

GENERAL NOTES:

- COPYRIGHT 2018 M. B. HEARN ARCHITECTURE, LLC. ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THESE DOCUMENTS, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF M. B. HEARN ARCHITECTURE, LLC IS PROHIBITED.
- BUILDING TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING THE FOLLOWING:
 - NJ UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23)
 - 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2014 NATIONAL ELECTRICAL CODE
 - 2018 NATIONAL STANDARD HURSTING CODE
 - 2009 INTERNATIONAL FUEL GAS CODE
 - 2009 (CG) ANSI WITH 2009 BARBERS FREE SUBCODE
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS AND ALL APPLICABLE BUILDING CODES AND STATE/COUNTY/LOCAL REGULATIONS.
- CONSTRUCTION CLASSIFICATION: VB
- USE GROUP: R-5
- OCCUPANCY: 1 OCCUPANT PER 200 SF LIVABLE AREA
- DESIGN LOADS:
 - ROOFS: 30 PSF LIVE + 18 PSF DEAD
 - EXTERIOR BALCONY: 60 PSF LIVE + 12 PSF DEAD
 - DECKS: 40 PSF LIVE + 12 PSF DEAD
 - GRASS ON GRADE: 10 PSF LIVE + 12 PSF DEAD
 - ATTICS (NO STORAGE): 10 PSF LIVE + 6 PSF DEAD
 - ATTICS WITH STORAGE: 20 PSF LIVE + 6 PSF DEAD
 - FLOORS (LIV AREA): 40 PSF LIVE + 12 PSF DEAD
 - FLOORS (BEDROOMS): 30 PSF LIVE + 12 PSF DEAD
 - STAIRS: 40 PSF LIVE + 6 PSF DEAD
 - GUARDRAILS, HANDRAILS: 200 PSF LIVE
- DESIGN WIND LOAD:
 - BASIC WIND SPEED: 105 MPH, OCCUPANCY CATEGORY II.
 - IMPORTANCE FACTOR I(0), EXPOSURE CATEGORY B
 - MEAN ROOF HEIGHT: 21 FT
- WIND FORCE RESISTING SYSTEMS LOADS: COMPONENTS & CLADDING DESIGN WIND LOADS: ROOF: 21 TO 45° - 15.0; WALLS: 15° - 18.5
- ALL LAYOUT DIMENSIONS AS INDICATED SHALL BE ADJUSTED WHERE REQUIRED, ROUND OPENINGS REQUIRED BY SPECIFIC BUILDING COMPONENTS SHALL TAKE PRECEDENCE FOR PROPER FIT OF FINISHED COMPONENT.
- NEVER SCALE DRAWINGS: CONTRACTOR SHALL REFER TO WRITTEN DIMENSIONS ONLY.
- ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR CHECKING THE FIELD WITH EXISTING CONDITIONS IN PLACE AND VARIATIONS, IF ANY, BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE FIT OF WORK IN PLACE.
- NO CHANGES TO THE PLANS ARE PERMITTED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THESE DRAWINGS AT ANY TIME DURING CONSTRUCTION.
- THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE STRUCTURE ON THE PROPERTY AND FOR CORRECTION OF ALL REQUIREMENTS FOR SITING.
- THIS FOUNDATION DESIGN IS BASED ON ASSUMED SOILS, GROUP 1 - SUI (GP, SU) AND/OR SP ONLY (GOOD DRAINAGE CHARACTERISTICS, LOW FROST HEAVE POTENTIAL, & LOW VOLUME CHANGE POTENTIAL EXPANSION). THE MINIMUM ACCEPTED SOIL BEARING CAPACITY IS 2000 PSF. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER TO MAKE SUBSURFACE INVESTIGATION SUCH AS BORINGS, AND CONSULT WITH A SOIL ENGINEER IF NECESSARY TO ESTABLISH THAT THE SOIL BEARING CAPACITY IS ADEQUATE. IF IT IS LESS THAN 2000 PSF, NOTIFY ARCHITECT BEFORE COMMENCEMENT OF WORK.
- THE INSULATION PROPOSED MEETS THE REQUIREMENTS OF THE NEW JERSEY MODEL ENERGY CODE. A RESCHECK COMPLIANCE CERTIFICATE SHALL BE SUBMITTED IN CONJUNCTION WITH THE CONSTRUCTION DOCUMENTS.
- IF ASBESTOS CONTAINING MATERIAL OR SUSPECTED ASBESTOS IS DISCOVERED ON SITE THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE OWNER AND THE ARCHITECT. ASBESTOS REMOVAL, REMEDIATION AND DISPOSAL SHALL OCCUR UNDER A SEPARATE CONTRACT BETWEEN THE OWNER AND A LICENSED ASBESTOS ABATEMENT CONTRACTOR PRIOR TO RESUMING WORK.
- PROTECTION OF ADJACENT PROPERTIES: AS PLANNED THIS PROJECT DOES NOT MEET ANY OF THE THREE CONDITIONS LISTED IN NJAC 5:23-23.4(d)-(g), A, B, OR C. THEREFORE THE REQUIREMENTS OF NJAC 5:23-23.11(1) DO NOT APPLY. AS PER NJAC 5:23-23.4(f), THE OWNER WILL BE ADVISED BY COPY OF THESE PLANS THAT THEY SHALL PROTECT (AND CAUSE THE CONTRACTOR TO PROTECT) ADJOINING PROPERTIES FROM DAMAGE CAUSED BY WORK.
- THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE-FAMILY AND TWO-FAMILY DWELLINGS (WFCM).
- CONTRACTOR SHALL PROVIDE GENERAL LIABILITY AND COMPLETED OPERATIONS INSURANCE NAMING THE HOPEWELL AS AN ADDITIONAL INSURED.
- CONTRACTOR SHALL PROVIDE ALL SITE SOILS AND EROSION CONTROL WORK PER THE SITE ENGINEERING DRAWINGS AND IN CONFORMANCE WITH ALL COUNTY/LOCAL REQUIREMENTS. STRIP AND STORE ALL TOPSOIL, KEEP ALL STREETS AND LANE CLEAN AND CLEAR AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE ALL FILLING OF THE PROPERTY PER THE SITE ENGINEERING DRAWINGS.
- CONTRACTOR TO COORDINATE AND MANAGE ALL PERMANENT UTILITY CONNECTIONS (WATER, SEWER, GAS, ELECTRIC, CABLE, ETC.) AND SHALL OBTAIN TEMPORARY SERVICES FOR CONSTRUCTION AS REQUIRED.
- THE CONTRACTOR SHALL KEEP THE PROPERTY AND CONSTRUCTION SITE CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE FINAL/FINE CLEANING (INTERIOR AND EXTERIOR) UPON PROJECT COMPLETION AND RECEIPT OF CERTIFICATE OF OCCUPANCY.

GENERAL CONSTRUCTION NOTES:

- CONCRETE: ALL CONCRETE SHALL HAVE A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS NOTED OTHERWISE.
- CONNECTIONS: ALL NAILED CONNECTIONS TO COMPLY WITH THE FASTENER SCHEDULE TABLE 602.3(1) UNLESS NOTED OTHERWISE. SHEATHING NAILING TO COMPLY WITH SAME SCHEDULE AND/OR MANUFACTURER'S RECOMMENDED SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- WOOD CONNECTIONS: ALL WOOD-TO-WOOD CONNECTIONS SHALL BE SIMPSON STRONG-TIE CO. INC. (OR TERMINAL AS APPROVED BY ARCHITECT). ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE-TREATED WOOD (DESIGNATED AS "VOLCANIZED" AND/OR "TOLU") ON THE CONSTRUCTION DOCUMENTS SHALL BE SUBSTITUTED WITH GALVANIZED STEEL. THE SUBSTITUTION OF SIMPSON 2"X4 GALVANIZED (G95) CONNECTORS AND FASTENERS SHALL ONLY BE ALLOWED UPON BOTH SIMPSON'S AND THE LOCAL CONSTRUCTION CODE OFFICIAL'S APPROVAL. BASED ON THE CONTRACTOR'S SUBMISSION OF THE SPECIFICATIONS OF THE PRESSURE-TREATED WOOD TO BE USED ON THE PROJECT.
- WALL BRACING: WALLS SHALL BE BRACED IN ACCORDANCE WITH R6-02.10. THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH R6-02.10.
- FRAMING:
 - A. ALL REPETITIVE LUMBER (NON-BEARING PARTITIONS, FLOOR JOISTS, FRAMING, RAFTERS, CEILING JOISTS, ETC.) TO BE MEM FIR NO. 2 OR BETTER (OR APPROVED EQUAL) AND TO HAVE A MINIMUM FIBER STRESS OF 1500 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000.
 - B. ALL STRUCTURAL LUMBER (GIRDERS, HEADERS, BEARING PARTITIONS) TO BE DOUGLAS FIR NO. 2 OR BETTER (OR APPROVED EQUAL) AND TO HAVE A MINIMUM FIBER STRESS OF 1500 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000.
 - C. ALL LVLs TO HAVE A MINIMUM FIBER STRESS OF 2,500 PSI AND A MODULUS OF ELASTICITY OF 2,800,000.
 - D. DOUBLE-UP FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS.
 - E. ALL HEADERS SHALL BE SUPPORTED PER TABLES 602.7(1), 602.7(2) & 602.7(3), UNLESS NOTED OTHERWISE.
- CUTTING AND NOTCHING: NO NOTCHING OF WOOD BEAMS, JOISTS, RAFTERS OR STUDS IS ALLOWED UNLESS THE CUTTING OR NOTCHING COMPLIES WITH THAT ALLOWED IN FIGURES R6-02.8, R6-02.4(1) & R6-02.4(2). IF ENGINEERED FLOOR JOISTS ARE USED, CUTTING AND NOTCHING IS ALLOWED ONLY AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- WATER RESISTANT GYPSUM WALLBOARD: PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT WALLS AND CEILINGS OF BATHROOMS, POWDER ROOMS AND LAUNDRY ROOMS. 1/2" MINIMUM THICKNESS AT WALLS AND 5/8" MINIMUM THICKNESS AT CEILINGS.
- EGRESS: EVERY BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR DIRECTLY TO THE EXTERIOR AND BEHIND AND ABOVE AS PER SECTION R6-10. THE UNIT MUST BE OPERABLE FROM INSIDE WITHOUT THE USE OF SEPARATE TOOLS. BILL HEIGHT NOT TO BE MORE THAN 44" ABOVE FINISH FLOOR. MINIMUM NET CLEAR OPENING OF 5.7 SF. MINIMUM NET CLEAR OPENING HEIGHT OF 24". MINIMUM NET CLEAR OPENING WIDTH OF 19".
- FIRE AND DRAFT STOPPING: FIRE AND DRAFT STOP AT ALL DROPPED SOFFITS AND CEILINGS, AND ANY OTHER CONCEALED AREAS WHERE FIRE/DRAFT STOPPING IS REQUIRED BY CODE.
- ROOF ICE PROTECTION: IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 28°F OR LESS, PROVIDE AN ICE PROTECTION IN ACCORDANCE WITH SECTION R6-09.1(2) OR AS NOTED ON DRAWINGS.
- DRAINAGE: SLOPE FINISH GRADE ADEQUATE TO FOUNDATION AT ALL SIDES OF DWELLING DOWN AND AWAY AT 1/2" MINIMUM PITCH FOR A MINIMUM RANGE OF 8'-0". EXTERIOR WALLS SHALL HAVE A SAND/GRAVEL MIXTURE ROADS. PROVIDE A DEDICATED FOUNDATION DRAINAGE SYSTEM AS PER CODE.
- UNHEATED AREAS: INSULATE ALL HEATING DUCTS, TRUNKS AND HYDRONIC PIPING IN AREAS NOT HEATED (BASEMENT, CRAWL SPACES, CANTILEVERS, GARAGES, ETC.).
- ROOF SHINGLES: ASPHALT/FIBERGLASS STRIP SHINGLES SHALL HAVE A MINIMUM OF SIX (6) FASTENERS PER SHINGLE.
- BONDING OF FOOTINGS: THE FOOTINGS SHALL BE BONDED IN ACCORDANCE WITH REC 250-30 C. REQUIREING THE ELECTRODE SYSTEM IN NEW CONSTRUCTION BE GROUNDED/BONDED TO THE FOOTING SYSTEM.
- HANDRAILS: PROVIDE "GRASPABLE" HANDRAILS AT ALL STAIRS WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE 36" HIGH MEASURED VERTICALLY ABOVE THE STAIR NOSING, CLEAR SPACE BETWEEN HANDRAILS AND WALLS OR OTHER RAILINGS SHALL BE 1-1/2" MINIMUM. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4" MINIMUM AND 3" MAXIMUM, OR SHALL PROVIDE EQUIVALENT GRASPABILITY (PERIMETER DIMENSION OF 4" MINIMUM AND 6-1/4" MAXIMUM WITH LARGEST CROSS SECTION OF 2-1/4" MAXIMUM). HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.

PROJECT DATA: R-1 ZONE

SITE AREA: 45' x 150' = 6,750 SF

BUILDING COVERAGE:

DWELLING:	1,466.1 SF
FRONT COVERED PORCH:	224.1 SF
REAR COVERED PORCH:	28.0 SF
SIDE COVERED PORCH:	11.3 SF
DETACHED GARAGE/APARTMENT:	613.0 SF
TOTAL:	2,342.1 SF = 34.8%

IMPERVIOUS COVERAGE:

DWELLING:	1,466.1 SF
FRONT COVERED PORCH:	224.1 SF
REAR COVERED PORCH:	28.0 SF
SIDE COVERED PORCH:	11.3 SF
DETACHED GARAGE/APARTMENT:	613.0 SF
FRONT WALK 4 STEPS:	10.6 SF
DRIVEWAY:	133.8 SF
SIDE STEPS:	6.6 SF
REAR STEPS 4 PATIO:	211.3 SF
MECHANICAL EQUIPMENT PAD:	23.1 SF
TOTAL:	4,041.1 SF = 59.8%

GROSS AREA OF DWELLING:

FIRST FLOOR:	1,466 SF
SECOND FLOOR:	1,093 SF
HALF STORY:	458 SF
TOTAL:	2,983 SF

HEIGHT OF DWELLING: 34.1' ABOVE GRADE

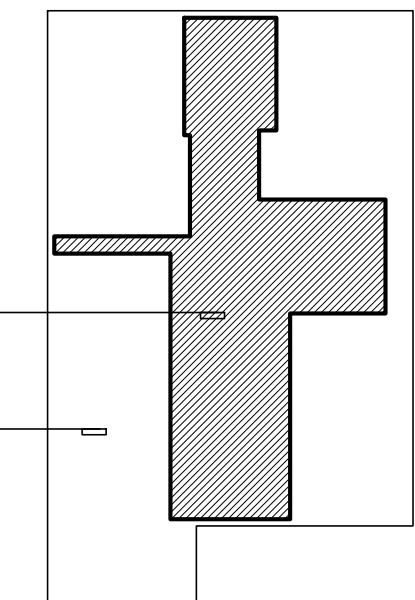
VOLUME OF DWELLING: 42,106 CU FT

GROSS AREA OF GARAGE/APARTMENT:

FIRST FLOOR:	587 SF
SECOND FLOOR AND STAIRWELL:	972 SF
TOTAL:	1,559 SF

HEIGHT OF GARAGE/APARTMENT: 24'-10" RIDGE ABOVE GRADE 10'-6" ROOF EAVE ABOVE GRADE

VOLUME OF GARAGE/APARTMENT: 12,054 CU FT



HALF STORY CALCULATION:
BOROUGH OF BRADLEY BEACH ZONING DEFINITION: 458 SF (± 5' AND HIGHER) / 1,093 SF SECOND FLOOR AREA + 432% 43.2% IS LESS THAN 50%, THEREFORE THE HALF STORY AS DESIGNED, MEETS THE BOROUGH DEFINITION OF A HALF STORY.

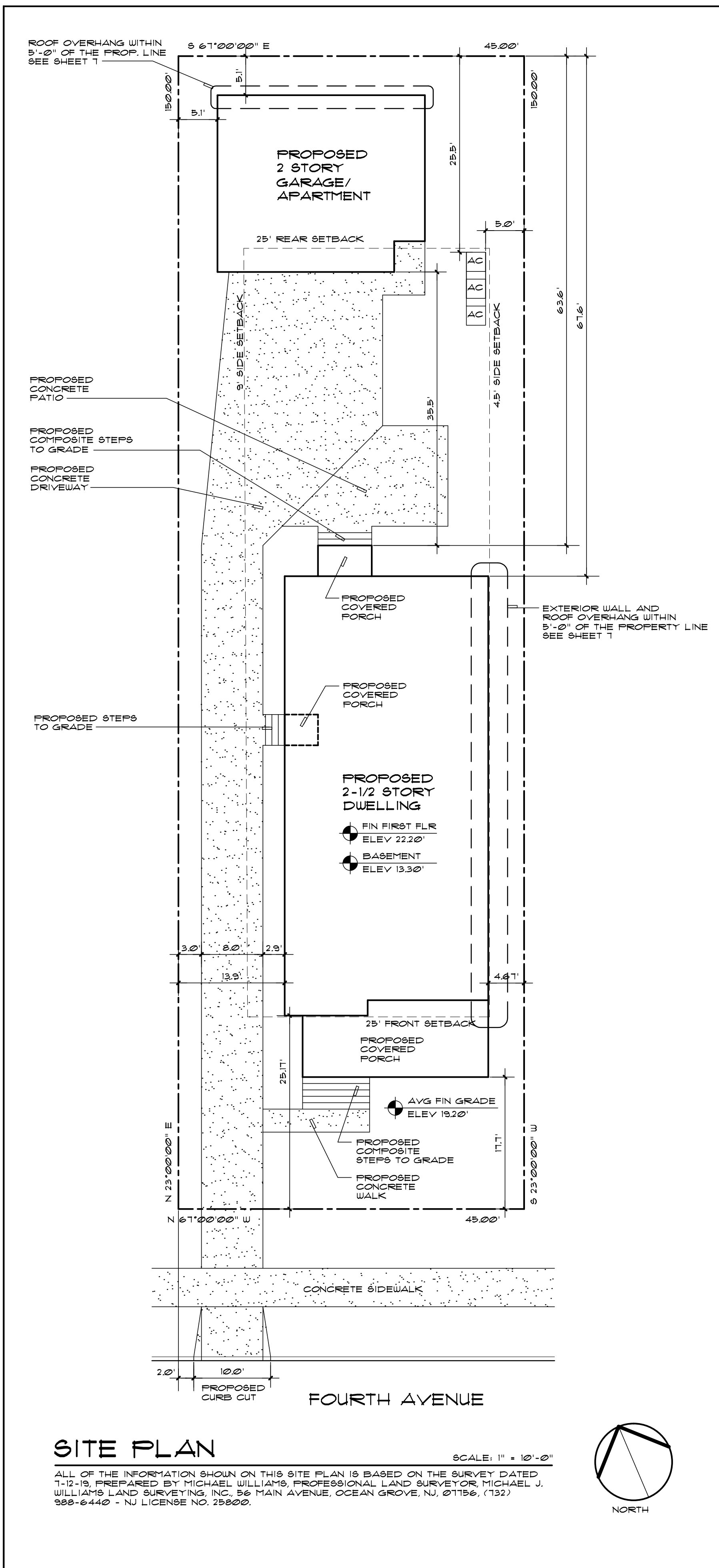
HABITABLE ATTIC CALCULATION:
IRC/R302 DEFINITION: 344 SF (± 1' AND HIGHER) / 1,093 SF SECOND FLOOR AREA + 32.48%, 32.48% IS LESS THAN 33.33%, THEREFORE VA CONSTRUCTION IS NOT REQUIRED.

AREA OF HABITABLE ATTIC (MEASURED 1' AND HIGHER): 344 SF

TOTAL SECOND FLOOR AREA: 1,093 SF

PROJECT NOTES:

- PERMITS: CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY.
- OVERVIEW: REMOVE THE EXISTING DWELLING AND GARAGE AND CONSTRUCT NEW DWELLING, NEW DETACHED GARAGE/APARTMENT AND SITE IMPROVEMENTS AS SHOWN. PROPOSED DWELLING IS NOT WITHIN A FLOOD ZONE. DWELLING TO BE VB CONSTRUCTION (NOT FIRE-RATED), FIRE RATING ONLY AS REQUIRED WITHIN 5'-0" OF THE PROPERTY LINE.
- DEMOLITION: REMOVE EXISTING DWELLING AND ALL EXISTING SITE IMPROVEMENTS, COORDINATE ANY ITEMS TO BE SAVED DURING DEMOLITION WITH OWNER. LEGALLY DISPOSE OF ALL ITEMS OFF SITE.
- ENGINEERING: CONTRACTOR TO PROVIDE REQUIRED STAKE OUTS, AS-BUILTS AS NECESSARY.
- INSTALL ALL PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL FINISH MATERIALS (INTERIOR AND EXTERIOR) TO BE SELECTED BY OWNER.
- WATER & SEWER: PROVIDE A NEW 1" WATER MAIN. PROVIDE A NEW 4" SEWER MAIN. COORDINATE CONNECTIONS PER BOROUGH REQUIREMENTS.
- PLUMBING: ALL PLUMBING WORK IS TO BE DESIGNED AND INSTALLED BY A LICENSED PLUMBER IN STRICT ACCORDANCE WITH THE MOST RECENTLY ADOPTED PLUMBING CODE. PROVIDE A SHUT OFF AND DRAIN AT MAIN SUPPLY AT EACH STRUCTURE FOR WINTERIZING.
- EXTERIOR SHOWER: EXTERIOR SHOWER IS PLANNED INTEGRAL WITH THE DETACHED GARAGE/APARTMENT. PROVIDE SHUT OFF IN EASILY ACCESSIBLE LOCATION. PROVIDE HOT AND COLD WATER TO SHOWER HEAD AND FOOT WASH.
- ELECTRICAL: ALL ELECTRICAL WORK TO BE DESIGNED AND INSTALLED BY A LICENSED ELECTRICIAN IN STRICT ACCORDANCE WITH THE MOST RECENTLY ADOPTED ELECTRICAL CODE. PROVIDE A NEW OVERHEAD 200 AMP SERVICE. PROVIDE ONE GAS-FIRED GARAGE/APARTMENT UNDERGROUND FURNACE/AIR HANDLER IN THE BASEMENT TO SERVE THE FIRST FLOOR. PROVIDE A SECOND GAS-FIRED FURNACE/AIR HANDLER IN THE ATTIC TO SERVE THE SECOND FLOOR AND HALF STORY (ON SEPARATE ZONES). GARAGE/APARTMENT: PROVIDE ONE GAS-FIRED FURNACE/AIR HANDLER IN THE GARAGE TO SERVE THE APARTMENT. PROVIDE THREE AC CONDENSERS ON CONCRETE PAD. PROVIDE PROGRAMMABLE THERMOSTATS. THE LAYOUT OF DUCTWORK, LOCATIONS OF DROPPED SOFFITS (IF ANY) AND LOCATIONS OF SUPPLY AND RETURN REGISTERS TO BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION.
- HVAC: ALL HVAC WORK IS TO BE DESIGNED AND INSTALLED BY A LICENSED MECHANICAL CONTRACTOR IN STRICT ACCORDANCE WITH THE MOST RECENTLY ADOPTED MECHANICAL CODE. ALL HVAC EQUIPMENT TO BE 80% MIN EFFICIENCY. DWELLING: PROVIDE ONE GAS-FIRED DIRECT-VENT FURNACE/AIR HANDLER IN THE BASEMENT TO SERVE THE FIRST FLOOR. PROVIDE A SECOND GAS-FIRED FURNACE/AIR HANDLER IN THE ATTIC TO SERVE THE SECOND FLOOR AND HALF STORY (ON SEPARATE ZONES). GARAGE/APARTMENT: PROVIDE ONE GAS-FIRED FURNACE/AIR HANDLER IN THE GARAGE TO SERVE THE APARTMENT. PROVIDE THREE AC CONDENSERS ON CONCRETE PAD. PROVIDE PROGRAMMABLE THERMOSTATS. THE LAYOUT OF DUCTWORK, LOCATIONS OF DROPPED SOFFITS (IF ANY) AND LOCATIONS OF SUPPLY AND RETURN REGISTERS TO BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION.
- WATER HEATERS: PROVIDE TWO GAS-FIRED DIRECT-VENT TANKLESS WATER HEATER IN THE DWELLING: ONE IN THE BASEMENT AND ONE IN THE ATTIC. PROVIDE ONE GAS-FIRED DIRECT-VENT TANKLESS WATER HEATER IN THE GARAGE/APARTMENT. EACH WITH A RECIRCULATING LINE.
- NATURAL GAS: ALL GAS WORK IS TO BE DESIGNED AND INSTALLED BY A LICENSED MECHANICAL CONTRACTOR IN STRICT ACCORDANCE WITH THE MOST RECENTLY ADOPTED MECHANICAL CODE. GAS APPLIANCES: THREE FURNACES, THREE WATER HEATERS, TWO RANGES, TWO DRYERS, ONE EXTERIOR GRILL. COORDINATE LOCATION OF EXTERIOR GRILL WITH OWNER.
- FOUNDATION: REINFORCED CONCRETE FOUNDATION WALLS ON REINFORCED CONCRETE FOOTINGS.
- SUMP PITS/PUMPS: PROVIDE TWO SUMP PITS/PUMPS TIED TO EXTERIOR STORMWATER SYSTEM.
- WEATHER BARRIERS AND FLASHING: PROVIDE ICE/SHIELD UNDERLAYMENT AT EXTERIOR ROOF, BOTH STRUCTURES. PROVIDE TYVEK HOUSE WRAP AT ALL EXTERIOR WALLS, BOTH STRUCTURES. PROVIDE SELF-ADHERED FLASHING AT ALL OPENINGS AT EXTERIOR WALLS. PROVIDE ALL WALL, BASE, THRU-WALL FLASHING AND OR COUNTER FLASHING ETC. AS REQUIRED TO PREVENT THE ENTRANCE OF WATER.
- SHINGLE ROOFING: GAF 50 YEAR WARRANTY ASPHALT ROOF SHINGLES.
- WINDOWS AND FRENCH DOORS: ANDERSEN 400 SERIES, TILT-WASH DOUBLE HUNG. EXTERIOR COLOR: TO BE DETERMINED. INTERIOR COLOR: TO BE DETERMINED. GLAZING: HIGH PERFORMANCE LOW E3. GRILLES: 1-1/8". PERMANENT INTERIOR/PERMANENT EXTERIOR/SPACER IN PATTERNS AS SHOWN. JAMBS: 5/8" PER WALL THICKNESS. SCREENS: STANDARD SCREENS AT ALL OPERABLE WINDOWS AND DOORS. HALF SCREENS AT DOUBLE HUNG. HARDWARE: CORROSION RESISTANT, HARDWARE COMPONENTS, STYLE AND FINISH AS SELECTED BY OWNER.
- VINYL SIDING: CERTAINTED, CLAPBOARD; CEDARBOARD XL 5 1/2" ROUGH CEDAR BOARD & BATTEN; 5/2" BOARD & BATTEN SMOOTH. SEE ELEVATIONS FOR VARIOUS FINISHES.
- EXTERIOR TRIM: AZEK.
- EXTERIOR SOFFITS: VENTED VINYL BEADBOARD.
- PORCH CEILING: VINYL BEADBOARD ON 1/2" PLYWOOD SUBSTRATE.
- FRONT AND REAR PORCH FLOORING AND STEPS: COMPOSITE TONGUE & GROOVE.
- EXTERIOR COLUMNS: AZEK 10" SQUARE WRAPPED LVL POSTS, SHAFT, CAP AND BASE AS PER OWNER.
- EXTERIOR RAILS: INTEX NAUTILUS COMPOSITE RAIL SYSTEM (NEWELS, TOP AND BOTTOM RAILS, AND BALUSTERS). COORDINATE ALL COMPONENTS WITH OWNER.
- GUTTERS & DRAIN SPOUTS & STORMWATER SYSTEM: STANDARD WHITE ALUMINUM GUTTERS AND DOWN SPOUTS. SEE SITE ENGINEER'S GRADING AND DRAINAGE PLAN FOR FINISH GRADING AND UNDERGROUND STORMWATER SYSTEMS. ALL DRAINAGE IS TO BE PLANNED IN ORDER THAT STORM WATER IS KEPT AWAY FROM THE FOUNDATIONS AND FROM NEIGHBORING PROPERTIES.
- INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION. PARTS AS NECESSARY AT DWELLING: PROVIDE BATT INSULATION: R-30 AT ATTIC RAFTERS, R-30 AT FIRST FLOOR JOISTS, R-19 AT ALL EXTERIOR WALLS. AT APARTMENT: PROVIDE BATT INSULATION: R-38 AT ATTIC RAFTERS, R-38 AT FLOOR JOISTS, R-19 AT ALL EXTERIOR WALLS. ENTIRE LIVABLE BUILDING ENVELOPE TO BE INSULATED.
- PROVIDE REQUIRED SUPPLY AND EXHAUST AIR TO ALL MECHANICAL EQUIPMENT.
- SOUND ATTENUATION: PROVIDE ROXUL SOUND ABSORBENT INSULATION IN ALL WALLS AT BEDROOMS, BATHS, POWDER ROOMS AND LAUNDRY ROOMS.
- LAUNDRY: UNDER WASHERS PROVIDE REQUIRED PAN WITH DRIP LINE TO EXTERIOR. VENT DRYERS DIRECTLY TO EXTERIOR. PROVIDE SHUT OFF VALVES AT SUPPLY LINES TO WASHERS IN EASILY ACCESSIBLE LOCATIONS.
- INTERIOR STAIRS: HARDWOOD TREADS, STAINED; FOPLAR RISERS, PAINTED. HARDWOOD BALUSTERS AND NEWELS, PAINTED. HARDWOOD HANDRAIL, STAINED.
- INTERIOR DOORS: SOLID CORE MDF PAINTED, 1-3/8" THICK. STANDARD DOOR HEIGHTS THROUGHOUT. NOTE: WHERE NECESSARY, HEIGHTS MAY NEED TO BE ADJUSTED. VERIFY FIT OF EACH DOOR IN FIELD.
- INTERIOR TRIM: ALL MOLDINGS TO BE SELECT GRADE, PAINTED, 3" NOMINAL CABINETS: 5" NOMINAL BASE MOLDINGS, PROFILES, STYLES AND FINISHES AS PER OWNER.
- FINISH FLOORS: HARDWOOD, STAINED AND THREE COAT FINISH. TILE.
- BUILT-IN CABINETRY, COUNTERTOPS, MILLWORK AND SHELVING TO BE COORDINATED WITH OWNER.
- CLOSET: PROVIDE ROOFS AND SHELVES IN COAT CLOSETS. PROVIDE FOUR SHELVES HIGH IN ALL LINEN CLOSETS. COORDINATE MATERIALS, FINISHES AND DESIGN WITH OWNER.
- BATHS: AT TUBS AND SHOWERS, COORDINATE DESIGN AND INSTALLATION OF BUILT-IN NICHE(S) AND/OR SEAT(S) WITH OWNER. SHOWERS: TILE FLOOR AND WALLS FULL HEIGHT, FRAM-LESS GLASS ENCLOSURE. PROVIDE A STANDARD SHOWER HEAD WITH HANDHELD DIVERTER.
- BATH ACCESSORIES: COORDINATE THE INSTALLATION OF ALL MIRRORS, MEDICINE CABINETS, TOILET RACKS, TOILET TISSUE HOLDERS, HOOKS, ETC. WITH OWNER. NOTE! PROVIDE IN WALL BLOCKING FOR FUTURE GRAB BARS AT ALL TUBS, SHOWERS AND TOILETS.
- KITCHEN NOTES: ALL NEW CABINETRY, COUNTERTOPS AND APPLIANCES. PROVIDE WATER LINE TO REFRIGERATOR/FREEZER, STONE COUNTERTOPS, FULL HEIGHT TILE BACKSPLASHES.
- TELEPHONE AND CABLE/INTERNET: PROVIDE ONE (1) HARDWIRED TELEPHONE JACK AT EACH STRUCTURE. PROVIDE ELEVEN (11) CAT 6 CABLE/INTERNET JACKS AT THE DWELLING AND TWO (2) AT THE GARAGE/APARTMENT. COORDINATE LOCATION OF SAME WITH OWNER.
- INTERIOR PAINT: PREEF AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENAUMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH OWNER.
- UNFINISHED ATTIC FLOOR (HALF STORY LEVEL): PROVIDE 3/4" PLYWOOD SUBFLOOR OVER ENTIRE ATTIC FLOOR.
- HARDSCAPING: CONCRETE DRIVEWAY, WALKS, ETC. ON APPROPRIATE SUB-BASES.
- CURB, CURB CUT & SIDEWALK: PROVIDE NEW CONCRETE CURB, CURB CUT AND SIDEWALK PER BOROUGH REQUIREMENTS.
- LANDSCAPING: BY OTHERS.
- HOME OWNER'S WARRANTY: PROVIDE HOME OWNER'S WARRANTY.



SITE PLAN

SCALE: 1" = 10'-0"

ALL OF THE INFORMATION SHOWN ON THIS SITE PLAN IS BASED ON THE SURVEY DATED 7-12-18, PREPARED BY MICHAEL WILLIAMS' PROFESSIONAL LAND SURVEYOR, MICHAEL J. WILLIAMS LAND SURVEYING, INC. 56 MAIN AVENUE, OCEAN GROVE, NJ, 07166, (732) 988-6440 - NJ LICENSE NO. 29800.

GIACOBBE RESIDENCE

BLOCK: 53 LOT: 12 202 FOURTH AVENUE BOROUGH OF BRADLEY BEACH, NJ

M. B. HEARN ARCHITECTURE, LLC
1007 MAIN STREET - BELMAR NJ - 07718
(732) 556-9055 FAX: (732) 556-9022

GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

DATE 12-18-2019 **DATE** 12-18-2019 **DATE** 12-18-2019

DESIGNER M.B. HEARN **DATE** 12-18-2019 **DATE** 12-18-2019

PROJECT DATA

NOTED

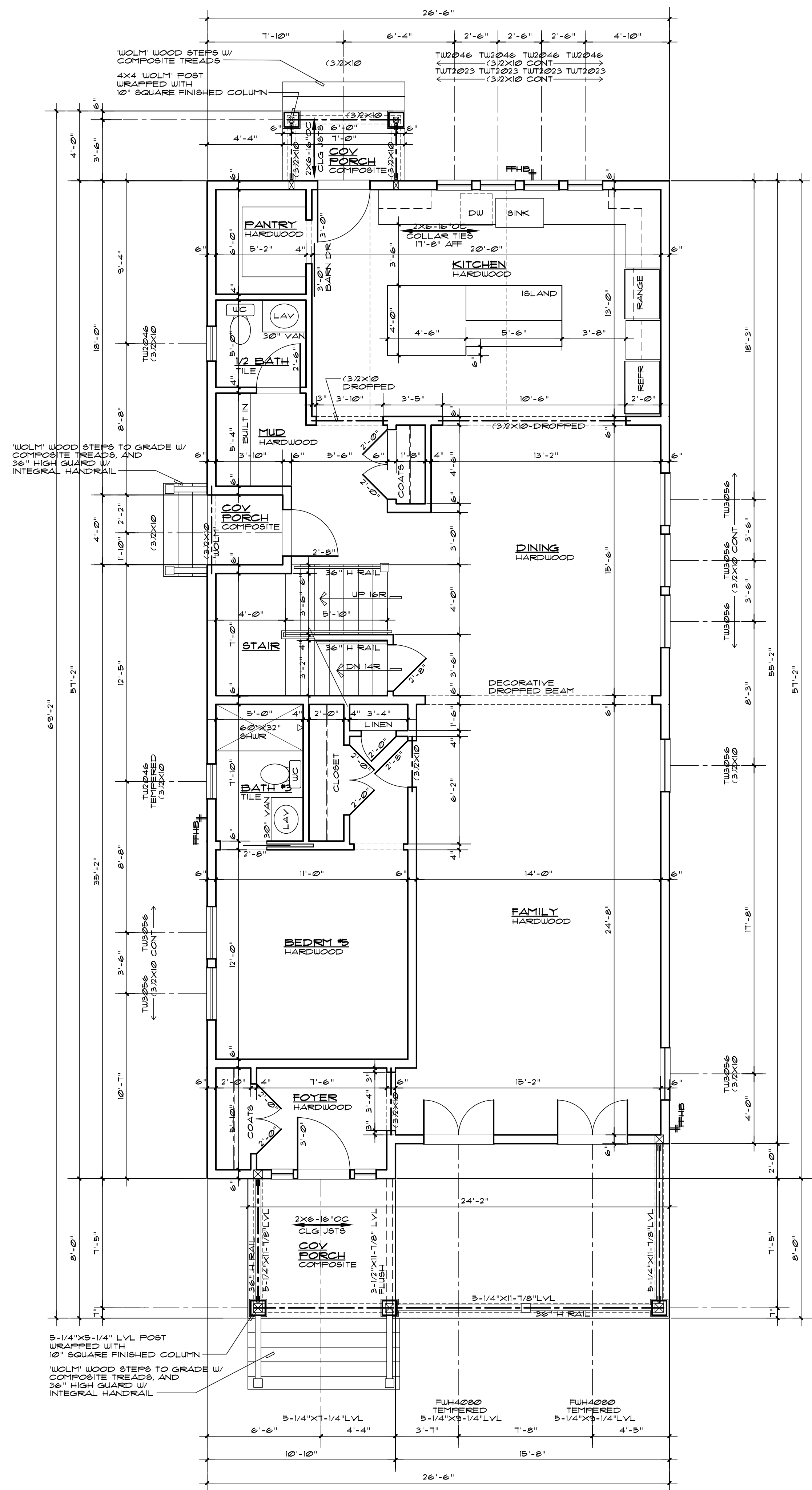
APPROVED

DATE 12-18-2019 **DATE** 12-18-2019

SCALE 1" = 10'-0"

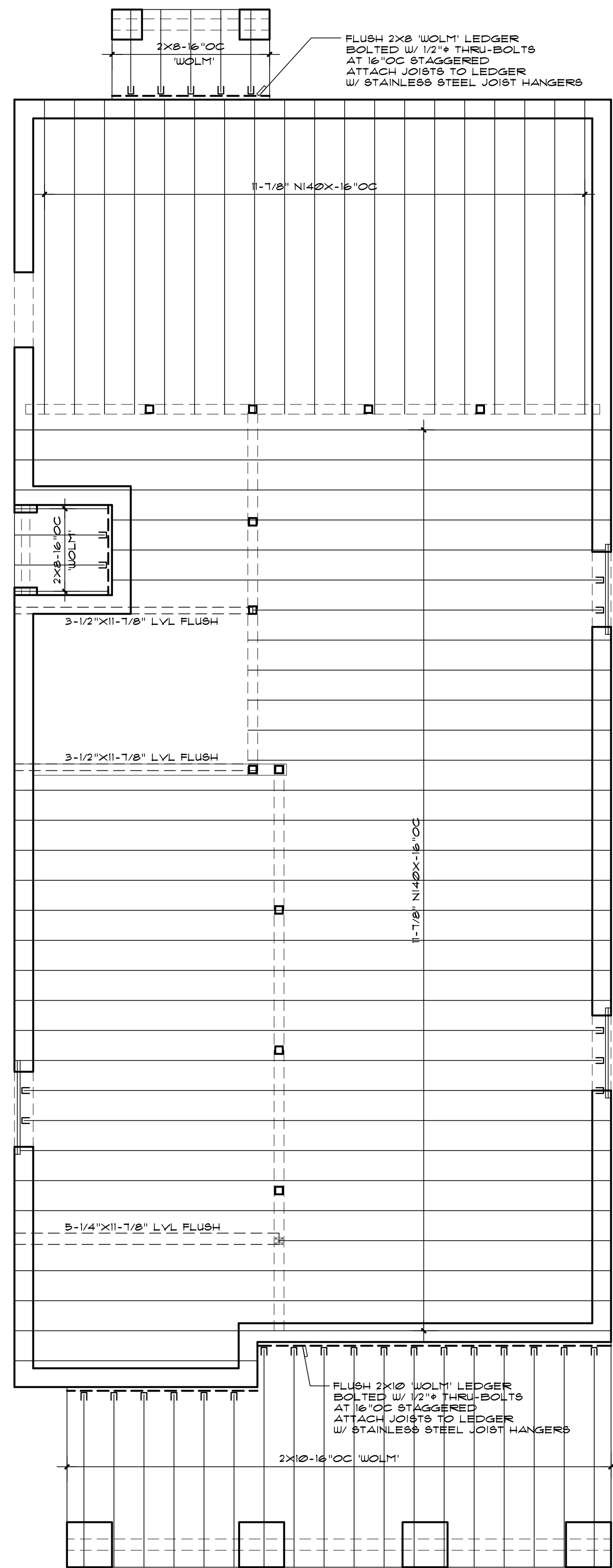
1007 MAIN STREET - BELMAR NJ - 07718
(732) 556-9055 FAX: (732) 556-9022

190705



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

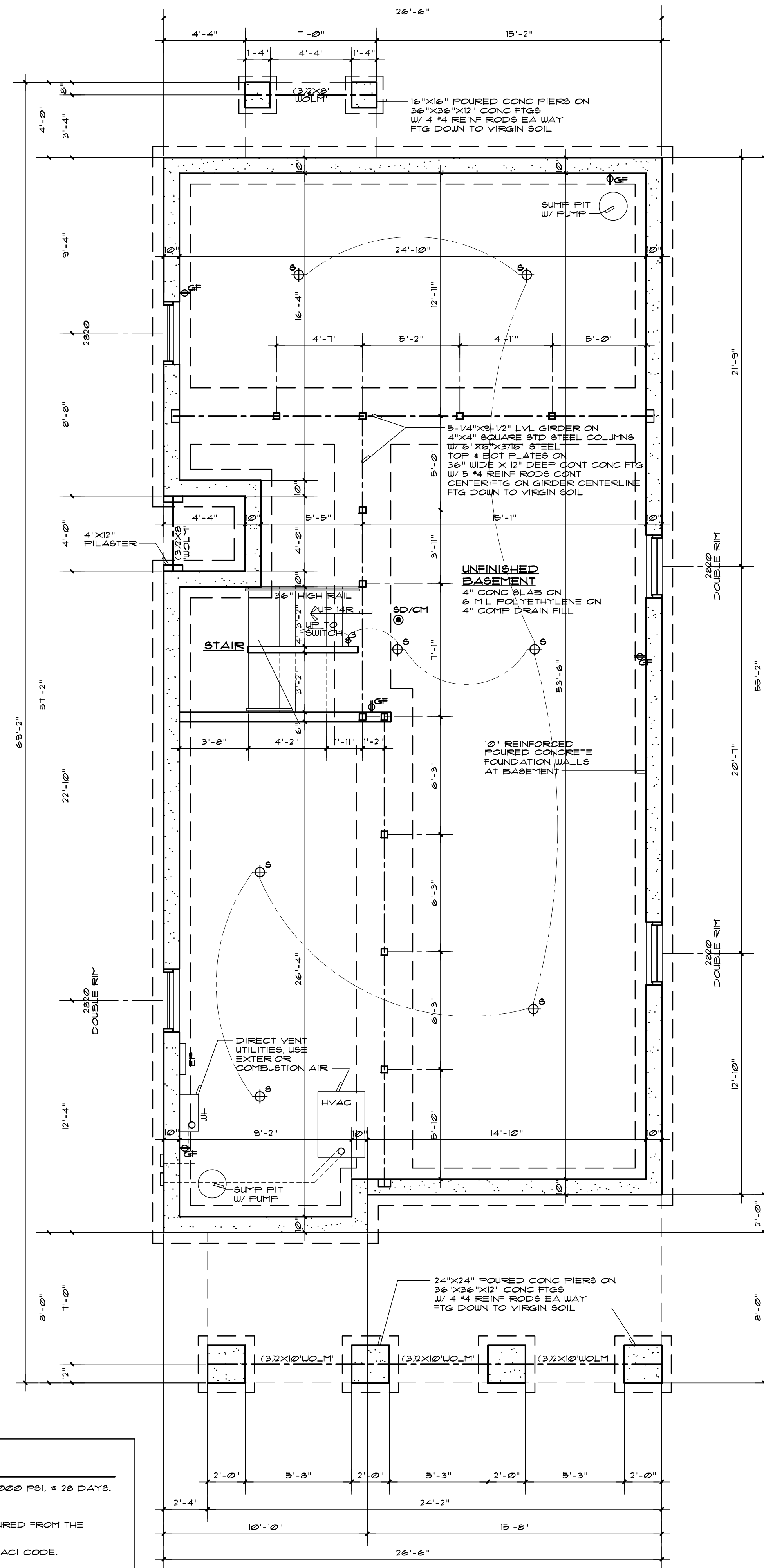


FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

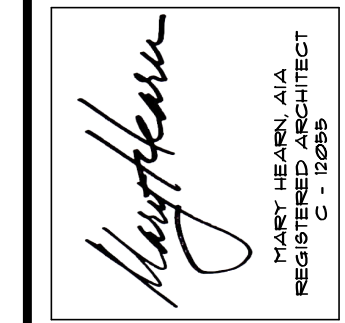
FOUNDATION NOTES:

1. ALL CONCRETE FOR FOOTINGS AND SLABS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI, @ 28 DAYS.
2. STEEL REINFORCING SHALL BE ASTM #15, GRADE 60 BILLET.
3. VERTICAL REINFORCING SHALL BE LOCATED TO PROVIDE A CONCRETE COVER OF 2" MINIMUM MEASURED FROM THE OUTSIDE FACE OF THE WALL AND OF .75" MINIMUM MEASURED FROM THE INSIDE FACE OF THE WALL.
4. ALL CONCRETE AND REINFORCING PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST ACI CODE.
5. FOUNDATION WALLS TO BE Laterally SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
6. ALL WOOD SILLS AND NAILERS IN CONTACT WITH CONCRETE AND/OR MASONRY BLOCK TO BE WOLMANIZED.
7. ALL PIERS AND PILASTERS TO BE FILLED SOLID W/ CONCRETE.
8. AT ENTIRE PERIMETER OF HOME PROVIDE FOUNDATION DRAIN - SEE DETAIL SHEET T.
9. ALL METAL CONNECTORS IN CONTACT W/TREATED LUMBER TO BE STAINLESS STEEL AS PER SIMPSON'S SPECIFICATIONS.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



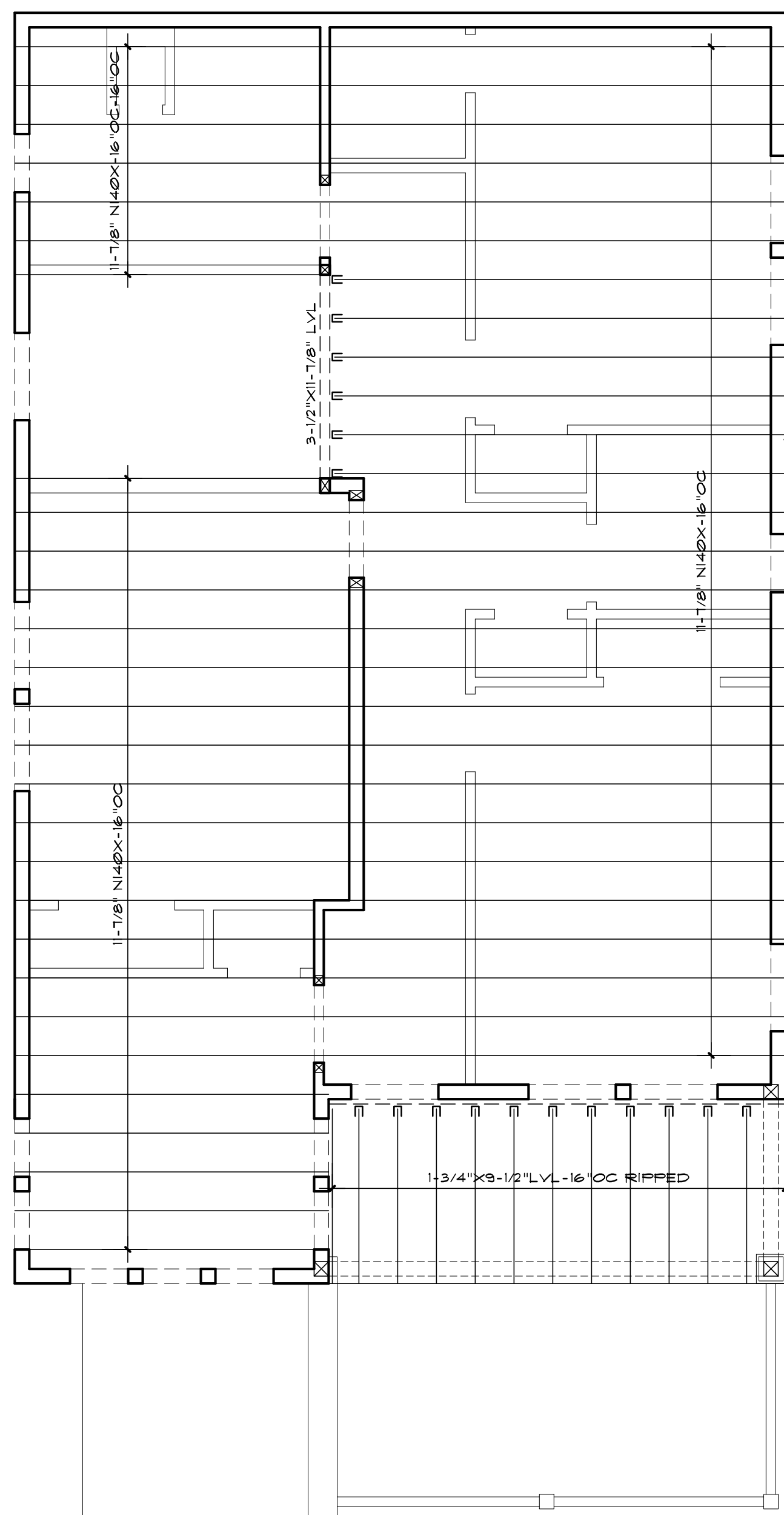
Drawn By	JR	Approved	NOTED	Date	12-19-2019	Sheet No.	2 OF 12
----------	----	----------	-------	------	------------	-----------	---------

FRAMING NOTES:

- FLOOR JOISTS TO BE NORDIC (ENGINEERED I-JOIST).
- HEADERS, GIRDERS & BEAMS TO BE STRUCTURE PRO LVL OR BETTER HEADER.
- RIM BOARDS TO BE NORDIC 1-1/8" RIM BOARDS.
- WALL STUDS, ROOF RAFTERS, & CEILING JOISTS TO BE DOUG FIR #2 OR BETTER.
- STRUCTURAL POSTS TO BE WEST FRAZIER LVL.
- BUILDER TO PROCURE NORDIC FLOOR JOIST LAYOUTS PREPARED BY A TRAINED PROFESSIONAL ENGINEER EMPLOYED BY THE FLOOR JOIST MANUFACTURER/SUPPLIER, AND SUBMIT SAME TO ARCHITECT FOR REVIEW AND COORDINATION PRIOR TO CONSTRUCTION.
- BUILDER TO PROVIDE ALL HANGERS, ACCESSORIES, BLOCKING, CANTILEVER REINFORCEMENTS, WEB STIFFENERS, RIM BOARDS, ETC. AS PER MANUFACTURER'S SPECIFICATIONS.
- BUILDER TO INSTALL PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS.
- AT ALL EXTERIOR WOOD PORCHES/BALCONIES, ALL DECK FRAMING LUMBER TO BE WOLMANIZED SOUTHERN PINE SURFACE DRY, USED AT 18% MAXIMUM MOISTURE CONTENT, MINIMUM FIBERSTRESS 1400 P.S.I.
- AT ALL BEAMS & HEADERS PROVIDE (2) 2X JACK STUD BEARING UNLESS NOTED OTHERWISE. AT OPENINGS IN BEARING WALLS 6'-0" WIDE AND WIDER PROVIDE (3) 2X JACK STUD BEARING UNLESS NOTED OTHERWISE. NUMBER OF JACK STUDS SHALL BE AS REQUIRED BY SECTION R502 OF THE IRC 2015.
- BEARING POINTS FOR DOOR AND WINDOW HEADERS IN EXTERIOR WALLS NOT SHOWN. PROVIDE AS PER ABOVE SPECIFICATIONS.
- PROVIDE SOLID BLOCKING @ DEPTH OF FLOORS UNDER ALL LOAD-BEARING POSTS. BLOCKING SHALL MATCH OR EXCEED POST SIZE AND EXTEND FULL WIDTH OF JOIST BAY(S). PROVIDE WEB STIFFENERS AT FLOOR JOISTS THAT ARE LOCATED BENEATH POSTS.
- DELINEATION OF FRAMING MEMBERS ON DRAWINGS ARE REPRESENTATIONAL AND DO NOT REFLECT EXACT MEMBER PLACEMENT.
- THIS PROJECT TO BE BUILT IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE-FAMILY AND TWO-FAMILY DWELLINGS (WFCM).

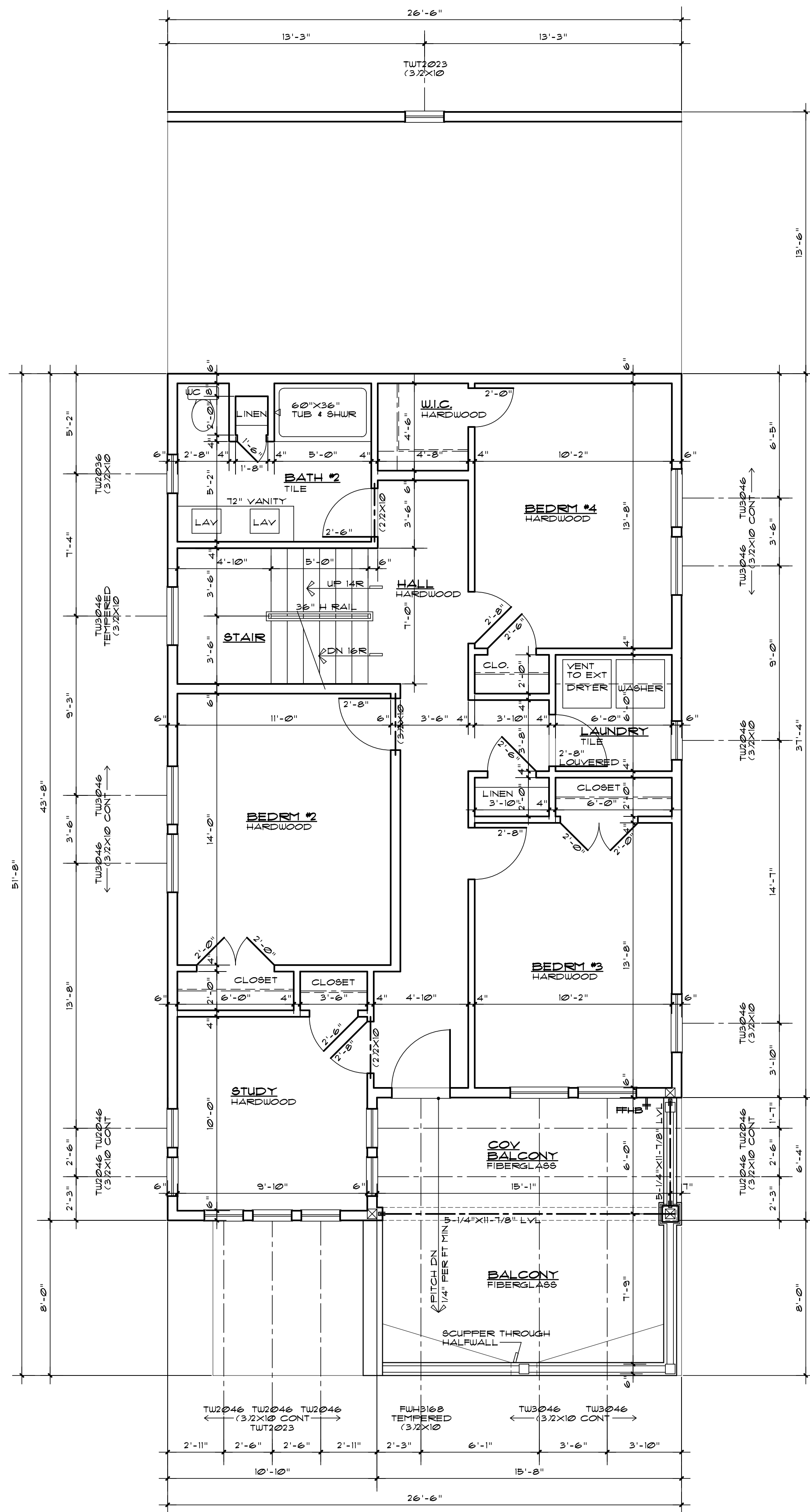
FRAMING LEGEND:

- ☒ = LVL POST, MATCH GREATER OF BEAM WIDTH OR WALL STUD WIDTH, UNLESS NOTED OTHERWISE.
- ☒ = POINT LOAD FROM ABOVE



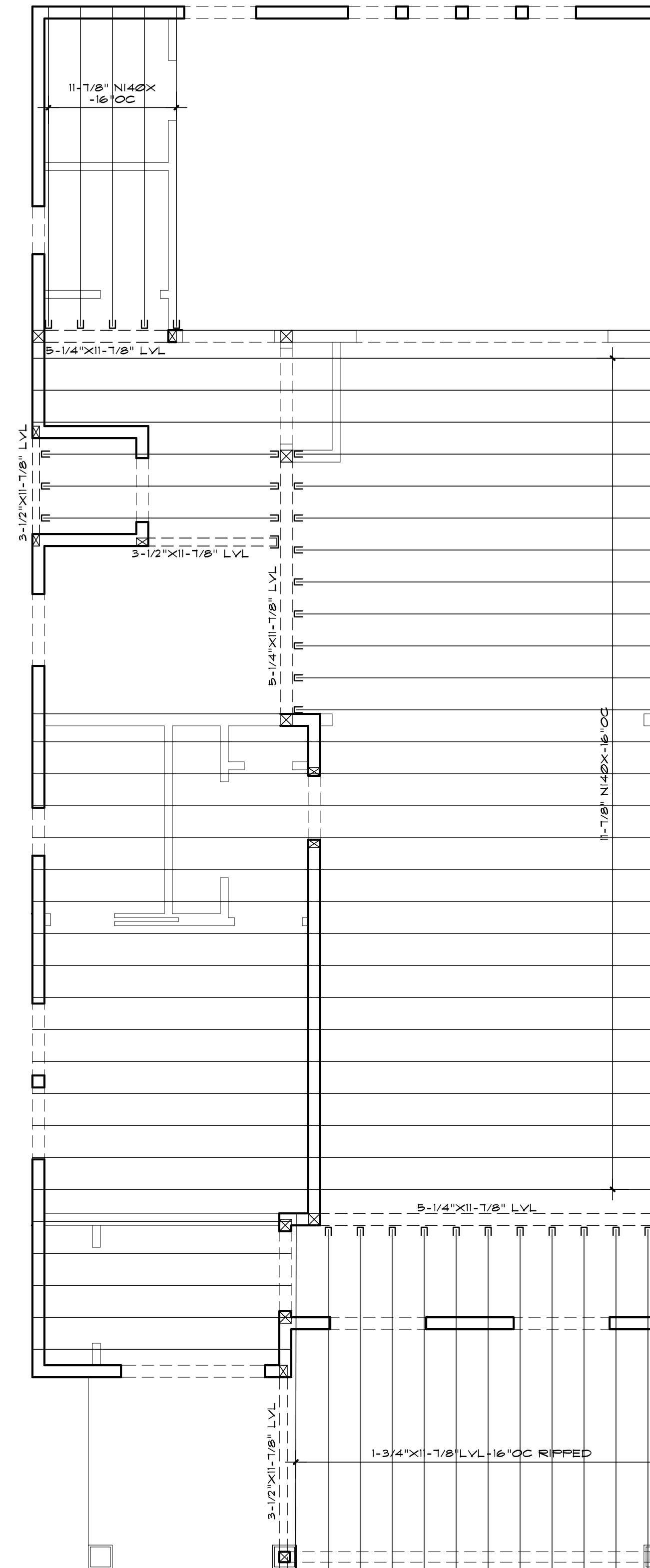
HALF STORY FRAMING PLAN

SCALE: 1/4" = 1'-0"



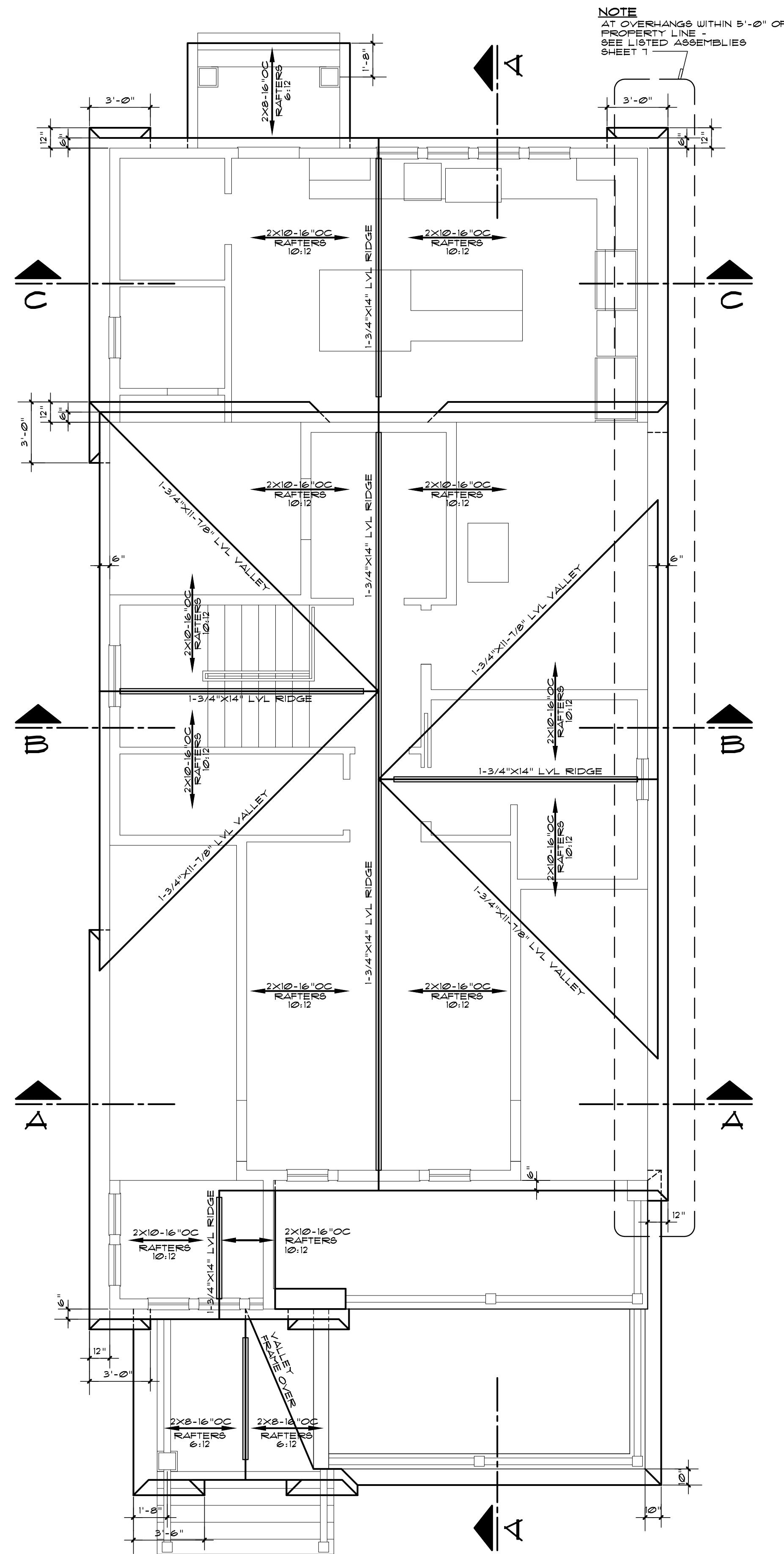
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



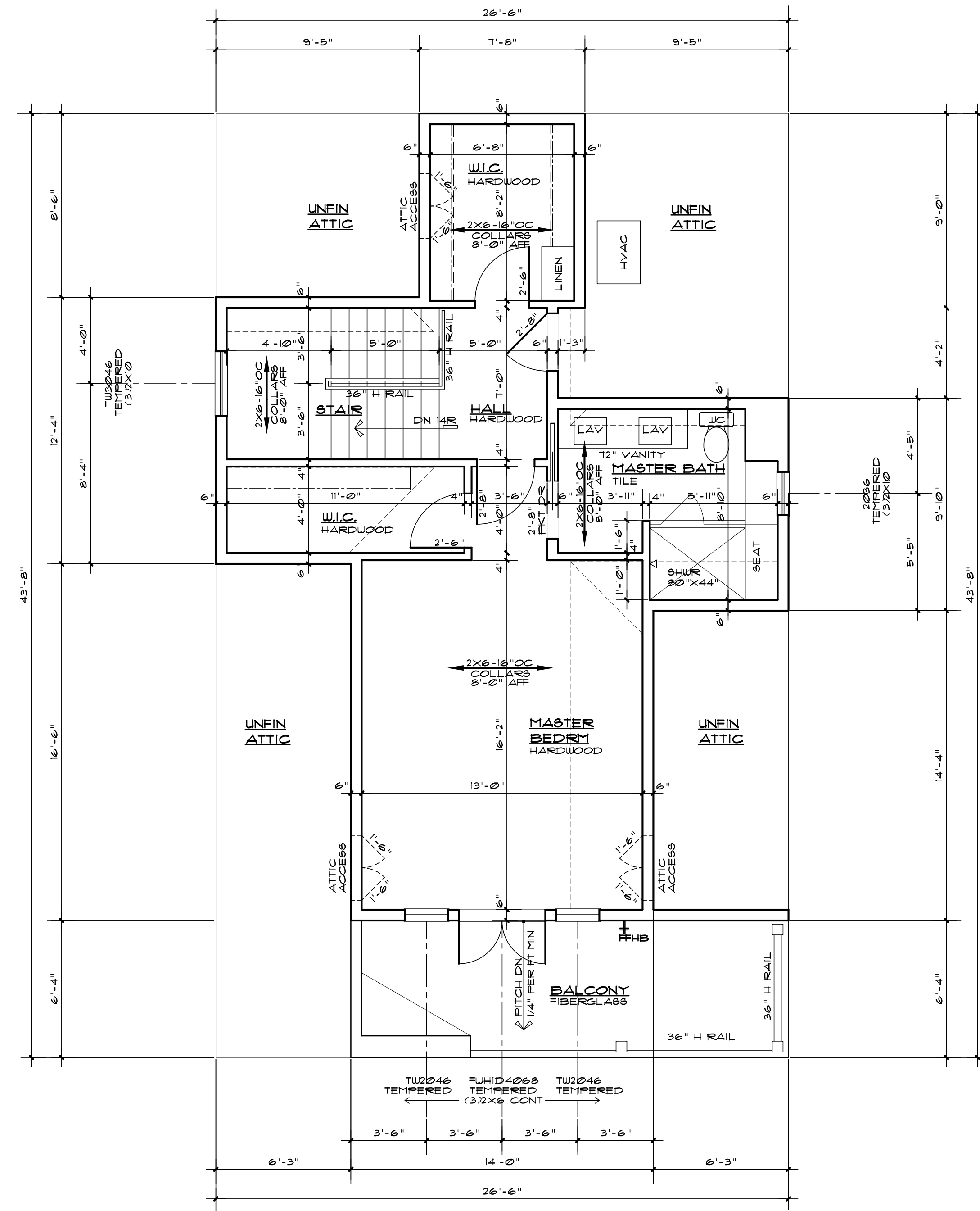
NOTE
AT OVERHANGS WITHIN 5'-0" OF
PROPERTY LINE
SEE LISTED ASSEMBLIES
SHEET 1

ROOF PLAN

SCALE: 1/4" = 1'-0"

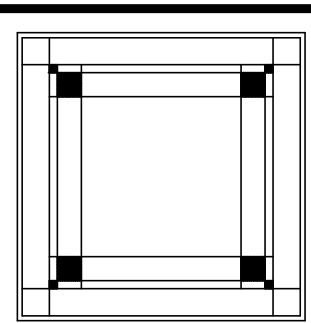
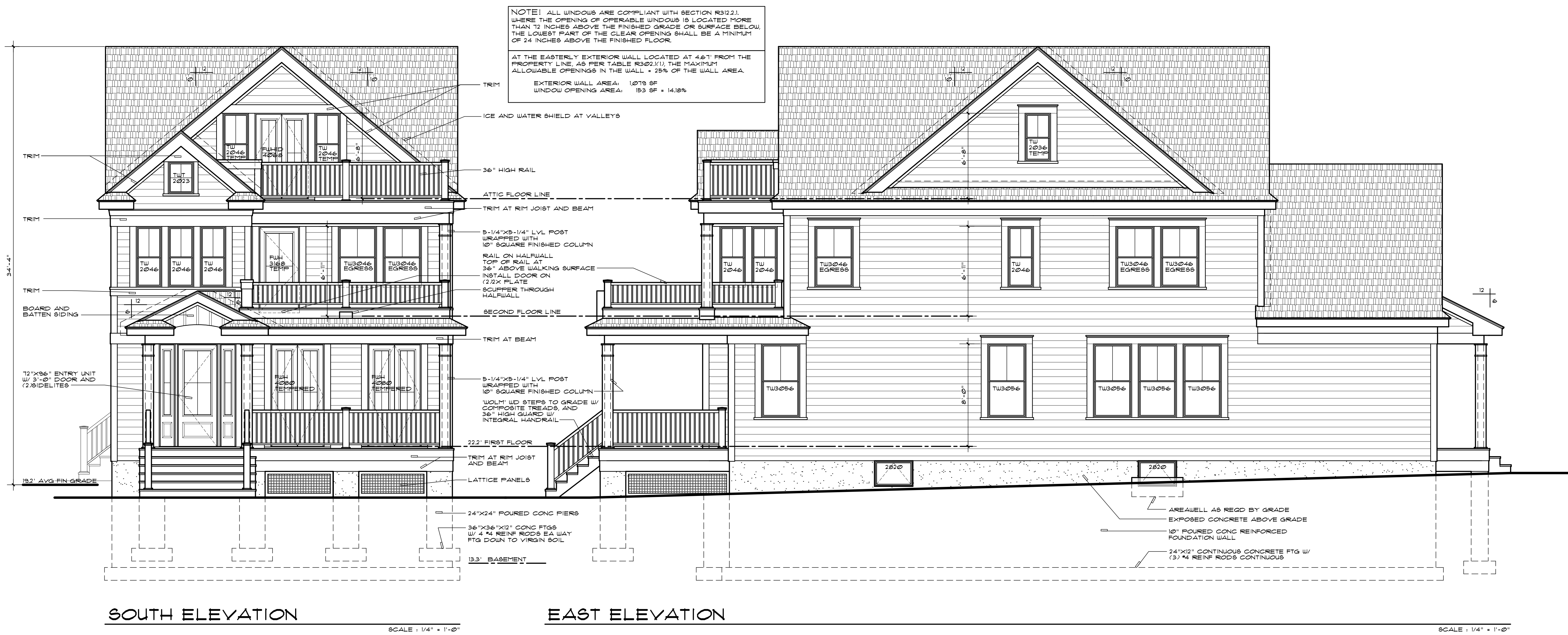
ROOF PLAN NOTES:

1. ALL RIDGES, HIP AND VALLEY RAFTERS TO BE 1-3/4"x14" LVL'S, UNLESS NOTED OTHERWISE.
2. PROVIDE FLASHING AT ALL HIPS, VALLEYS AND CRICKETS.
3. INSTALL SIMPSON H25A GALV HURRICANE STRAPS AT ALL ROOF RAFTER TO TOP PLATE CONNECTIONS.
4. PROVIDE ICESHIELD UNDERLAYMENT AT ENTIRE ROOF AS PER ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.
5. PROVIDE CRICKETS AT ALL CHIMNEYS, WALLS AND OTHER ROOF PROJECTIONS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM VERTICAL SURFACES.



HALF STORY PLAN

SCALE: 1/4" = 1'-0"

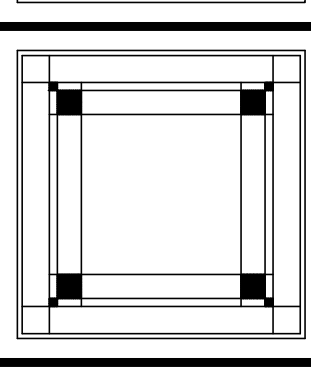


GIACOBBE RESIDENCE
 202 FOURTH AVE - BRADLEY BEACH, NJ

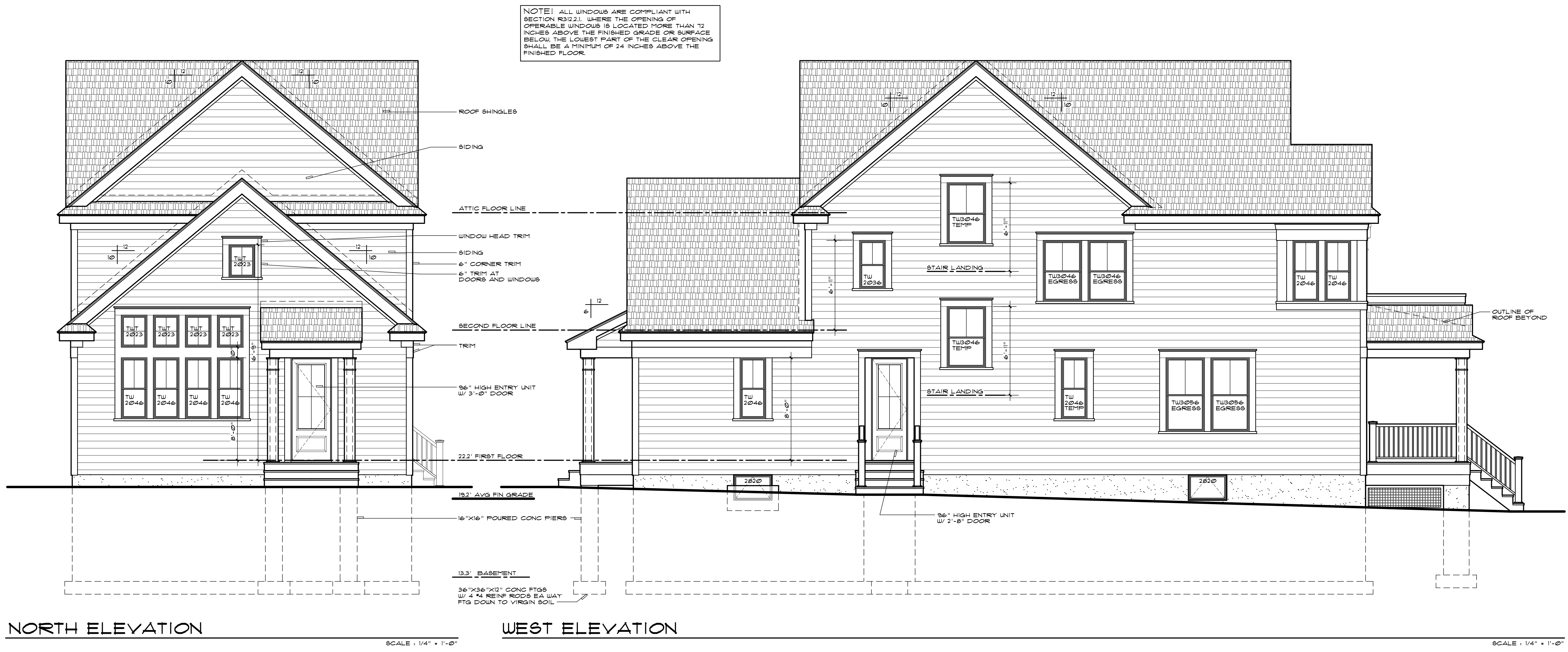
ELEVATIONS

Drawn By: JR
 Approved: [Signature]
 Scale: NOTED
 Date: 12-19-2019
 Sheet No.: 5 OF 12

M. B. HEARN ARCHITECTURE, LLC
 1007B MAIN STREET - BELMAR, NJ - 07718
 (732) 556-9055 FAX: (732) 556-9012



Comm. No.: 190705

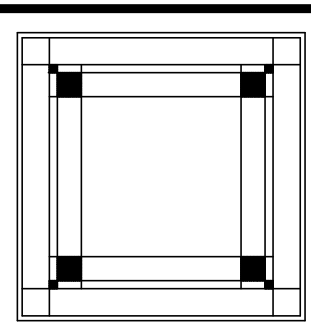


NORTH ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

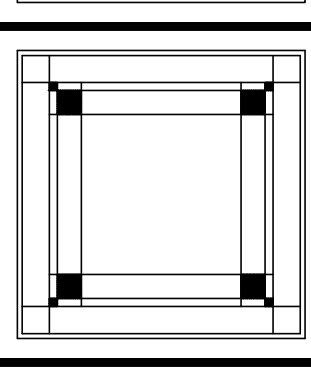


GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

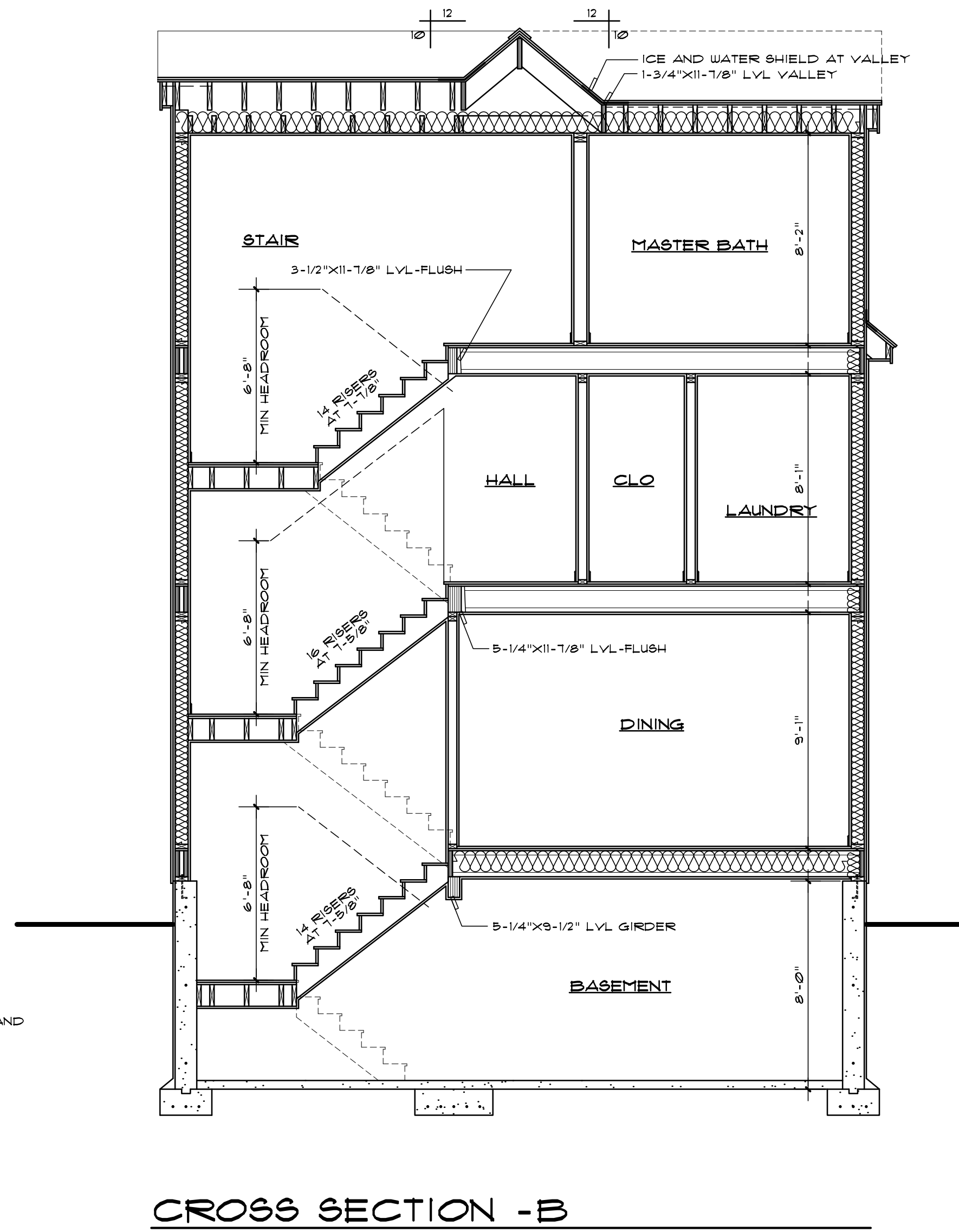
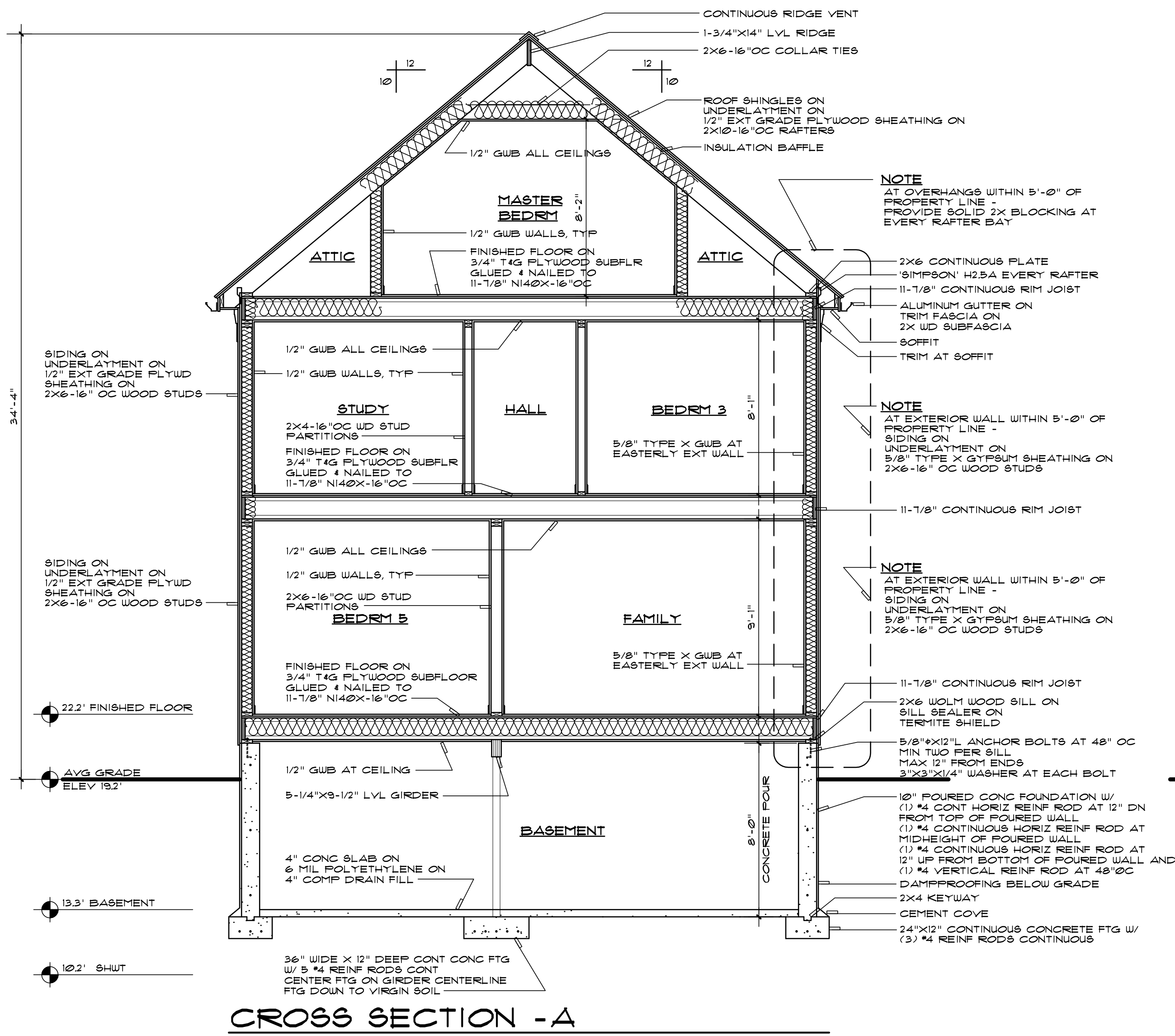
ELEVATIONS

Drawn By: JR
Approved: [Signature]
Scale: NOTED
Date: 12-15-2015
Sheet No. 6 OF 12

M. B. HEARN ARCHITECTURE, LLC
1007B MAIN STREET - BELMAR, NJ - 07718
(732) 556-9055 - FAX: (732) 556-9012



Comm. No. 190705



LISTED ASSEMBLIES:

EXTERIOR WALLS WITHIN 5'-0" OF PROPERTY LINE:
GA FILE NO. UP 809, GYPSUM WALLBOARD, TYPE X GYPSUM SHEATHING, WOOD STUDS, 1 HOUR FIRE RATED.

EXTERIOR SIDE, ONE LAYER 48" WIDE 5/8" TYPE X GYPSUM SHEATHING APPLIED PARALLEL TO 2X4 WOOD STUDS 24" OC WITH 1-3/4" GALVANIZED ROOFING NAILS 4" OC AT VERTICAL JOINTS AND 1" OC AT INTERMEDIATE STUDS AND TOP AND BOTTOM PLATES. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED, EXTERIOR CLADDING TO BE ATTACHED THROUGH SHEATHING TO STUDS.

INTERIOR SIDE, ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO WOOD STUDS WITH 6d COATED NAILS, 1-1/8" LONG, ØØ915 SHANK, 1/4" HEADS, 1" OC.

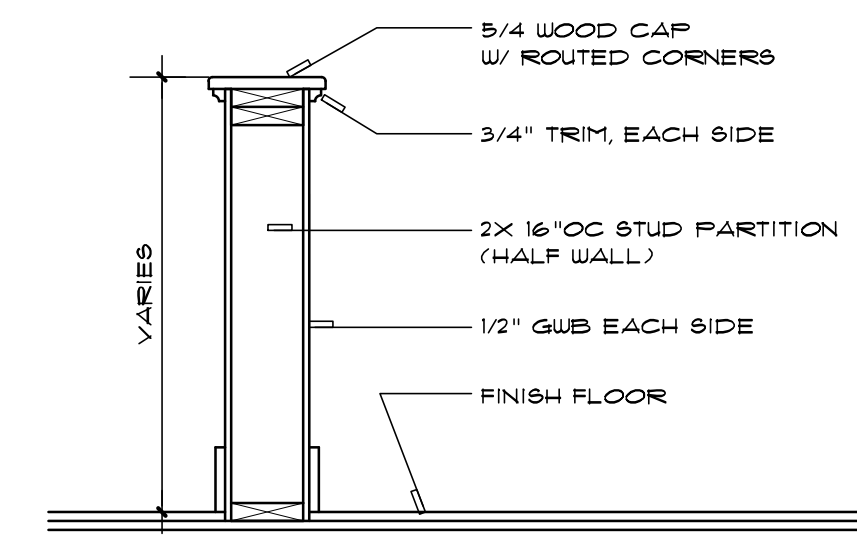
PROTECTION OF MEMBRANE PENETRATIONS AND THROUGH PENETRATIONS OF LISTED ASSEMBLIES:

1. ALL RECESSED ELECTRICAL BOXES SHALL BE UL LISTED FOR USE IN A 1 HOUR FIRE RATED ASSEMBLY AND INSTALLED AS PER THE INSTRUCTIONS INCLUDED WITH THE LISTING.
2. DUCT PENETRATIONS SHALL BE PROTECTED WITH UL LISTED 15 HOUR FIRE RATED DAMPERS.
3. ALL PIPE PENETRATIONS TO BE PROTECTED BY A UL LISTED 1 HOUR FIRE RATED SLEEVE TYPE THROUGH PENETRATION FIRESTOP SYSTEM.

ROOF OVERHANGS WITHIN 5'-0" OF PROPERTY LINE:
PROVIDE SOLID 2X WOOD FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.

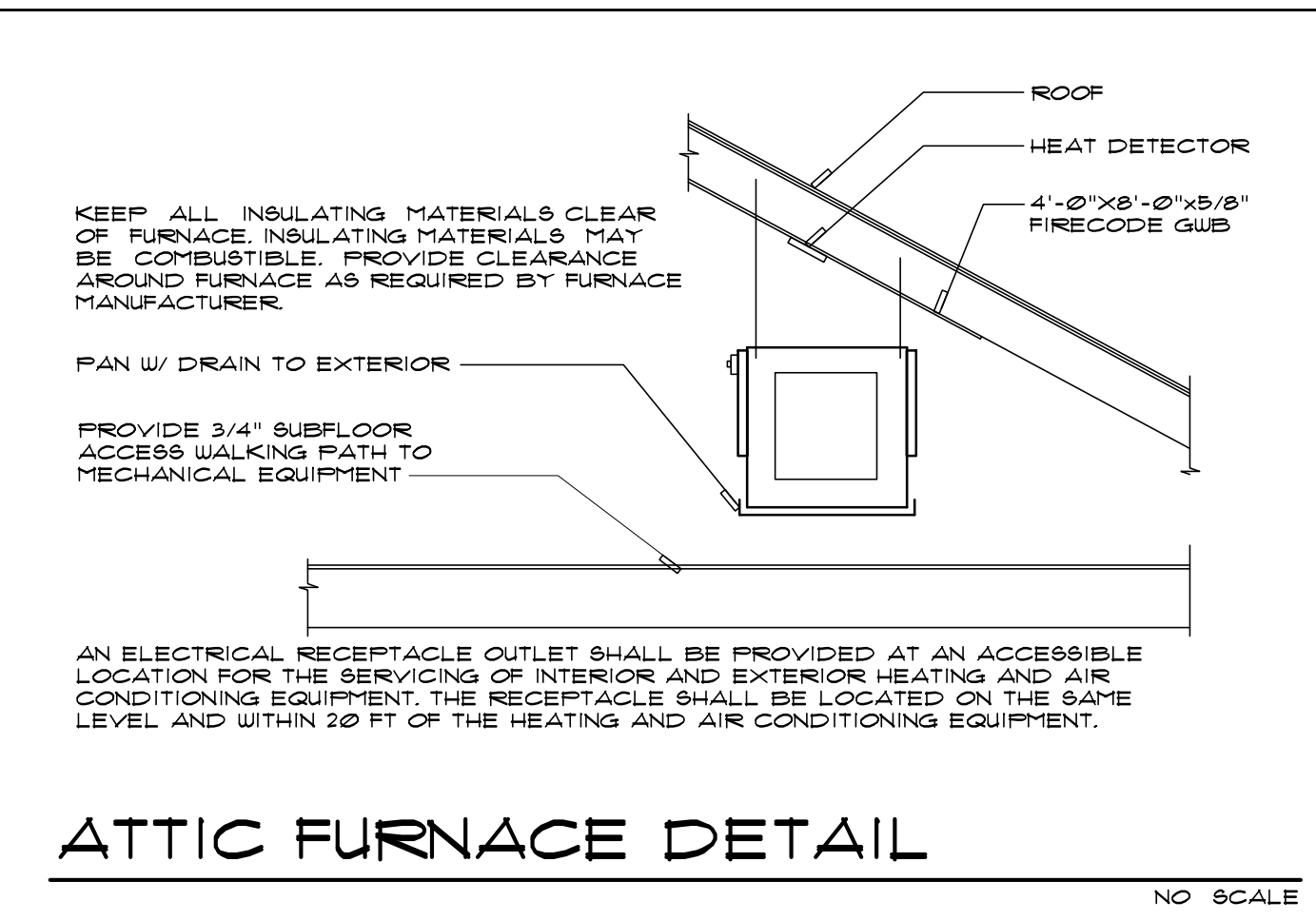
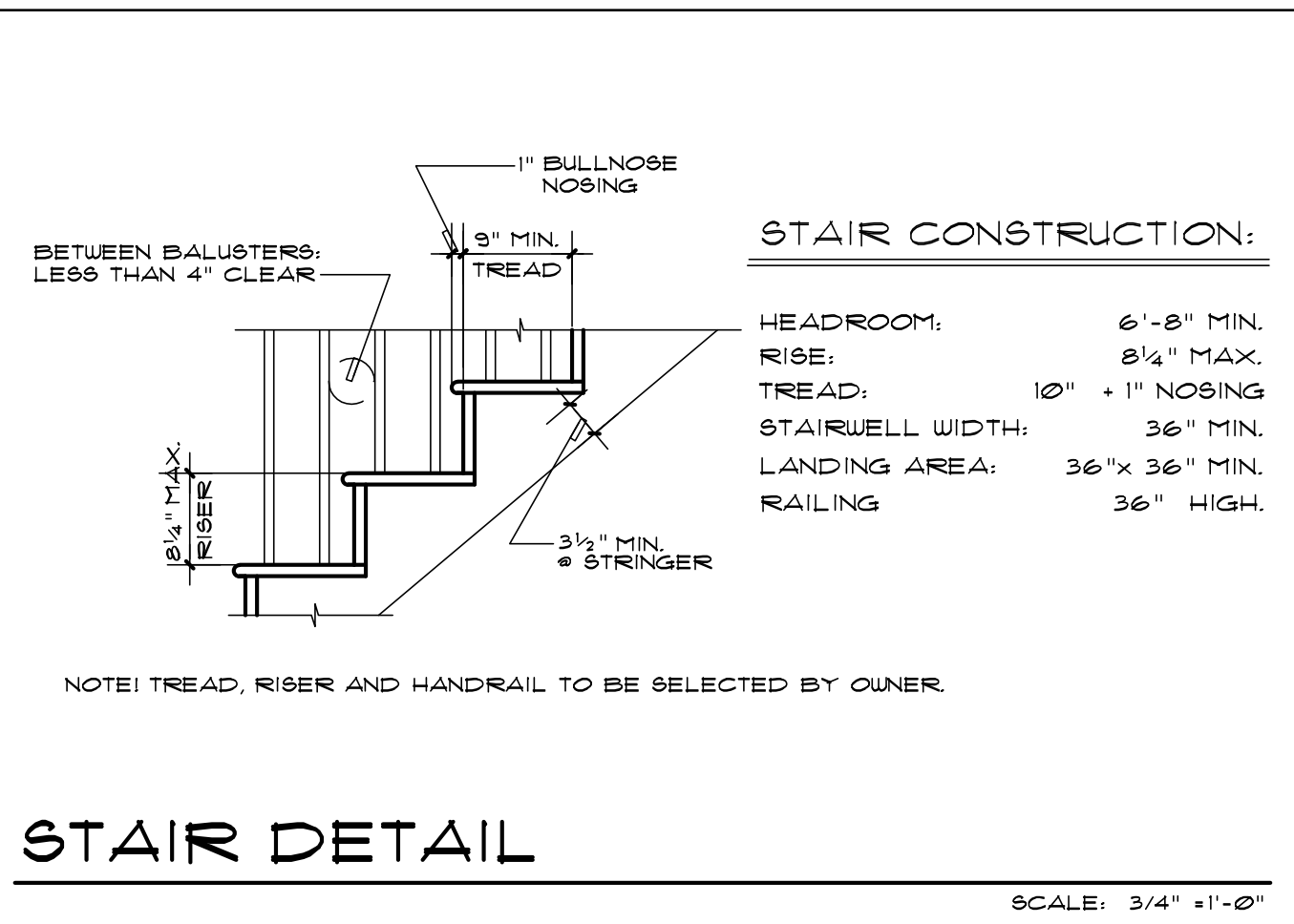
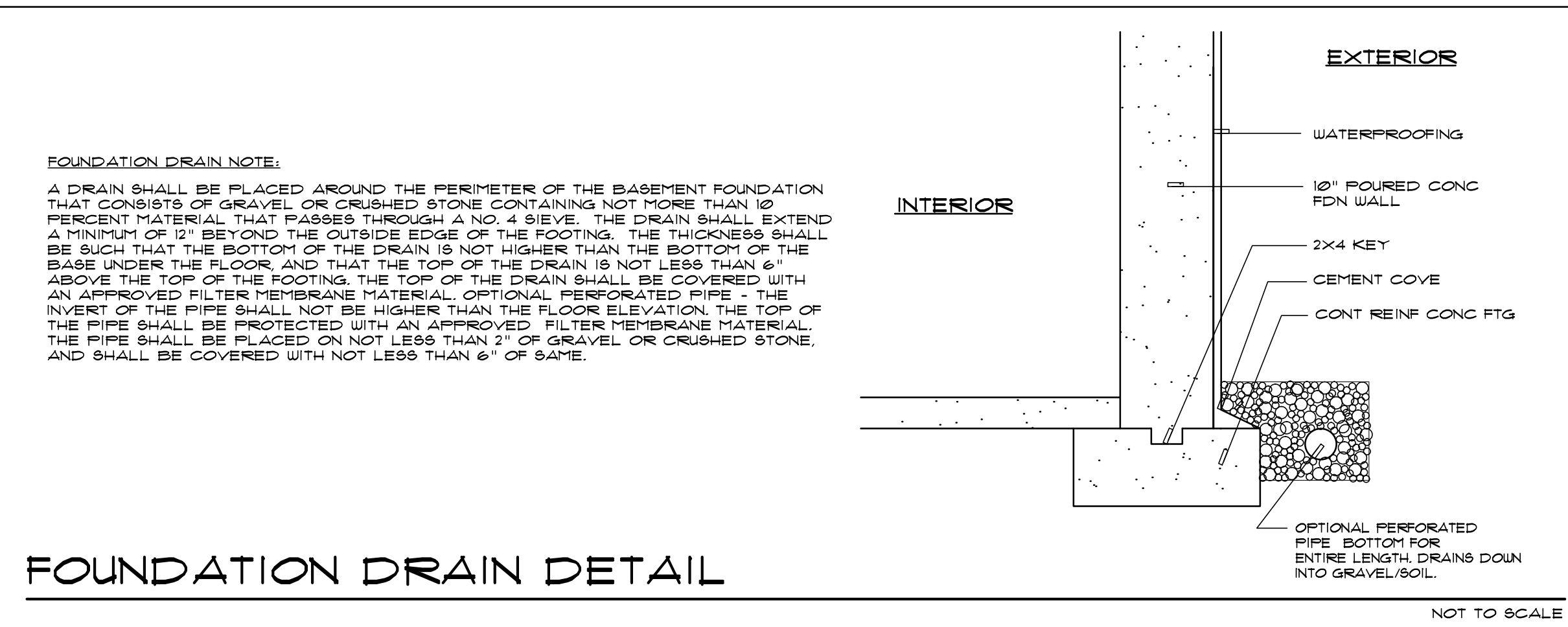
EXTERIOR COLUMN NOTES:

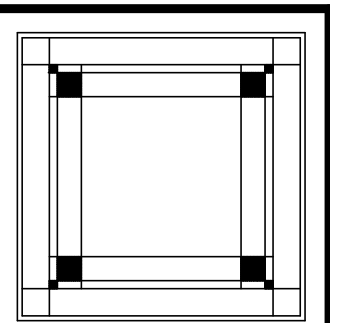
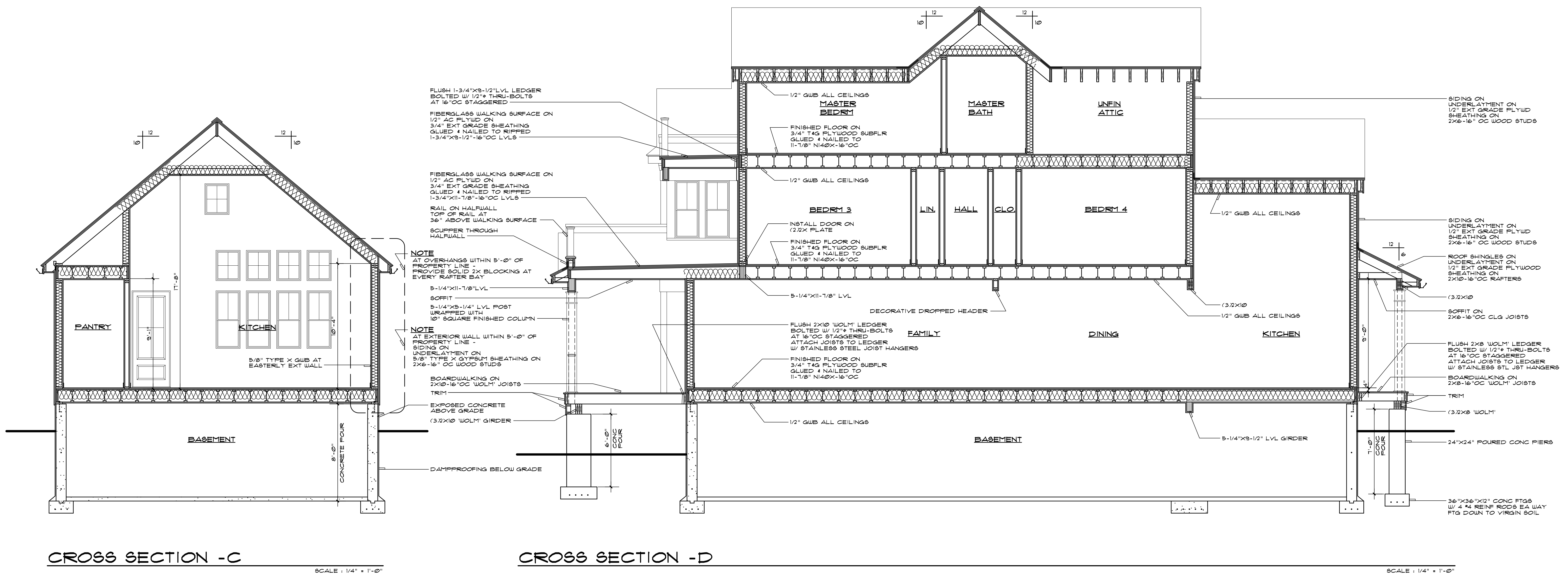
1. EXTERIOR COLUMNS, UNLESS NOTED OTHERWISE, SHALL BE 10" NOMINAL ROUND, TAPERED FINISH DIMENSION BOXED OUT STRUCTURAL LVL POSTS.
2. PROVIDE ONE SIMPSON BC CAP CONNECTOR TO TIE THE TOP OF THE POST TO THE HEADER SUPPORTING THE BALCONY/FLOOR/ROOF ABOVE.
3. AT COVERED DECKS / BALCONIES PROVIDE ONE SIMPSON ABU CONNECTOR TO TIE THE BOTTOM OF THE POST TO THE GIRDER OR BLOCKING BELOW.
4. ALL SIMPSON CONNECTORS TO BE STAINLESS STEEL.
5. ALL COMPOSITE TRIM SHALL BE FASTENED TOGETHER, FILLED, SANDED AND FINISHED AS PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS AS REQUIRED TO CREATE A FLUSH, SEAMLESS FINISH.



HALF WALL DETAIL

NO SCALE





GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

Date: 12-15-2013
Sheet No.: 8 OF 12

CROSS SECTIONS

Approved: [Signature]
Drawn By: JR
Scale: NOTED

M. B. HEARN ARCHITECTURE, LLC
1007B MAIN STREET - BELMAR, NJ - 07718
(732) 556-9055 - FAX: (732) 556-9012

Comm. No.: 190705



FASTENING SCHEDULE:

ITEM	BUILDING ELEMENT	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	(3) 3"XØ.128" NAILS	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	(3) 3"XØ.128" NAILS	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER LAPS OVER PARTITIONS	(4) 3"XØ.128" NAILS	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	(5) 3-1/2"XØ.135" NAILS	FACE NAIL
5	COLLAR TIE TO RAFTER	(4) 3"XØ.128" NAILS	FACE NAIL EACH RAFTER
6	RAFTER TO PLATE	(4) 3"XØ.128" NAILS	TWO TOE NAILS EACH SIDE
7	RAFTER TO RIDGE, VALLEY, OR HIP	(4) 3"XØ.128" NAILS (3) 3"XØ.128" NAILS	TOE NAIL END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	3"XØ.128" NAILS	16"OC FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	3-1/2"XØ.135" NAILS	12"OC FACE NAIL
10	BUILT-UP HEADER 2" TO 2" HEADER WITH 1/2" SPACER	3-1/2"XØ.135" NAILS	12"OC EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	(4) 3"XØ.128" NAILS	TOE NAIL
12	TOP PLATE TO TOP PLATE	3"XØ.128" NAILS	12"OC FACE NAIL
13	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	3-1/2"XØ.135" NAILS	12"OC FACE NAIL
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	(3) 3-1/2"XØ.135" NAILS	(3) AT 16"OC FACE NAIL
15	TOP OR BOTTOM PLATE TO STUD	(4) 3"XØ.128" NAILS (3) 3"XØ.128" NAILS	TOE NAIL END NAIL
16	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	(3) 3"XØ.128" NAILS	FACE NAIL
FLOOR			
17	JOIST TO SILL, TOP PLATE OR GIRDER	(3) 3"XØ.128" NAILS	TOE NAIL
18	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	3"XØ.128" NAILS	6"OC TOE NAIL
19	BAND OR RIM JOIST TO JOIST	(4) 3"XØ.128" NAILS	END NAIL
20	BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	3"XØ.128" NAILS (3) 3"XØ.128" NAILS	24"OC FACE NAIL TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE
21	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	(4) 3"XØ.128" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
22	BRIDGING TO JOIST	(2) 3"XØ.128" NAILS	EACH END, TOE NAIL
SHEATHING			
23	3/4" PLYWOOD SUBFLOOR 1/2" PLYWOOD ROOF SHEATHING 1/2" PLYWOOD WALL SHEATHING (NOT AT BRACED WALL PANELS)	2-1/2"XØ.131" NAILS	6"OC EDGE, 12"OC INTERMEDIATE
24	1/2" GYPSUM WALLBOARD (NOT AT BRACED WALL PANELS)	1-1/2" GALV ROOFING NAIL 1-1/4" SCREW TYPE W OR S	1"OC EDGE, 1"OC INTERMEDIATE 1"OC EDGE, 1"OC INTERMEDIATE
25	5/8" GYPSUM WALLBOARD (NOT AT BRACED WALL PANELS)	1-3/4" GALV ROOFING NAIL 1-5/8" SCREW TYPE W OR S	1"OC EDGE, 1"OC INTERMEDIATE 1"OC EDGE, 1"OC INTERMEDIATE

SHEAR WALL SCHEDULE:

SHEAR WALL NUMBER	SIDE ONE				SIDE TWO			
	BRACING METHOD	SHEATHING TYPE	BLOCKED	FASTENERS	SHEATHING TYPE	BLOCKED	FASTENERS	
SW-1	CS-WSP	1/2" MIN PLYWOOD	YES	1ØD COMMON NAILS AT 6"OC, 12" OC FIELD	1/2" MIN GUB	YES	5D COOLER NAILS AT 1"OC	
SW-2	CS-WSP	1/2" MIN PLYWOOD	YES	1ØD COMMON NAILS AT 4"OC	1/2" MIN GUB	YES	5D COOLER NAILS AT 1"OC	
SW-3	GB	5/8" TYPE X GYPSUM SHEATHING	YES	1-3/4" X 11 GAUGE GALVANIZED NAIL AT 4"OC	1/2" MIN GUB	YES	5D COOLER NAILS AT 1"OC	

HOLD DOWN SCHEDULE:

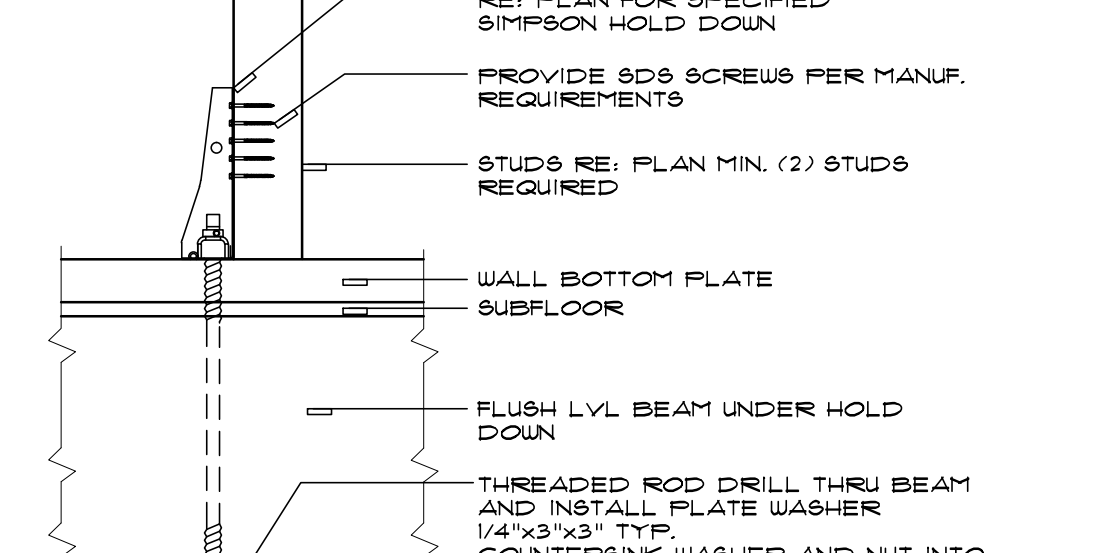
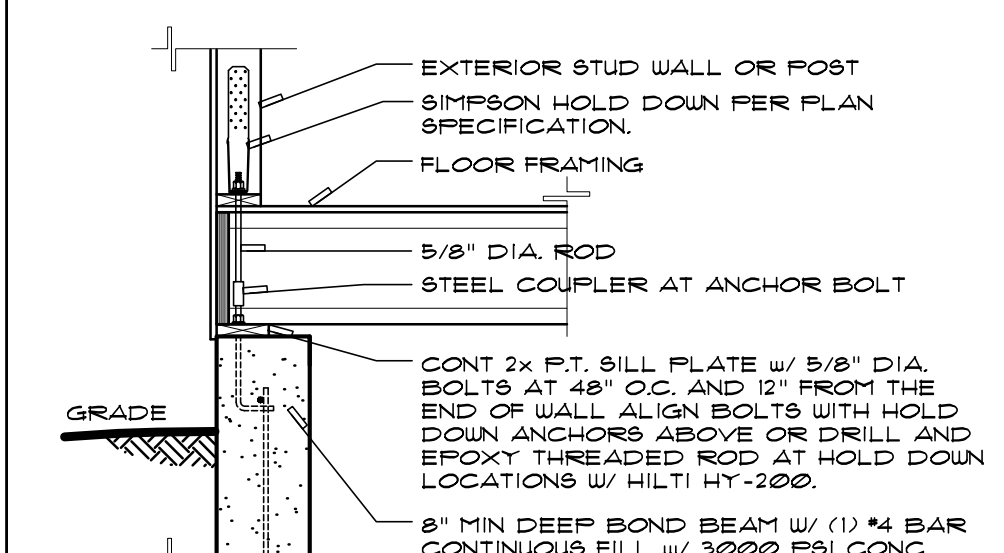
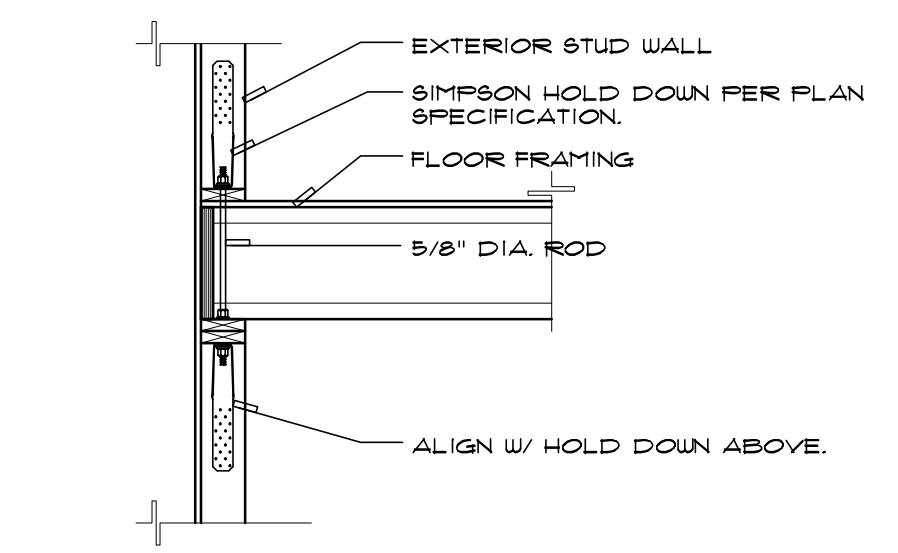
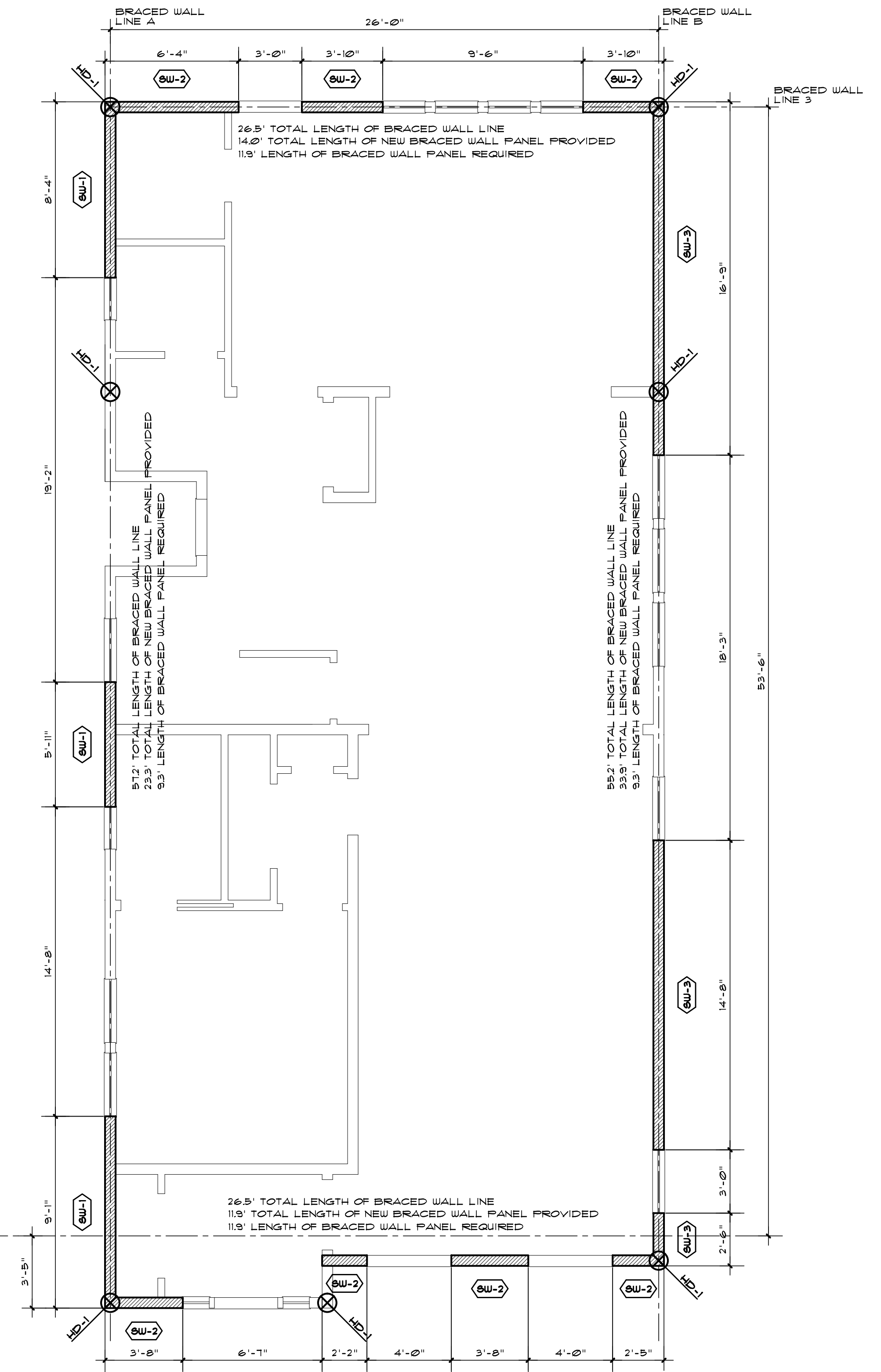
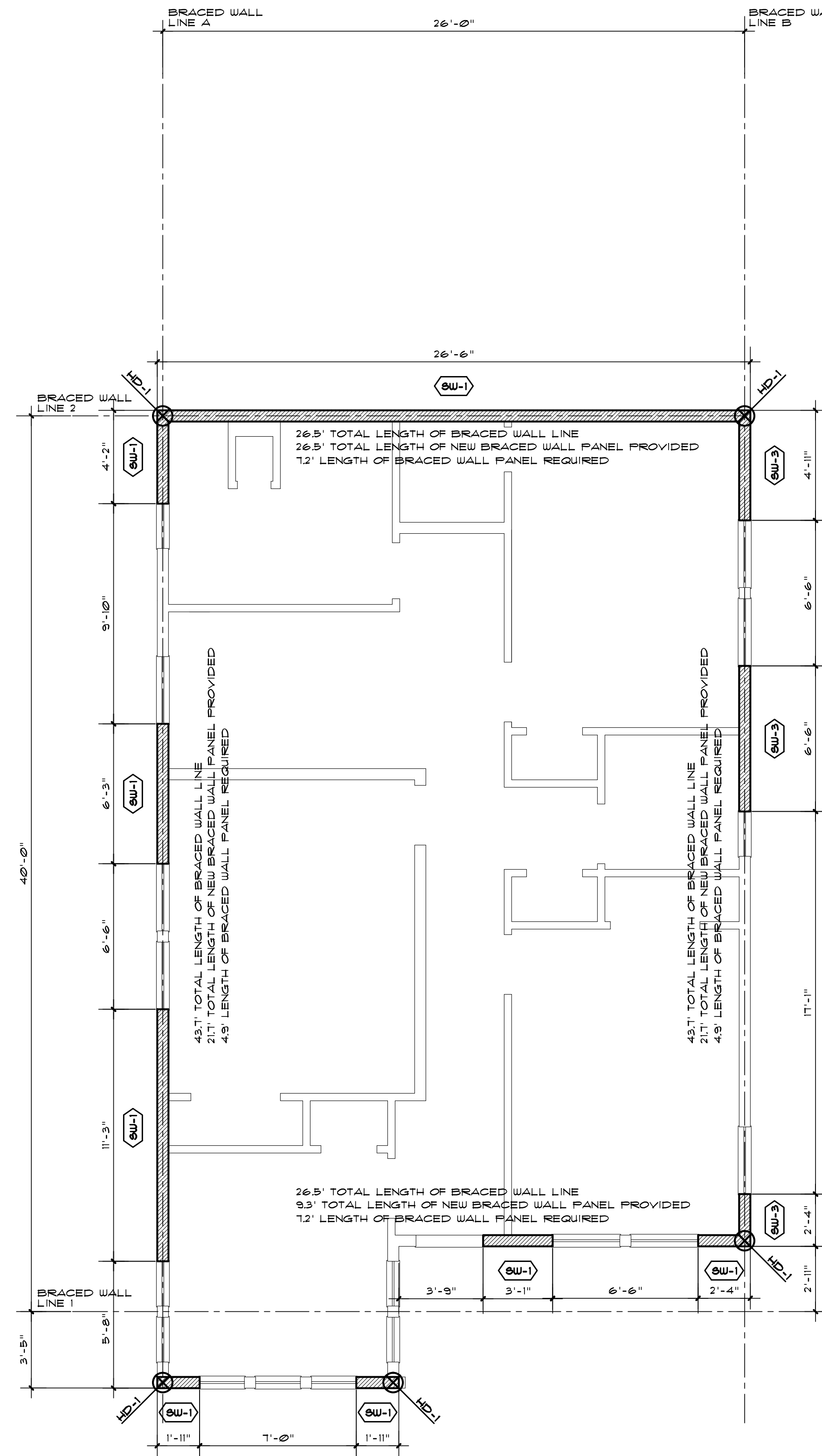
HOLD DOWN NUMBER	HOLD DOWN DESCRIPTION	FASTENERS	HOLD DOWN CAPACITY
HD-1	SIMPSON HDU2-SDS2.5 MIN. 3" WIDE POST	6 SDS SCREWS 1/4"X2-1/2" & 5/8"Ø BOLT OR ALL THREAD ROD	3,075 LBS
HD-2	SIMPSON HDU8-SDS2.5 MIN. 3" WIDE POST	14 SDS SCREWS 1/4"X2-1/2" & 5/8"Ø BOLT OR ALL THREAD ROD	4,565 LBS
HD-3	SIMPSON HDU8-SDS2.5 MIN. 4-1/2" WIDE POST	20 SDS SCREWS 1/4"X2-1/2" & 7/8"Ø BOLT OR ALL THREAD ROD	7,810 LBS

NOTES:

- ALL PLYWOOD OR SHEAR WALL STUDS TO BE SPACED AT 16"OC MAX.
- ALL PLYWOOD SHEAR WALLS TO HAVE 1-1/2" MIN. NAIL PENETRATION IN FRAMING.
- ALL WIND RESISTANT ANCHORS SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF THE SHEATHING.
- ALL SIZES AND LOADS BASED ON THE IRC 2015 NJ EDITION.
- ALL PLYWOOD SHEATHING IS TO OVERLAP BAND JOIST/PLATE BETWEEN FLOORS.
- ALL WOOD SHEATHING TO BE C-D OR C-C GRADE OR BETTER.
- PLYWOOD SHEATHING TO SPAN TOP PLATE TO STUD CONNECTION.

CONNECTOR SPECS:

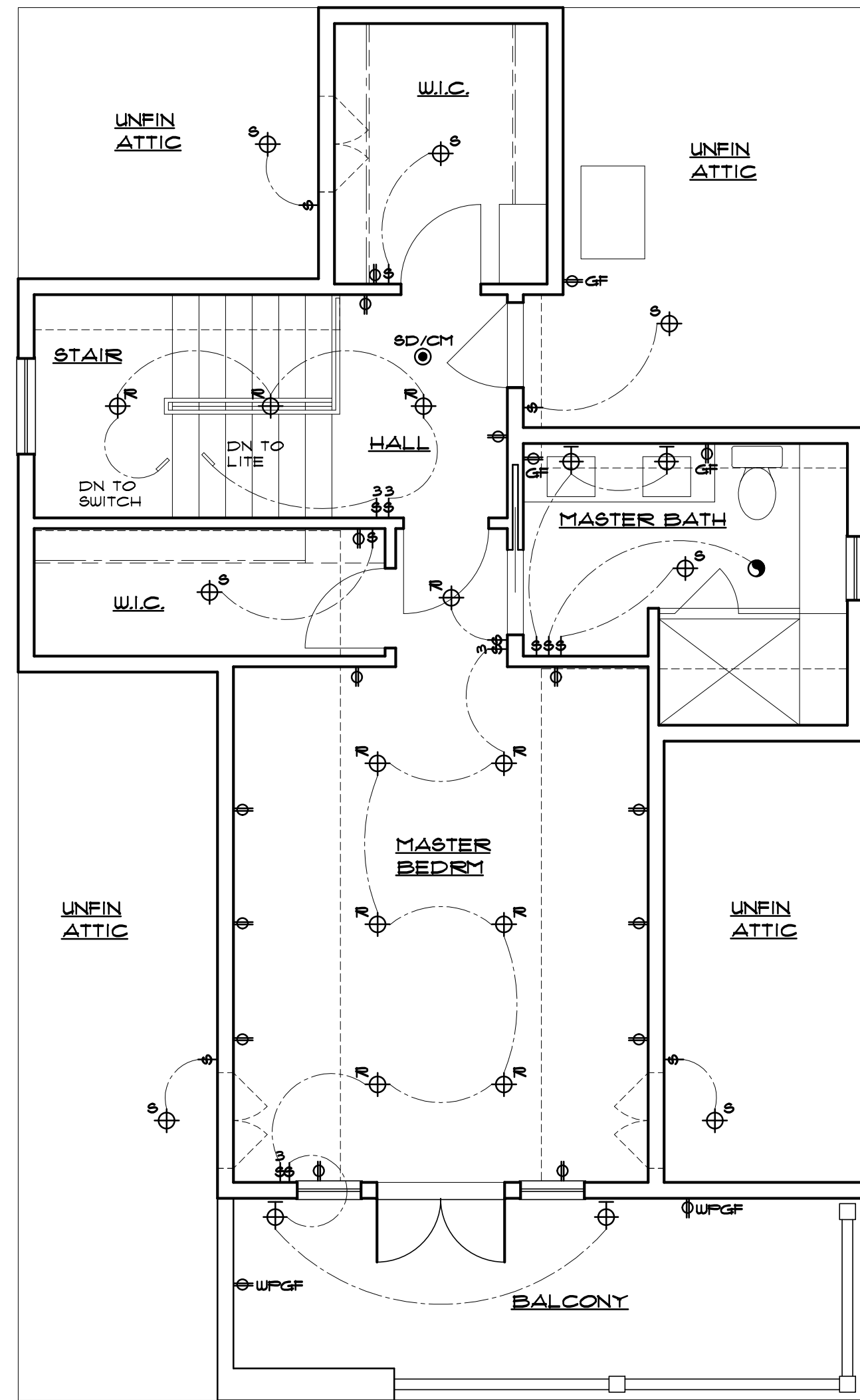
- RAFTER-TO-TOP PLATE: SIMPSON H2.5A GALVANIZED HURRICANE STRAP, TYPICAL EVERY RAFTER (16"OC). STRAP IN ADDITION TO FASTENING SCHEDULE NAILING.
- SECOND FLOOR WALL STUD-TO-SECOND FLOOR RIM JOIST-TO-FIRST FLOOR WALL STUD: SIMPSON LFTA GALVANIZED CONNECTOR AT 32" OC.
- INSTALL ALL STRAPS AND CONNECTORS AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS. USE MAXIMUM NAILING WHERE APPLICABLE.



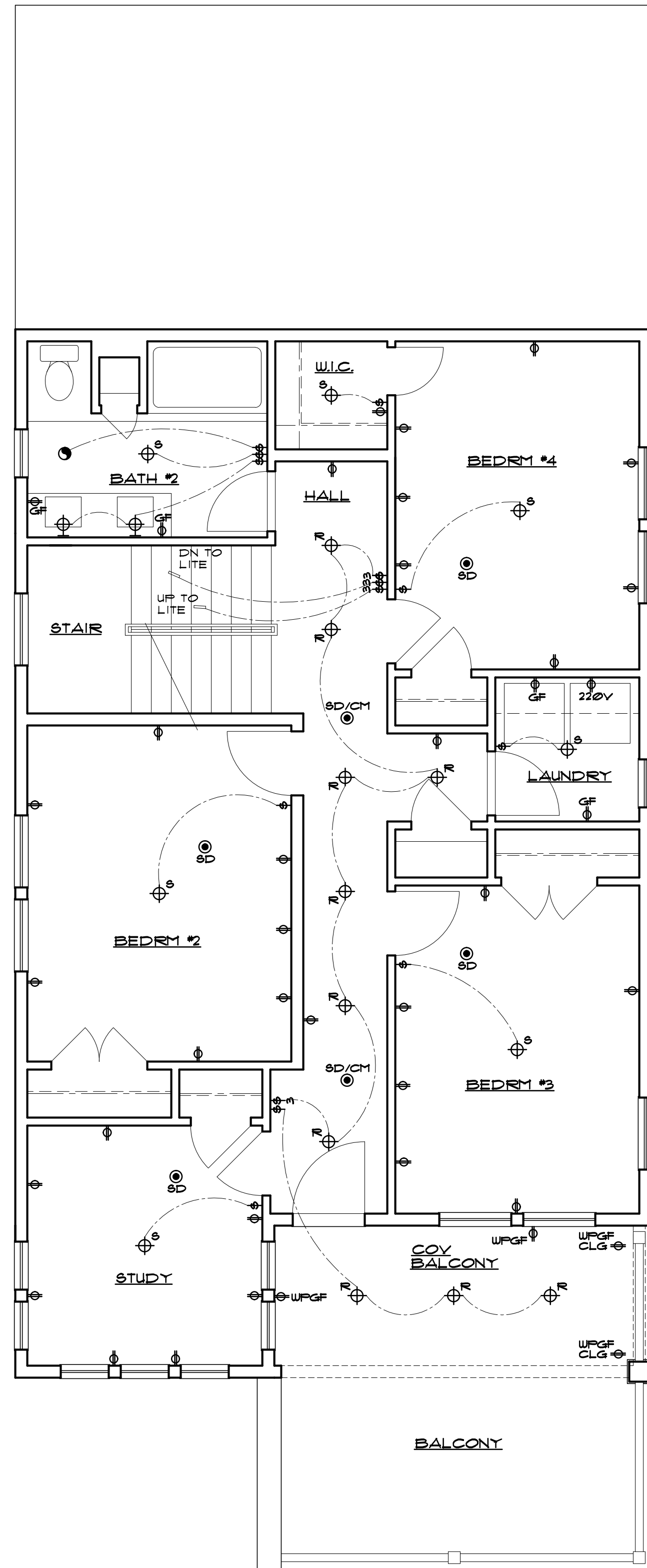
GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

BRACED WALL PLANS

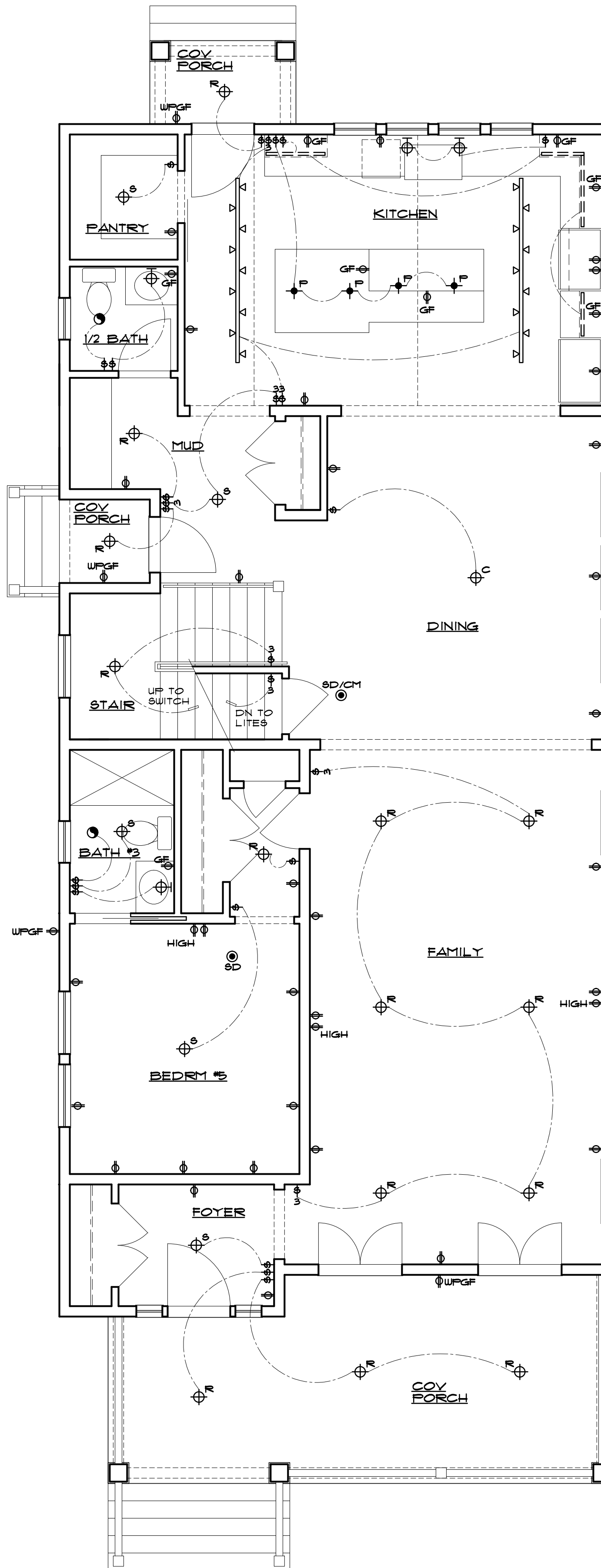
M. B. HEARN ARCHITECTURE, LLC
1007B MAIN STREET - BELMAR, NJ - 07718
(732) 556-9055 - FAX: (732) 556-9022



HALF STORY ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR ELEC. PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. ALL ELECTRIC WORK TO BE DESIGNED AND INSTALLED BY A LICENSED ELECTRICIAN IN STRICT ACCORDANCE WITH THE MOST RECENTLY ADOPTED NATIONAL ELECTRIC CODE.
2. CONTRACTOR TO REVIEW ELECTRICAL FIXTURE LAYOUT, AS DESIGNED, WITH OWNER IN THE FIELD PRIOR TO INSTALLATION.
3. ALL ELECTRICAL FIXTURES TO BE OWNER REVIEWED & APPROVED.
4. ALL SMOKE DETECTORS TO BE INTERCONNECTED AND POWERED BY AN ELECTRICAL SOURCE. EACH DETECTOR TO HAVE A BATTERY-OPERATED BACK-UP SYSTEM.
5. ALL CLOSET LIGHT FIXTURE LAMPS TO BE COMPLETELY ENCLOSED.
6. ALL OUTLETS WITHIN 6'-0" OF WATER SOURCE TO BE ON A CIRCUIT WITH A GROUND FAULT INTERRUPTER.
7. ALL INTERIOR RECESSED LIGHTS ON DIMMERS.
8. AT FANS WITH LIGHTS, PROVIDE SEPARATE SWITCH FOR FAN AND LIGHT.
9. ALL OUTDOOR FIXTURES TO BE RATED FOR OUTDOOR USE.
10. ALL FIXTURES AT SHOWER AND BATH ENCLOSURES TO BE RATED FOR SHOWER AND BATH ENCLOSURE USE.
11. COORDINATE SWITCHING & WIRING FOR LANDSCAPE LIGHTING WITH OWNER.
12. COORDINATE FLOOD LIGHTING W/ MOTION SENSORS & SWITCH OVERRIDES WITH OWNER.
13. ALL RECESSED FIXTURES TO BE 1 HR. RATED UL LABELED.

ELECTRICAL LEGEND:

- ⊕ SINGLE-POLE SWITCH
- ⊕⊕ THREE-WAY SWITCH
- ⊕⊕⊕ SURFACE SWITCH
- ⊕WF WATERPROOF GROUND FAULT SWITCH W/ COVER
- ⊕GF SINGLE-POLE SWITCH ON GROUND FAULT CIRCUIT
- ⊕L SINGLE-POLE SWITCH W/ LIGHT INDICATOR
- ⊕ SINGLE-POLE AUTOMATIC JAMB SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ QUADPLEX OUTLET
- ⊕GF GROUND FAULT OUTLET
- ⊕WPGF WATERPROOF GROUND FAULT OUTLET
- ⊕OH OVERHEAD OUTLET
- ⊕FO DUPLEX FLOOR OUTLET
- ⊕WPGFO WATERPROOF DUPLEX FLOOR OUTLET
- ⊕⊕ SURFACE-MOUNTED LIGHT FIXTURE
- ⊕⊕⊕ RECESSED LIGHT FIXTURE (6" DIA.)
- ⊕⊕⊕ MINI RECESSED LIGHT FIXTURE (3" DIA.)
- ⊕⊕⊕⊕ RECESSED DIRECTIONAL LIGHT FIXTURE (6" DIA.)
- ⊕⊕⊕⊕ MINI RECESSED DIRECTIONAL LIGHT FIXTURE (3" DIA.)
- ⊕C CHANDELIER
- ⊕J JUNCTION BOX
- ⊕⊕⊕ WALL-MOUNTED LIGHT FIXTURE
- ⊕⊕⊕⊕ WALL-MOUNTED LIGHT FIXTURE ON MOTION SENSOR
- ⊕⊕ PENDANT LIGHT FIXTURE
- ⊕⊕⊕ WALL-MOUNTED FLOOD LIGHT
- ⊕⊕ EXTERIOR POLE LAMP
- ⊕ WALL SCONCE
- ⊕ TRACK LIGHTING
- ⊕⊕⊕ CONTINUOUS UNDER-CABINET LIGHTING
- ⊕⊕⊕ RECESSED HEAT LAMP RATED FOR WET ENVIRONMENT
- ⊕ EXHAUST FAN (VENT TO EXTERIOR)
- ⊕⊕ COMBINATION RECESSED LIGHT FIXTURE / EXHAUST FAN (VENT TO EXTERIOR)
- ⊕⊕ SMOKE DETECTOR
- ⊕⊕⊕ SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- ⊕⊕⊕ WALL-MOUNTED SMOKE DETECTOR
- ⊕⊕⊕ HEAT DETECTOR
- ⊕⊕⊕ CEILING FAN W/ LIGHT
- ⊕⊕⊕ CEILING FAN
- ⊕⊕⊕ WALL MOUNTED FLUORESCENT LIGHT
- ⊕⊕⊕ 2' x 4' FOUR TUBE FLUORESCENT LIGHT FIXTURE W/ LENS COVER

GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

ELECTRICAL PLANS

M. B. HEARN ARCHITECTURE, LLC

190705

Drawn By: JR

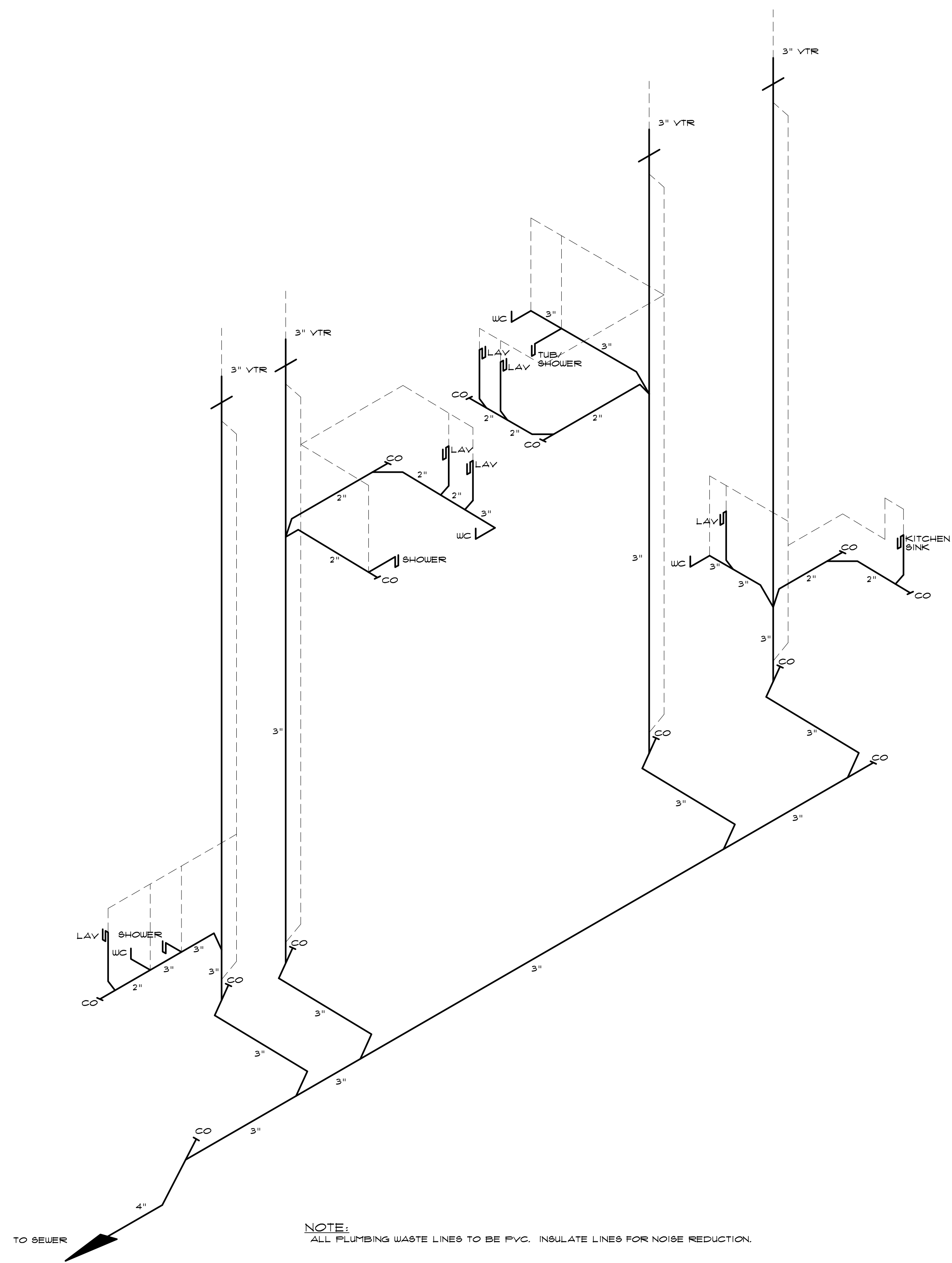
Approved: M.B. Hearn, AIA
REGISTERED ARCHITECT
RESIDENCE - 12/2019

Date: 12-19-2019

Scale: NOTED

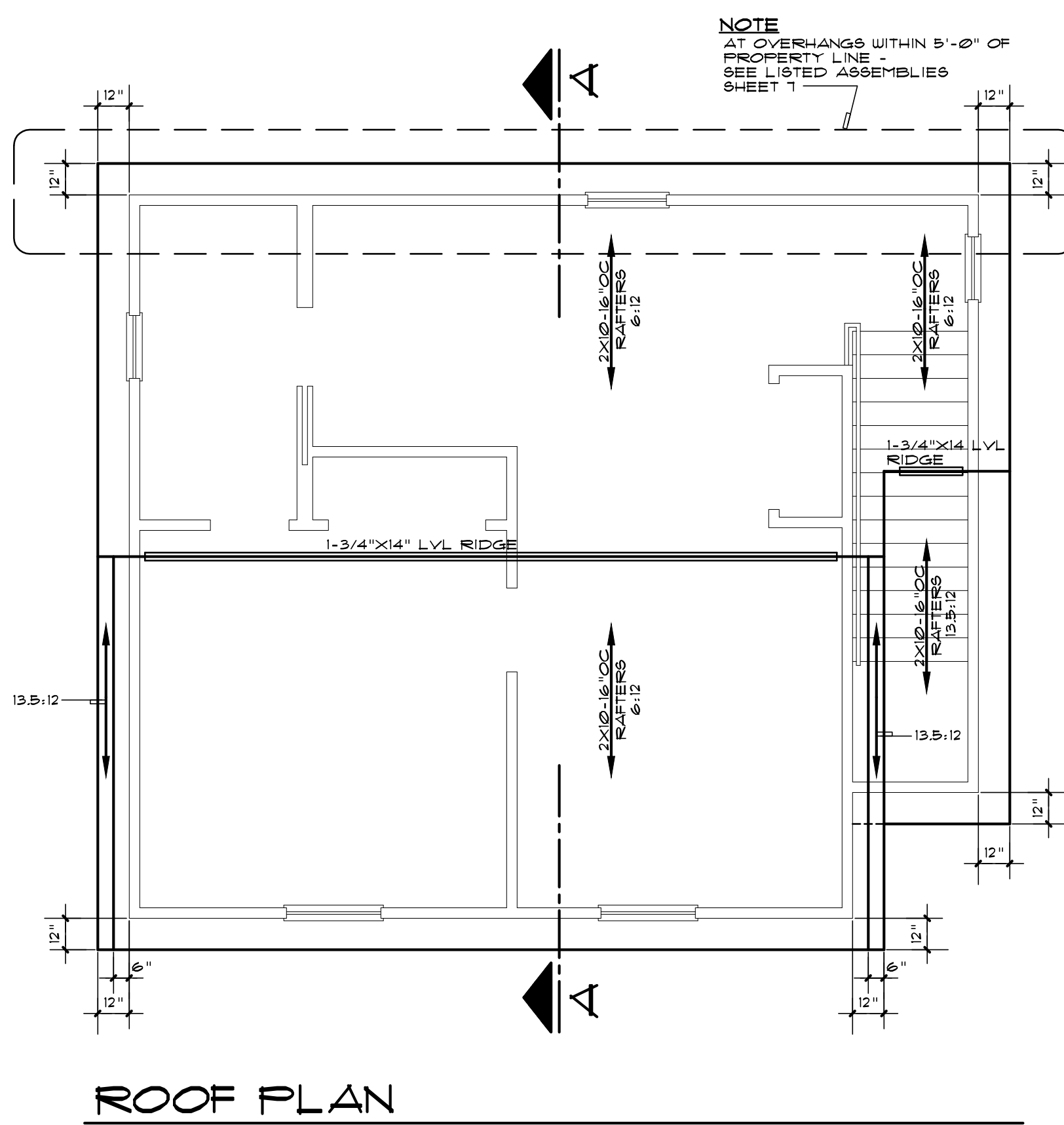
Notes: 10 OF 12

1007B MAIN STREET - BELMAR, NJ - 07719
(732) 556-9055 - FAX: (732) 556-9022



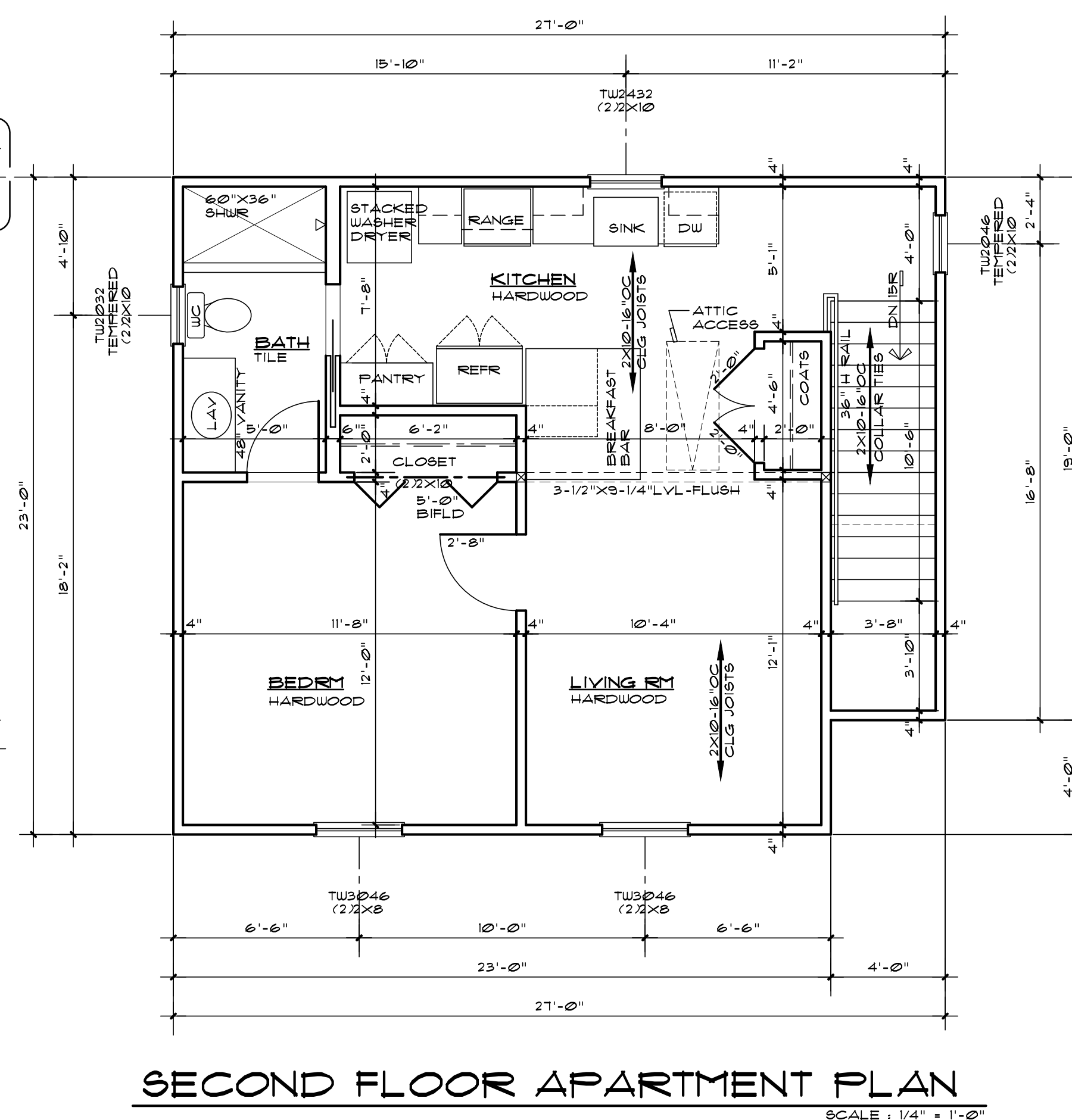
WASTE PLUMBING RISER DIAGRAM DWELLING

NO SCALE



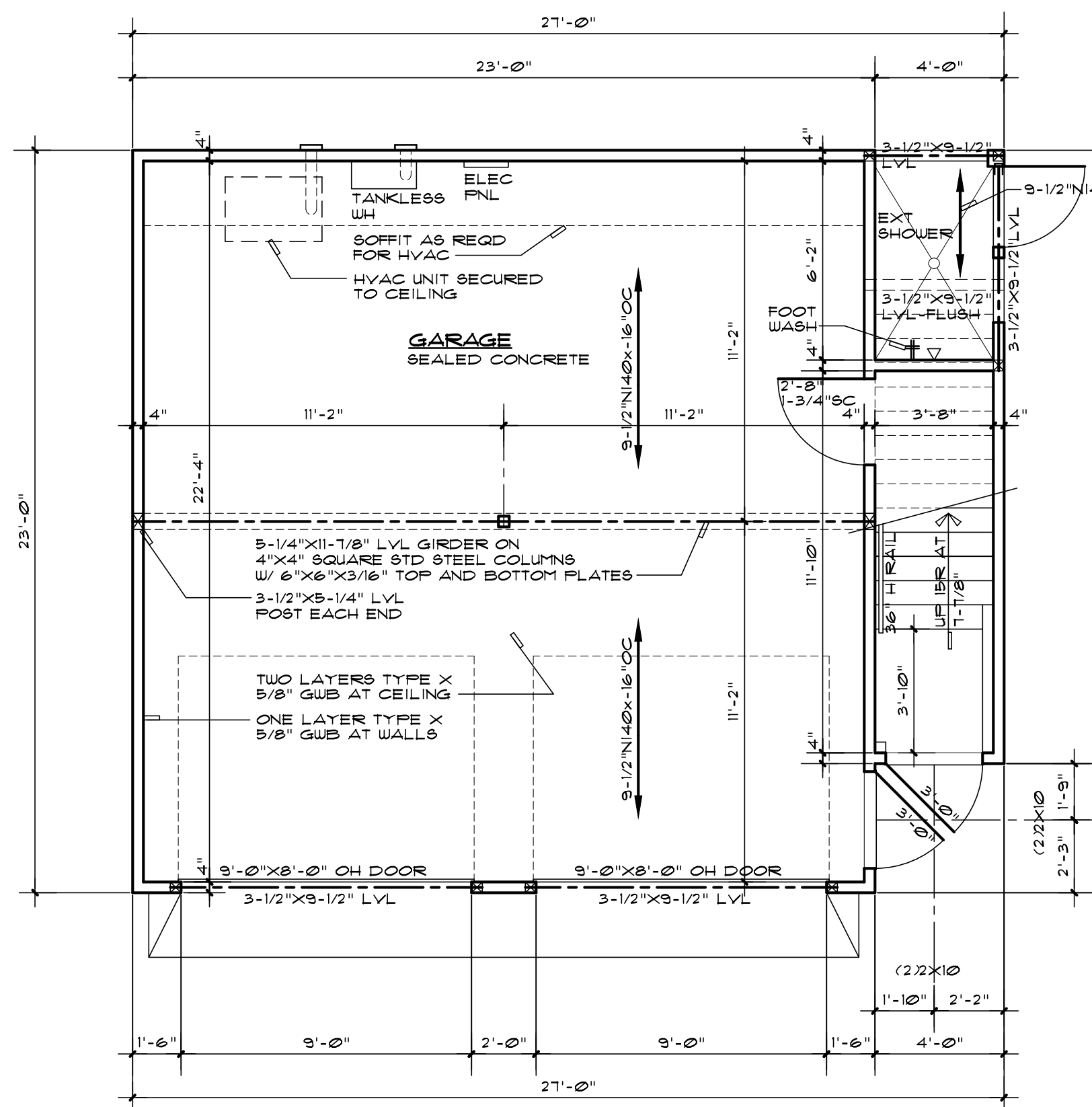
ROOF PLAN

SCALE: 1/4" = 1'-0"



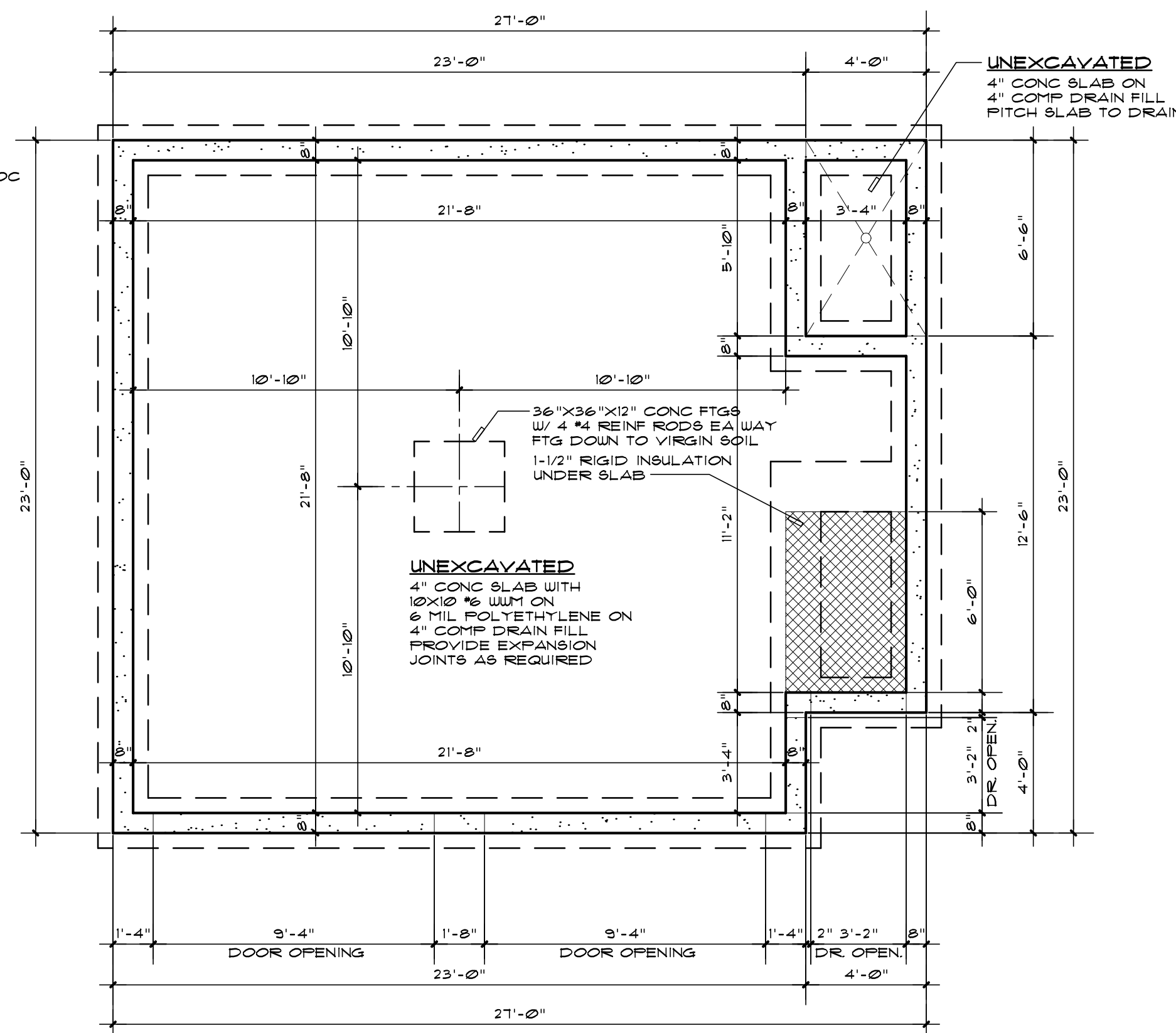
SECOND FLOOR APARTMENT PLAN

SCALE: 1/4" = 1'-0"



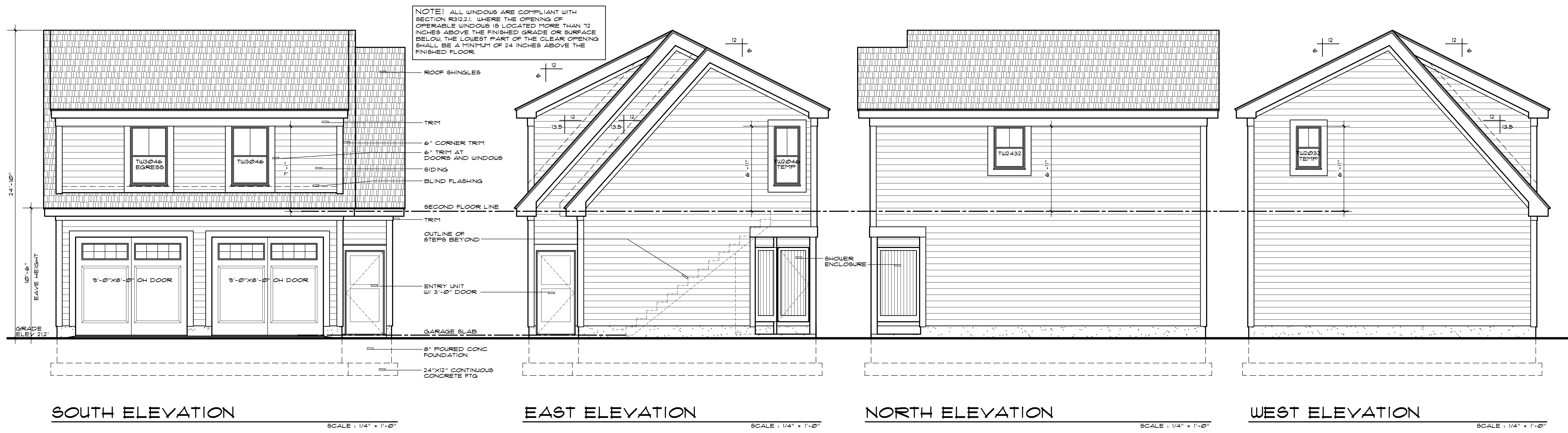
FIRST FLOOR GARAGE PLAN

SCALE: 1/4" = 1'-0"



GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

EAST ELEVATION

NORTH ELEVATION

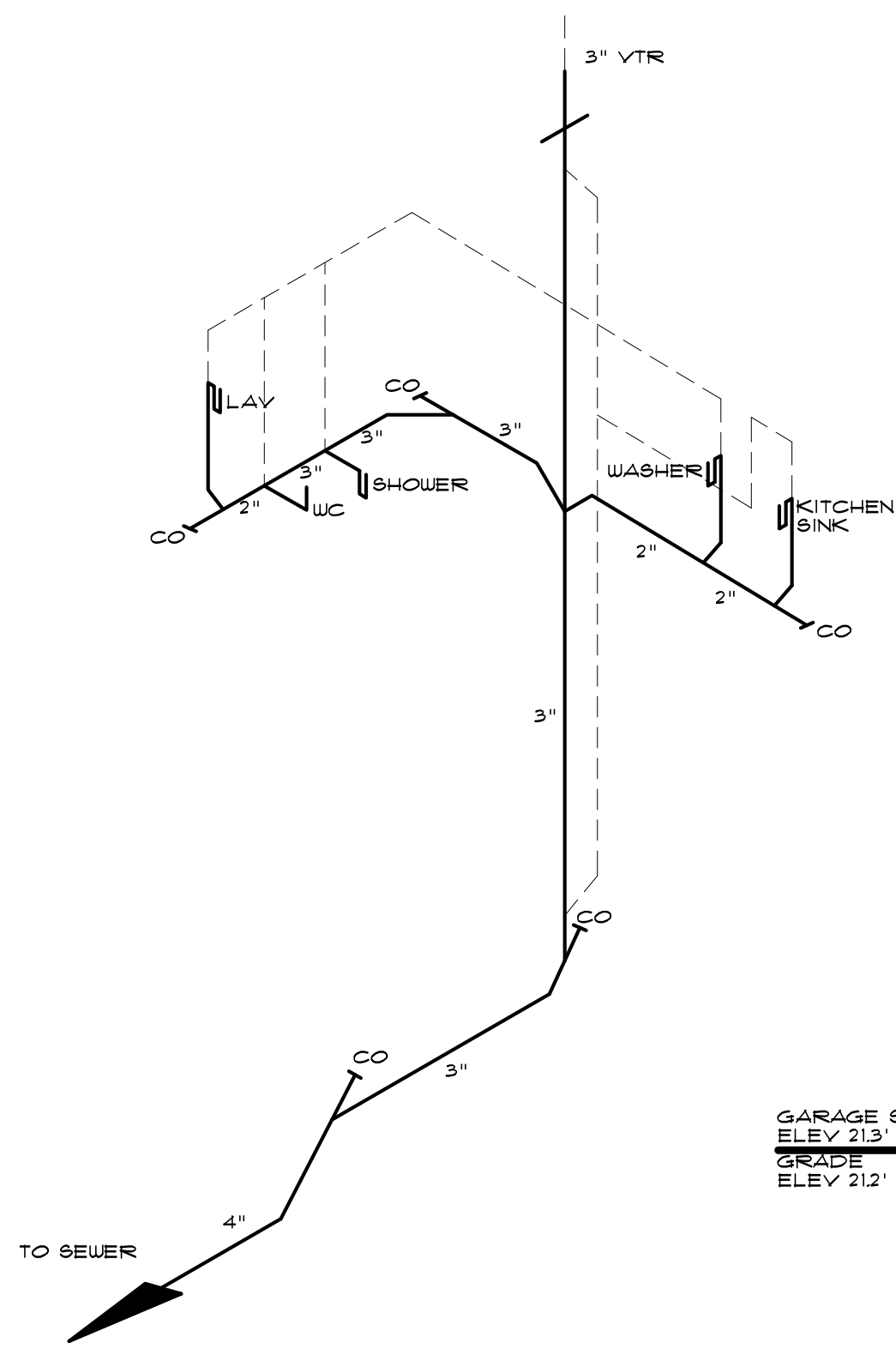
WEST ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

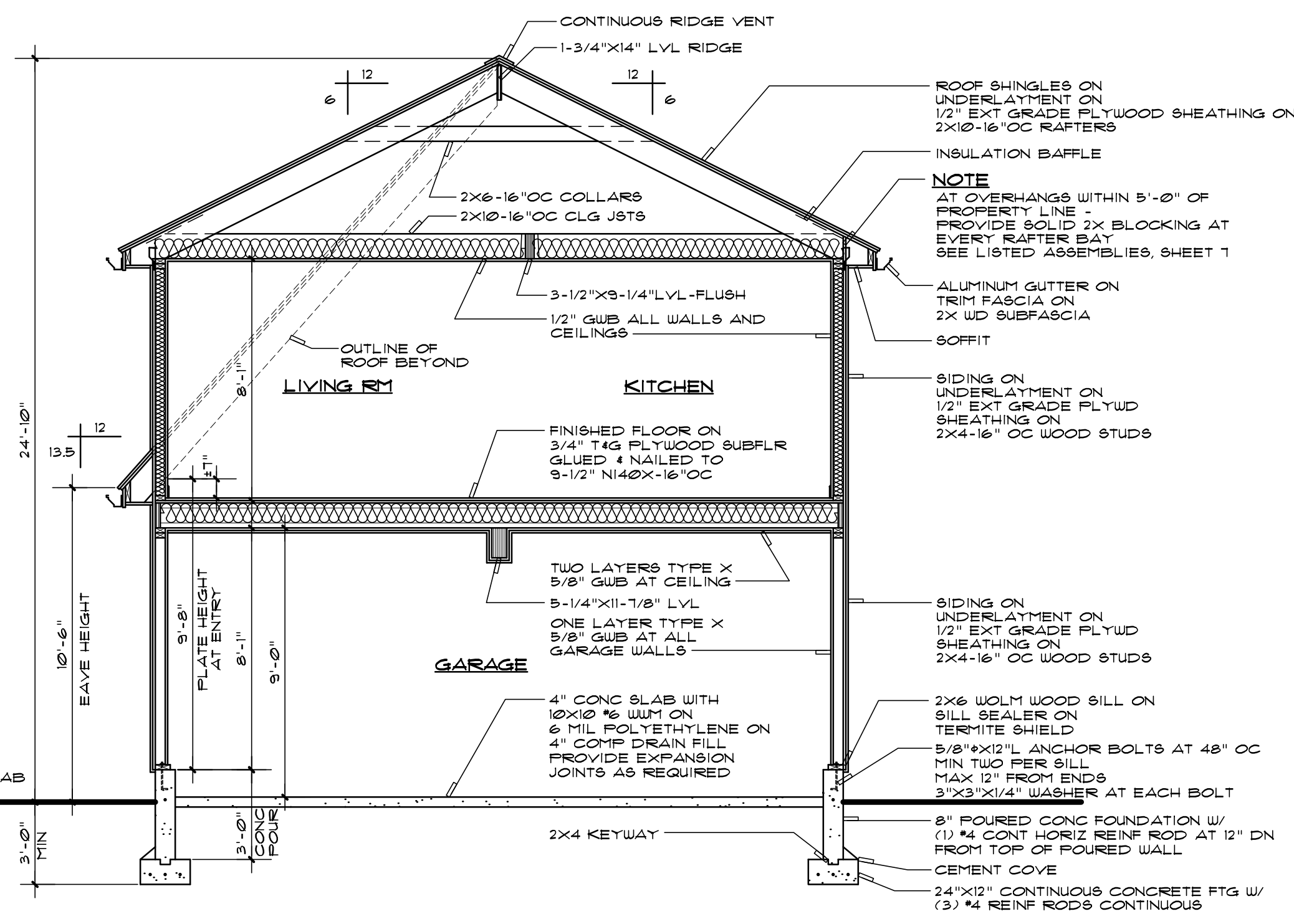
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



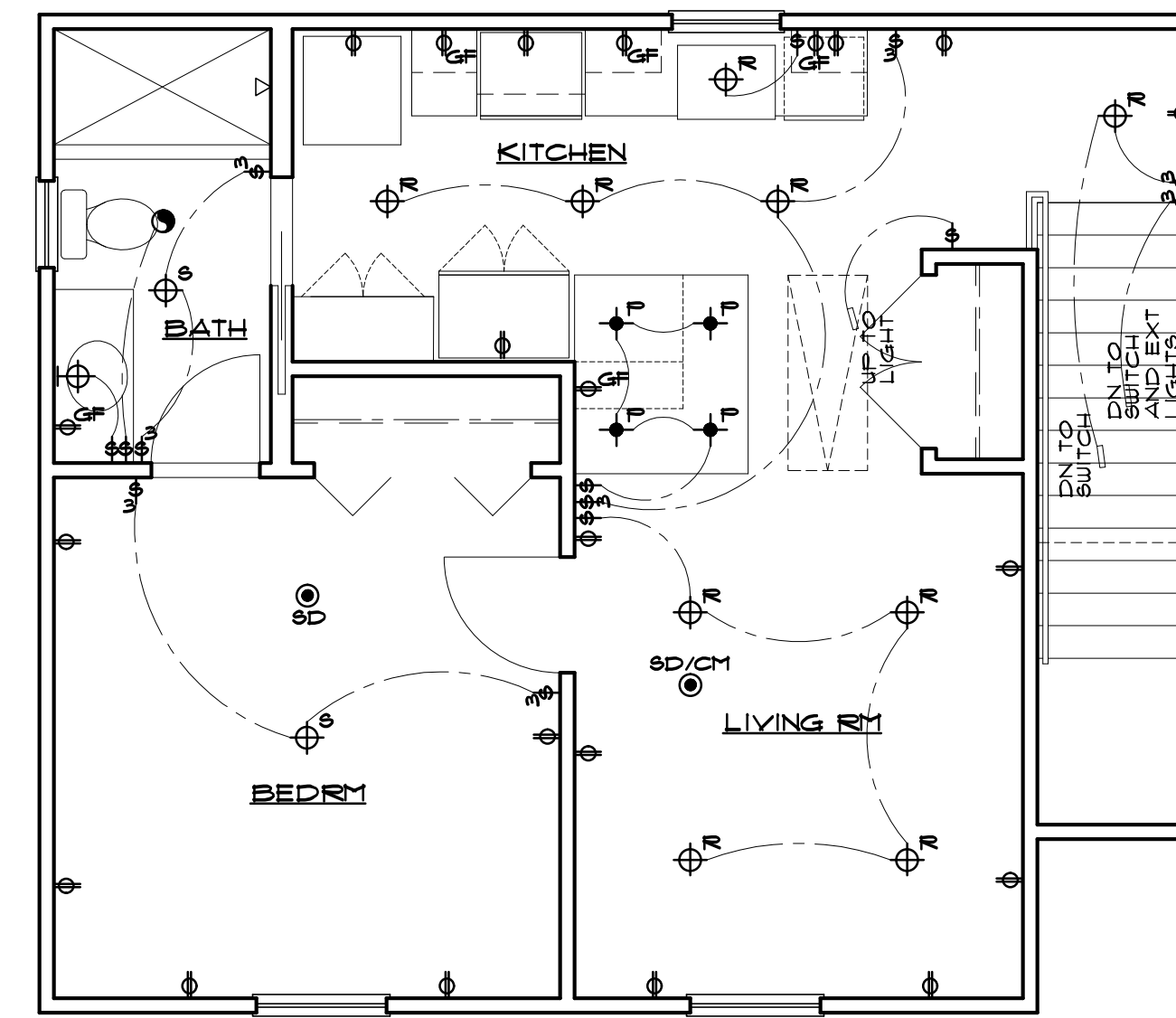
WASTE PLUMBING RISER DIAGRAM
GARAGE APARTMENT

NO SCALE



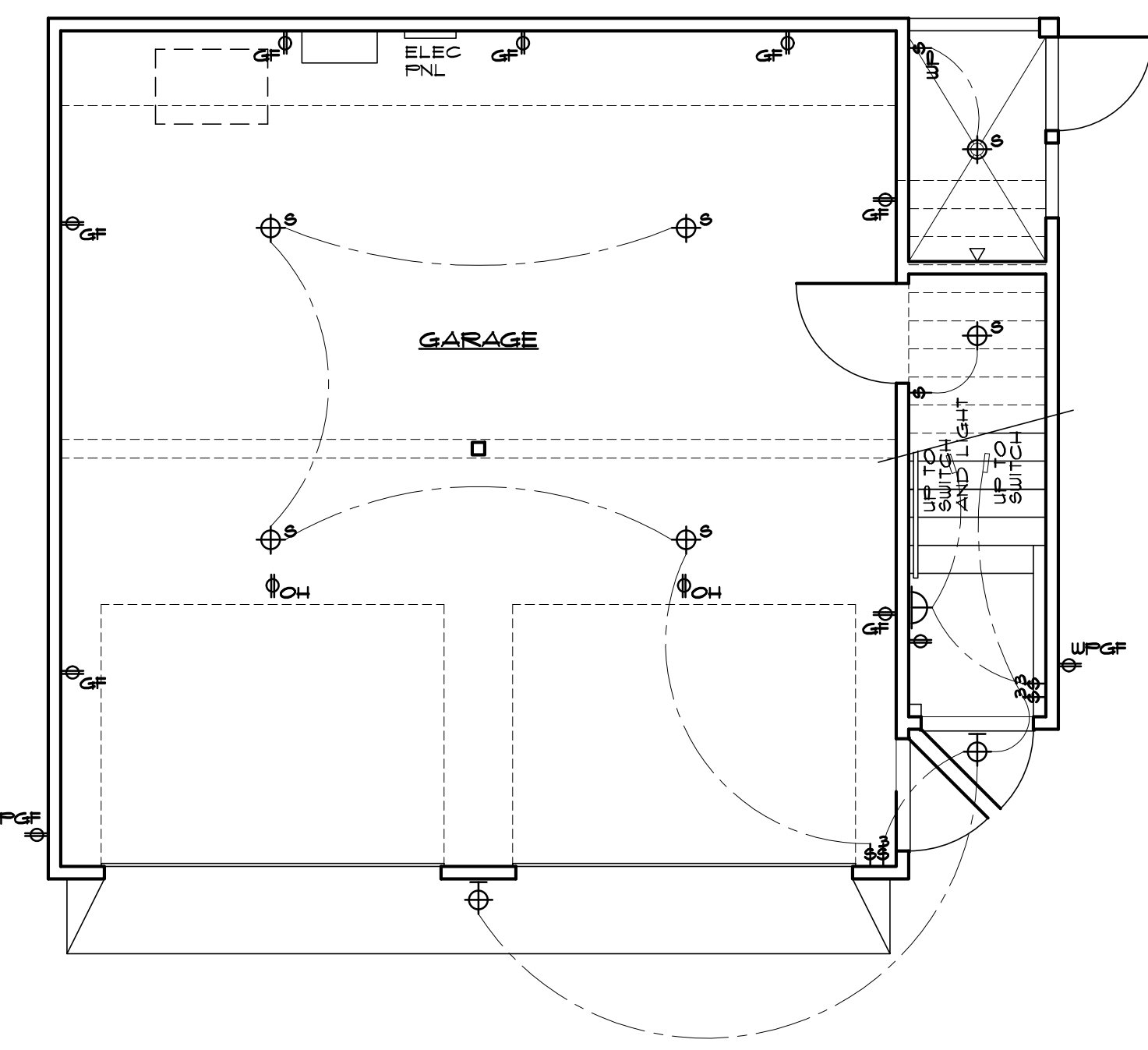
CROSS SECTION

SCALE: 1/4" = 1'-0"



SECOND FLOOR ELEC. PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR ELEC. PLAN

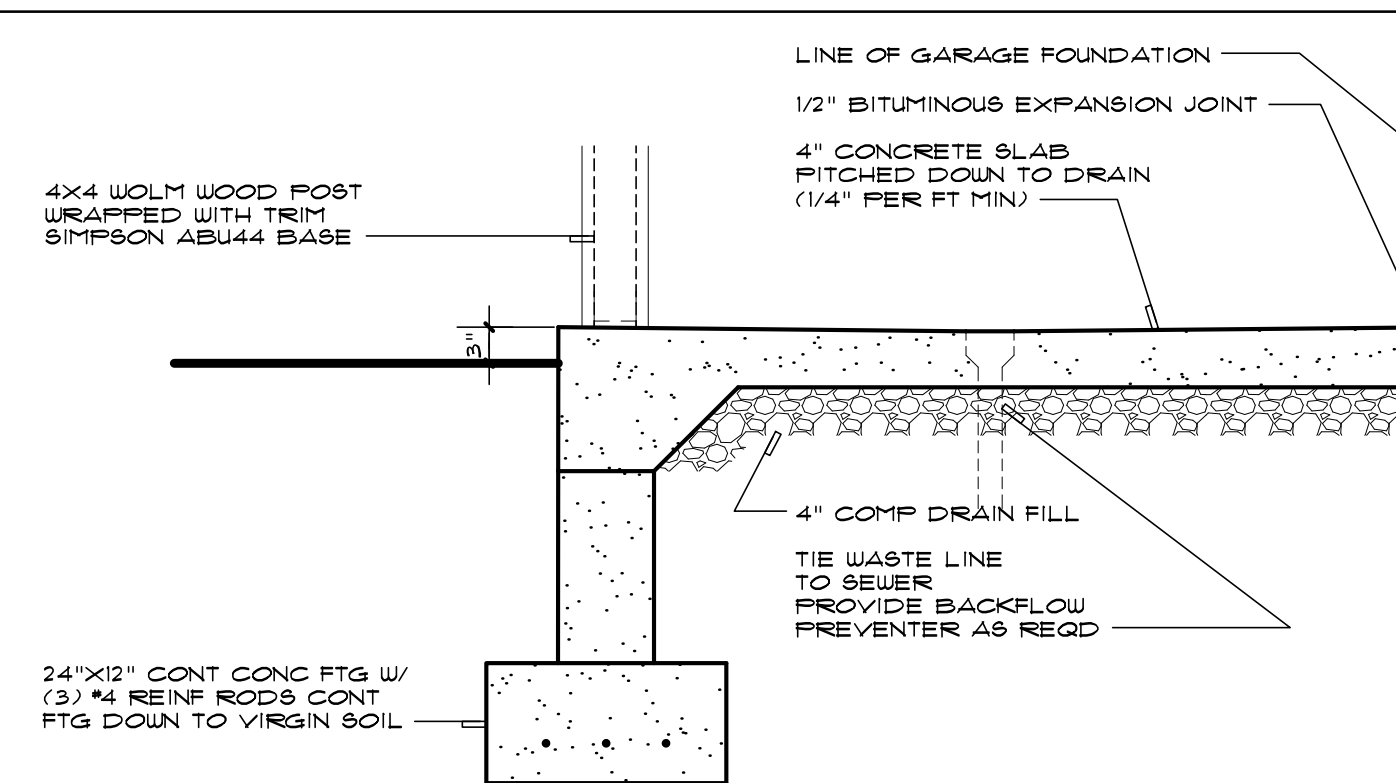
SCALE: 1/4" = 1'-0"

CONNECTOR SPECS

1. RAFTER-TO-TOP PLATE: SIMPSON H2.5A GALVANIZED HURRICANE STRAP, TYPICAL EVERY RAFTER (16" OC).
2. WALL STUD TO SILL PLATE AT GARAGE: SIMPSON H3 HURRICANE TIE WITH ZMAX FINISH, TYPICAL EVERY WALL STUD (16" OC).
3. INSTALL ALL STRAPS AND CONNECTORS AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

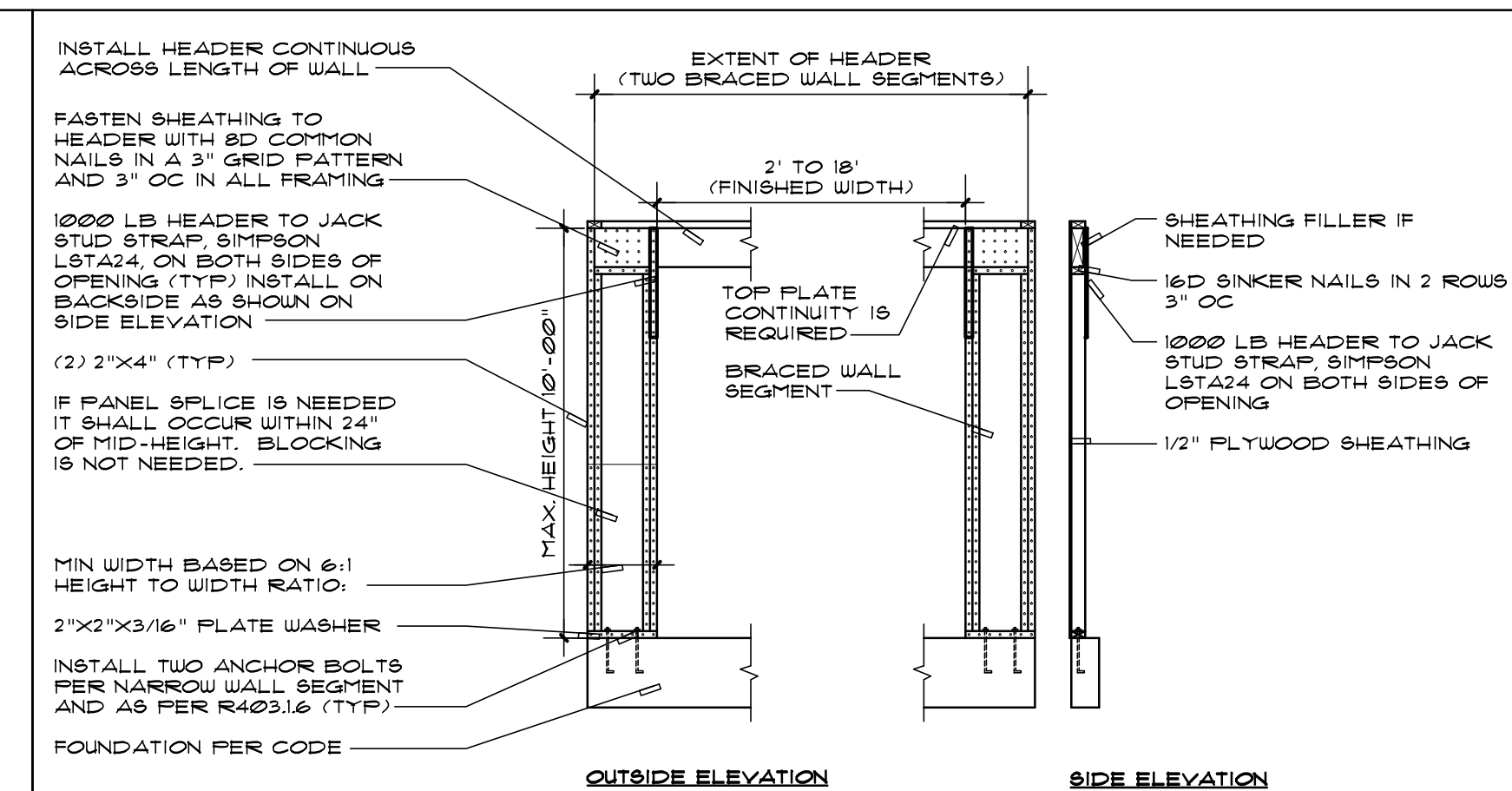
GARAGE FIRE SEPARATION NOTES

1. THE WALL BETWEEN THE GARAGE AND THE HOUSE SHALL BE PROVIDED WITH ONE LAYER OF 5/8" THICK, TYPE X GYPSUM WALLBOARD ON THE GARAGE SIDE OF THE WALL AND SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE CEILING MEMBRANE ABOVE. THE WALLBOARD SHALL BE APPLIED AT RIGHT ANGLES TO THE JOISTS AND WITH 1-1/4" DRYWALL SCREWS OR NAILS AT 12" OC. THE JOISTS OF THE GYPSUM WALLBOARD SHALL BE SEPARATED BY AT LEAST ONE STUD BAY ON OPPOSITE SIDES OF THE WALL. THE JOISTS OF THE GYPSUM WALLBOARD SHALL BE TAPED AND PROVIDED WITH ONE COAT OF SPACKLE MINIMUM. MEMBRANE PENETRATIONS SHALL BE AS PERMITTED IN SECTION 112.3.2 OF THE BUILDING SUBCODE.
2. THE FLOOR/CEILING ASSEMBLY SHALL CONSIST OF TWO LAYERS OF 5/8" THICK, TYPE X GYPSUM WALLBOARD. THE BASE LAYER SHALL BE APPLIED AT RIGHT ANGLES TO THE JOISTS WITH 1-1/4" MINIMUM DRYWALL SCREWS OR NAILS AT 12" OC. THE JOISTS OF THE WALLBOARD SHALL BE TAPED AND PROVIDED WITH A MINIMUM OF ONE COAT OF SPACKLE. THE JOISTS OF THE FACE LAYER SHALL BE OFFSET FROM THE BASE LAYER JOISTS BY A MINIMUM OF ONE JOIST BAY. THE JOISTS OF THE FACE LAYER SHALL BE TAPED AND PROVIDED WITH A MINIMUM OF ONE COAT OF SPACKLE. MEMBRANE PENETRATIONS SHALL BE AS PERMITTED IN SECTION 112.3.2 OF THE BUILDING SUBCODE.
3. THE EXTERIOR LOAD BEARING WALL IS REQUIRED TO BE PROVIDED WITH ONE LAYER OF 5/8" THICK, TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO THE STUDS AND SECURED WITH A MINIMUM OF 1-1/4" DRYWALL SCREWS OR NAILS AT 12" OC. THE JOISTS OF THE WALLBOARD SHALL BE TAPED AND PROVIDED WITH A MINIMUM OF ONE COAT OF SPACKLE. THE WALL SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE CEILING MEMBRANE ABOVE.
4. THE DOOR BETWEEN THE GARAGE AND ADJACENT INTERIOR SPACE SHALL BE A MINIMUM OF 1-3/8" SOLID CORE WOOD OR 1-3/8" SOLID OR HONEYCOMB STEEL.



EXTERIOR SHOWER

SCALE: 3/4" = 1'-0"



NARROW WALL DETAIL

NO SCALE

GIACOBBE RESIDENCE
202 FOURTH AVE - BRADLEY BEACH, NJ

GARAGE APARTMENT ELEVATIONS,
ELECTRICAL PLANS, CROSS SECTION

M. B. HEARN
M. B. HEARN ARCHITECTURE, LLC
REGISTERED ARCHITECT
NJ REG. NO. 120295

M. B. HEARN ARCHITECTURE, LLC
1007B MAIN STREET - BELMAR, NJ - 07718
(732) 556-9055 - FAX: (732) 556-9022

Comm. No.
190705

Sheet No. 12 OF 12

Date 12-19-2015

Scale NOTED

Approved

Drawn By JIR

Notes

NOTED