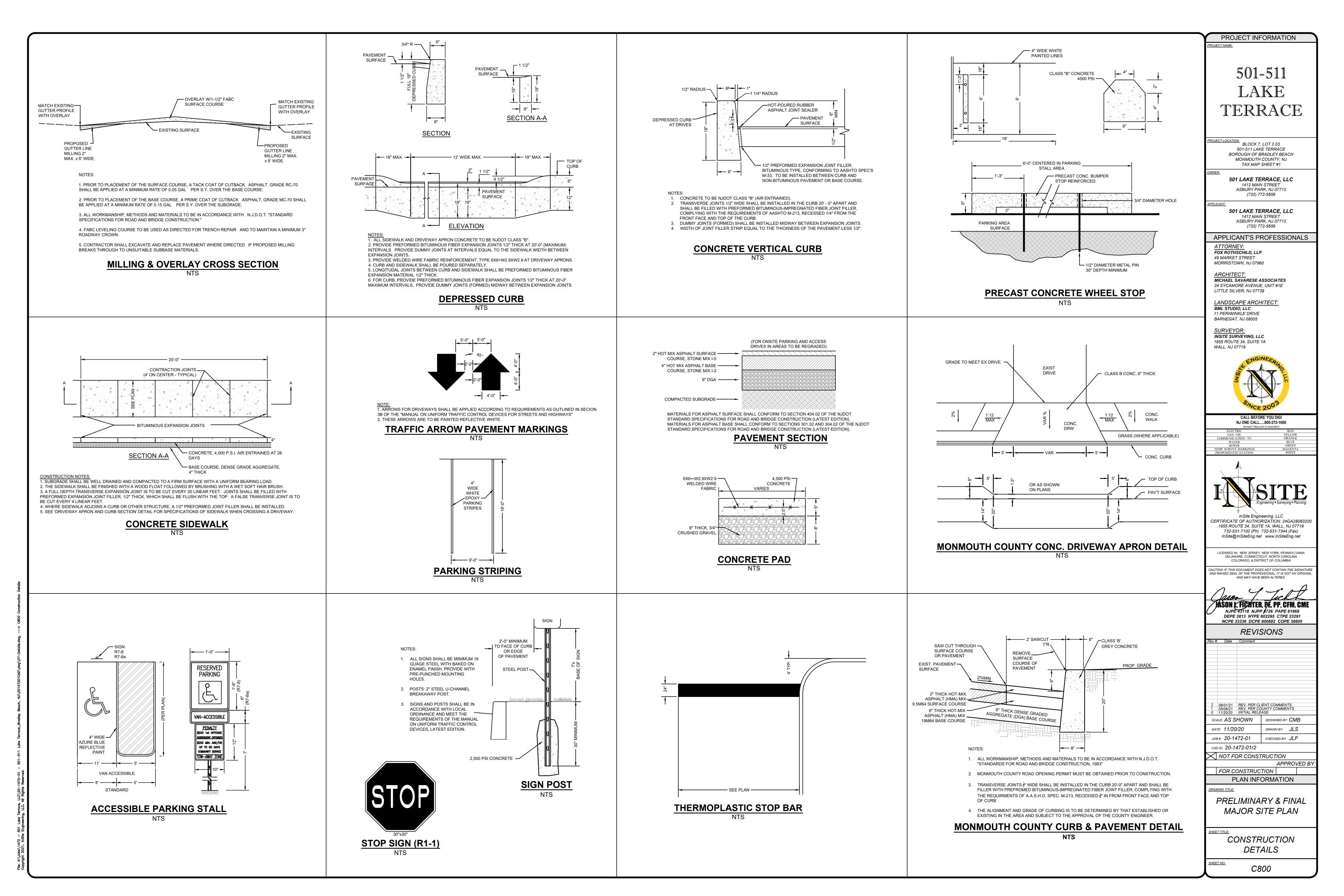


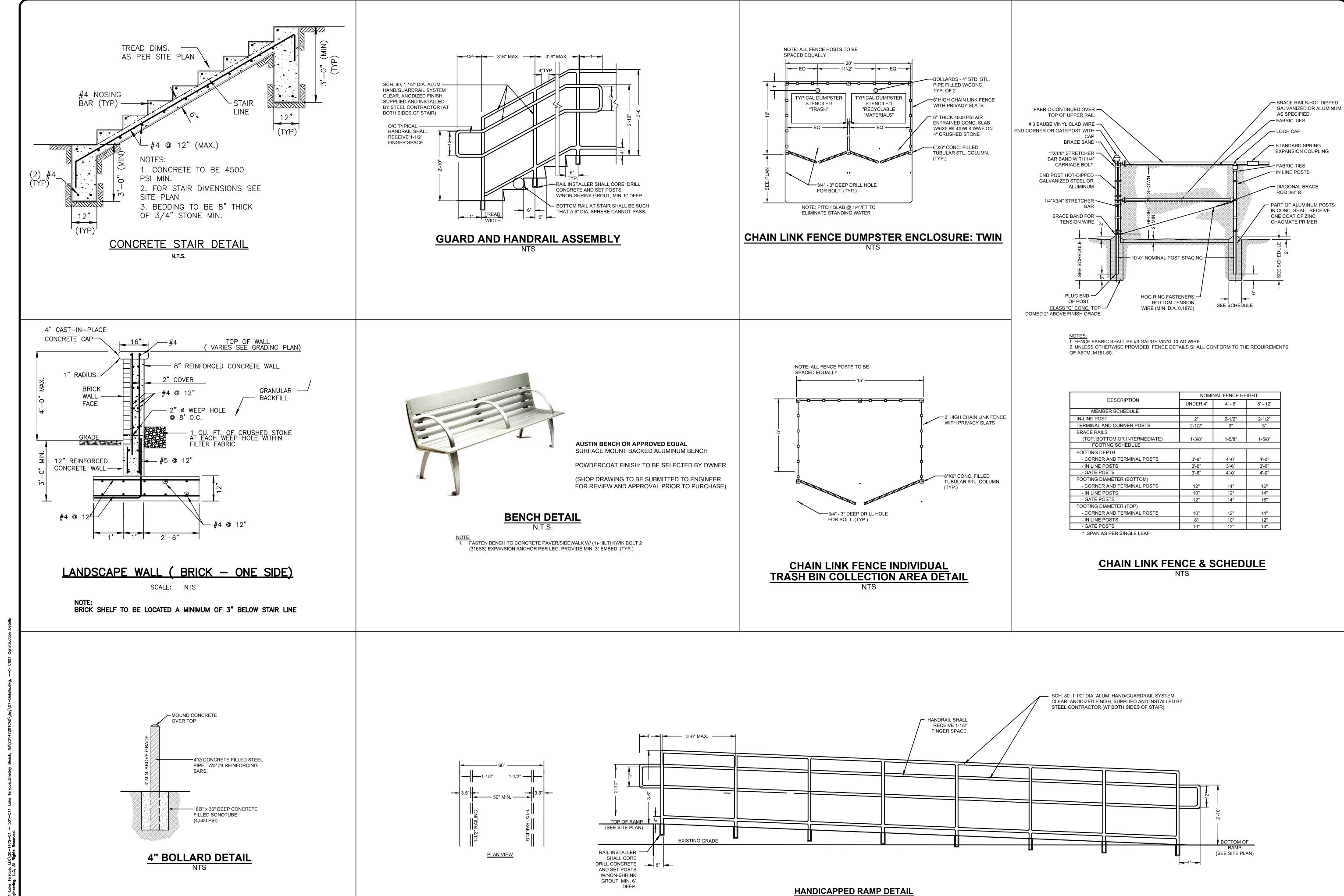


LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

DESIGNED BY: CMB

APPROVED BY





PROJECT INFORMATION

PROJECT NAME:

501-511 LAKE TERRACE

DJECT LOCATION:
BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

(732) 772-5656

501 LAKE TERRACE, LLC
1412 MAIN STREET

ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

ARCHITECT:
MICHAEL SAVARESE ASSOCIATES
34 SYCAMORE AVENUE, UNIT #1E

LANDSCAPE ARCHITECT:
BML STUDIO, LLC

11 PERIWINKLE DRIVE

SURVEYOR:
INSITE SURVEYING, LLC

1955 ROUTE 34, SUITE 1A

WALL, NJ 07719



 CALL BEFORE YOU DIG!

 NJ ONE CALL.....800-272-1000

 (at least 3 days prior to excavation)

 ELECTRIC
 RED

 GAS / OIL
 YELLOW

 COMMUNICATION / TV
 ORANGE

 WATER
 BLUE

 SEWER
 GREEN

 TEMP. SURVEY MARKINGS
 MAGENTA

 PROPOSED EXCAVATION
 WHITE



CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA

DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

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ASON L FICHTER, PE, PP, CFM, CME

NJPE 43118 NJPP 5726 PAPE 61968

DEPE 3813 NYPE 802295 CTPE 23291

NCPE 33336 DCPE 900682 COPE 36605

REVISIONS

Comment

2 06/01/21 REV. PER CLIENT COMMENTS
1 05/06/21 REV. PER COUNTY COMMENTS
0 11/20/20 INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: CMB

DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01r2

NOT FOR CONSTRUCTION

APPROVED BY

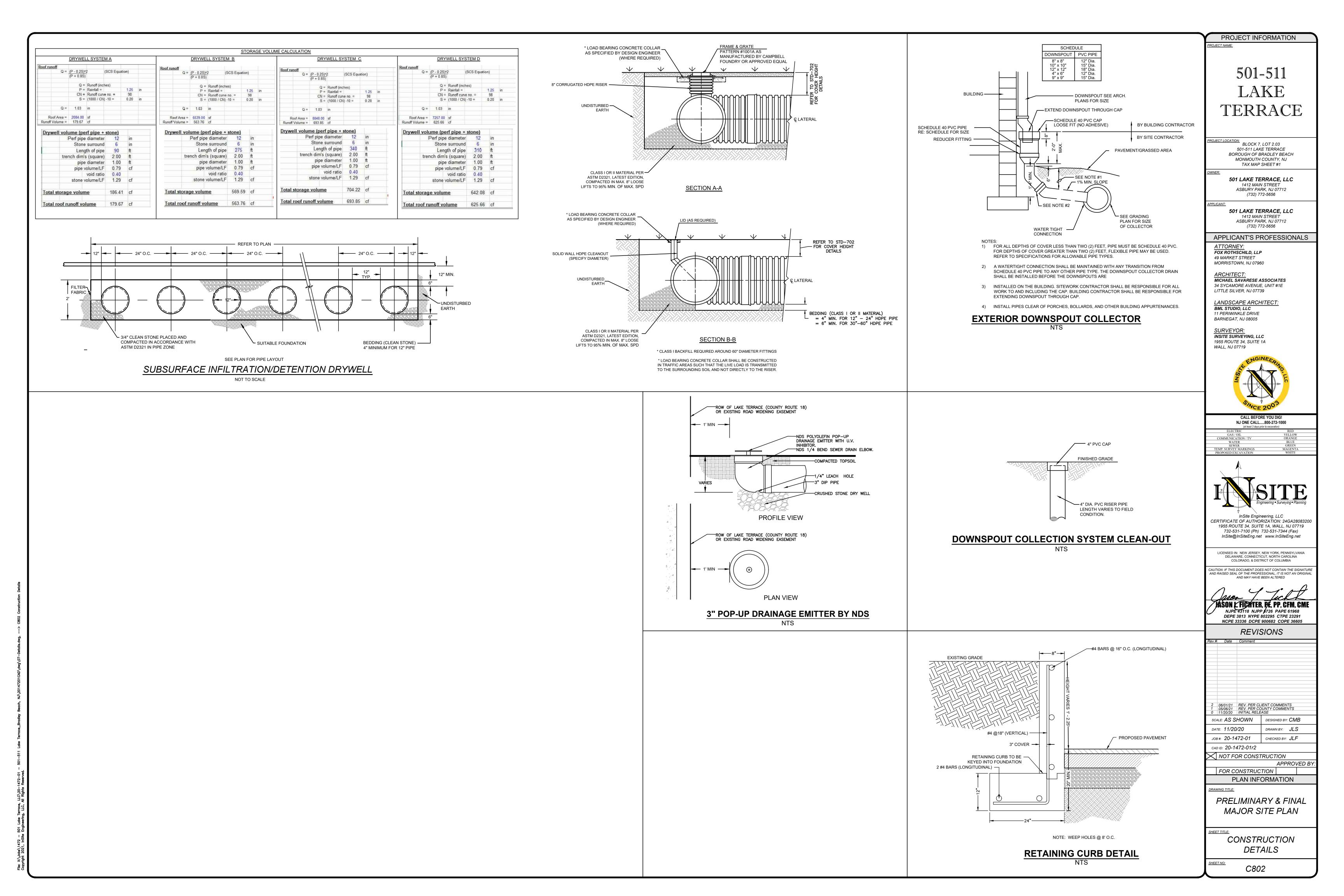
FOR CONSTRUCTION PLAN INFORMATION

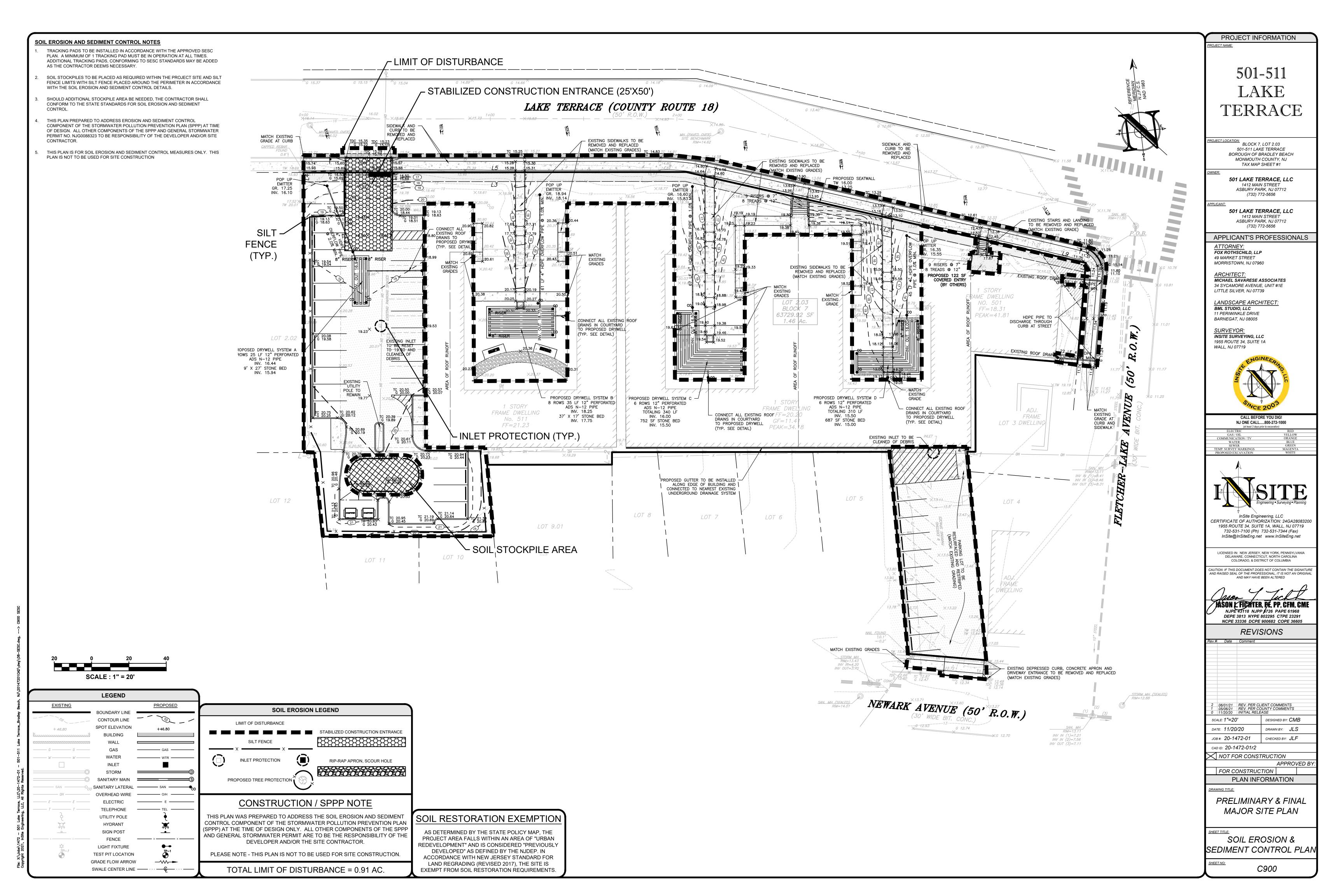
RAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:

CONSTRUCTION DETAILS





- HE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING
- . ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT
- STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS N.J.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT. THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS. PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND
- TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE

DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 ½ TONS PER ACRE, ACCORDING TO

STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED

- STATE STANDARD FOR STABILIZATION WITH MULCH ONLY. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A
- SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE
- WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT
- POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY. 10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. 11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED
- IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. 2. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR
- 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED 3. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING
- OPERATIONAL. 14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO
- MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING 15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL. 16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO

THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A

- REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- 18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES. SEDIMENT BASINS. AND WATERWAYS. SEE STANDARDS 11 THROUGH 42
- C. IMMEDIATELY PRIOR TO SEEDING. THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES
- SEEDBED PREPARATION

(CABLES, IRRIGATION SYSTEMS, ETC.).

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE
- D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

- A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN
- ACCORDANCE WITH TABLE 7-2, PAGE 7-3. *SEEDING DATES: 2/15-5/1 AND 8/15-10/15
- 3. CONVENTIONAL SEEDING. APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
- D. AFTER SEEDING. FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

- MULCHING IS REQUIRED ON ALL SEEDING, MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT
- A. STRAW OR HAY. UNNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIEVING OR ADHESIVE AGENT). THE RATE OF APPLICATION IS 3 TONS PER ACRE, MUIL CHICADPER, BLOWERS MUIST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF
- APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS
- 1 PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH
- 2. MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE
- 3. CRIMPER (MULCH ANCHORING TOOL). A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING

4. LIQUID MULCH-BINDERS. - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- b. USE ONE OF THE FOLLOWING:

NETTING IN AREAS TO BE MOWED.

OR ADHESIVE AGENT IS REQUIRED

- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION. MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL
- NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- B. WOOD-FIBER OR PAPER-FIBER MULCH. SHALL BE MADE FROM WOOD. PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 PONDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL
- : PELLETIZED MULCH. COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORMA MULCH MAT. PELLETIZED MULCH SHALL BE APPLIES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1.000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEE FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE
- APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED
- WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES,

2. SEEDBED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING O SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POLINDS PER ACRE OR 11 POLINDS PER 1 000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5
- B WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT, THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS
- A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

HARD FESCUE AND/OR STRONG CREEPING RED FESCUE PERENNIAI RYEGRASS KENTUCKY BLUEGRASS

- *ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14** *OPTIMAL SEEDING DATES: 8/15-10/30
- **SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED
- 1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOWED ONCE.
- GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS. 3 COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 850F

2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES,

- MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES
- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH. BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL

C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED

D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL, WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT

- A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MUI CH-BINDER (TACKIEYING OR ADHESIVE AGENT). THE RATE OF APPLICATION IS 3 TONS PER ACRE. MUI CH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OF LAWNS DUE TO THE PRESENCE OF WEED SEED.
- APPLICATION SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN
- STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE

ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY

- 3. CRIMPER (MULCH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE. BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- b. USE ONE OF THE FOLLOWING:

NETTING IN AREAS TO BE MOWED.

- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT. MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BEMIXEDIN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

C.PELLETIZED MULCH-COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAYECTI CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO AW SEEDED AREA AND WATERED. FORM A MULCHMAT, PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIERAGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

6.TOP DRESSING

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED INSECTION 2A-SEEDBED PREPARATION IN THIS STANDARD. NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A <u>REPORT OF COMPLIANCE</u>IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN <u>APPLICATION RATES MAY</u> BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING REPORT OF COMPLIANCEFROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT GETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED

CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN THE SPRING OF 2021 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS:

PH.	ASE	DURATION
1.	INSTALL TEMPORARY SOIL EROSION FACILITIES (CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE)	IMMEDIATELY
2.	SITE DEMOLITION	1 WEEK
3.	ROUGH CLEARING AND GRADING	2 WEEKS
4.	TEMPORARY SEEDING	IMMEDIATELY
5.	DRYWELL INSTALLATION	1 WEEK
6.	INSTALL INLET PROTECTION	IMMEDIATELY
7.	CURB AND SIDEWALK CONSTRUCTION	1 WEEK
8.	PAVEMENT SUB-BASE	1 WEEK
9.	MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSLY
10.	PRELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK
11.	FINAL PAVEMENT COURSE	1 WEEK
12.	FINAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK

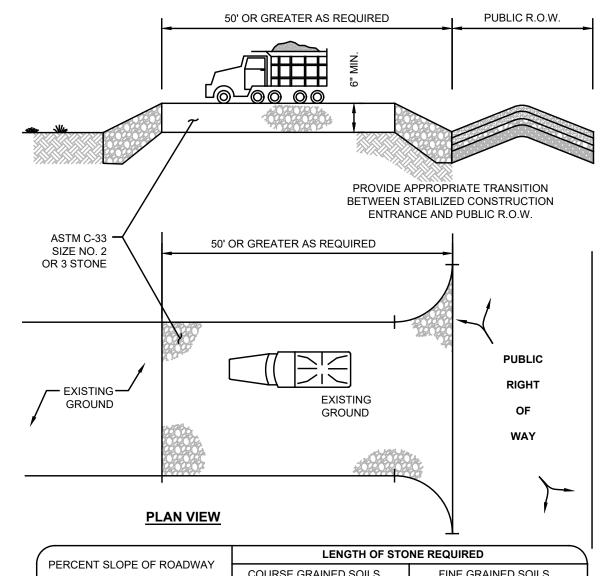
*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE NO. 1 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY. OR AT MINIMUM, BY THE END OF EACH WORK DAY DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.

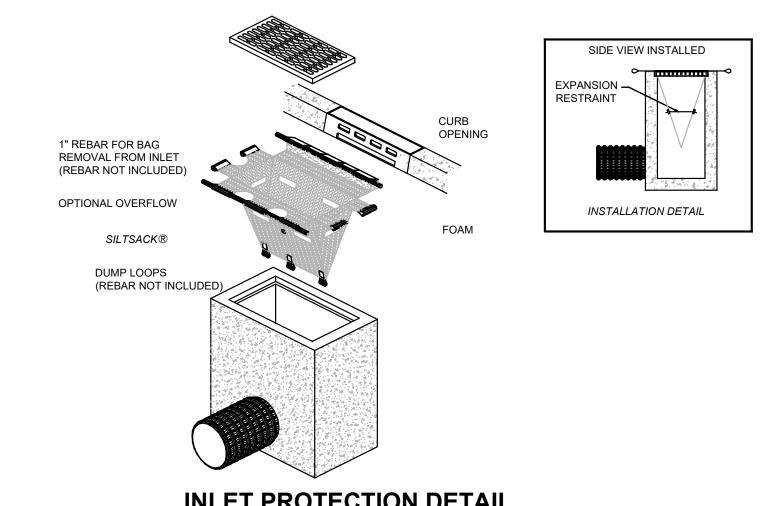


		<u> </u>
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
PERCENT SLOPE OF ROADWAY	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE. MIX 1-2 1	

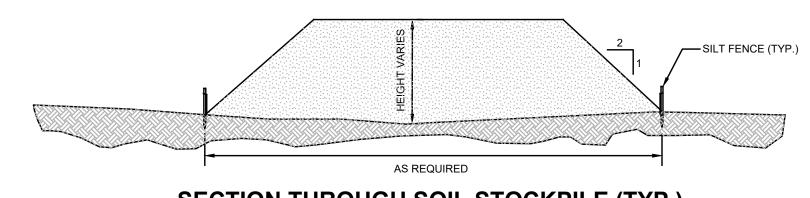
STABILIZED CONSTRUCTION ENTRANCE

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

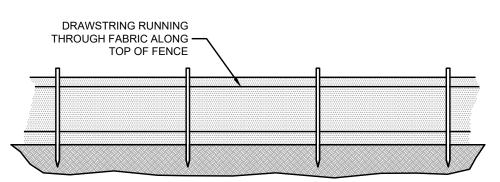
1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.



INLET PROTECTION DETAIL



SECTION THROUGH SOIL STOCKPILE (TYP.) FENCE POST (SPACING 8'-0" C. TO C.) FARRIC SECURED TO POST WITH -METAL FASTENERS & REINFORCEMENT BETWEEN **FASTENER & FABRIC** SILT ACCUMULATION —



DIG 6" WIDE & DEEP TRENCH, BURY BOTTOM 1'-0" OF FABRIC, TAMP N PLACE -CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) COLORADO, & DISTRICT OF COLUMBIA

SILT FENCE DETAIL

PROJECT INFORMATION

DJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

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501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712

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APPLICANT'S PROFESSIONALS FOX ROTHSCHILD, LLP

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LANDSCAPE ARCHITECT BML STUDIO, LLC 11 PERIWINKLE DRIVE

LITTLE SILVER, NJ 07739

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

BARNEGAT, NJ 08005



NJ ONE CALL....800-272-1000 TEMP. SURVEY MARKINGS



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NJPE 43118 NJPP \$726 PAPE 6196 DEPE 3813 NYPE 802295 CTPE 23291 NCPE 33336 DCPE 900682 COPE 36605

REVISIONS

DESIGNED BY: CMB SCALE: AS SHOWN DATE: 11/20/20 DRAWN BY: JLS JOB#: **20-1472-01** CHECKED BY: **JLF** CAD ID: 20-1472-01r2

APPROVED BY

NOT FOR CONSTRUCTION FOR CONSTRUCTION

PLAN INFORMATION RAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION & SEDIMENT CONTROL

DETAILS