

# NEW 2 CAR GARAGE & 1 BEDROOM APARTMENT

## 306 MONMOUTH AVE - BLOCK 78 LOT 14 - BOROUGH OF BRADLEY BEACH

Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
A0	cover sheet, zoning & statistical data, architectural site plan	05/15/18
A1	foundation and garage level plan	06/12/18
A2	second floor and roof plan	06/12/18
A3	exterior elevations	06/12/18
A4	building sections	06/12/18
A5	typ. wall sections	09/09/18

RISER & HVAC DIAGRAMS AND NATURAL GAS SCHEMATIC DIAGRAMS SHALL BE PREPARED BY LICENSED CONTRACTOR AND SUBMITTED TO ARCHITECT PRIOR TO BEGINNING WORK.

FINAL FLOOD ZONE DESIGNATION AND FIRST FLOOR ELEVATIONS TO BE FINALIZED BY LICENSED LAND SURVEYOR.

PLAN REVIEW SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE INCLUDING ALL AMENDMENTS AND THE INTERNATIONAL RESIDENTIAL CODE, NJ 2015 EDITION

BUILDING	INTERNATIONAL RESIDENTIAL CODE - 2015 N.J.A.C. 5:23-3.21
ELECTRICAL	NATIONAL ELECTRICAL CODE (NFPA70 - 2014)
ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE - 2015
PLUMBING	NATIONAL STANDARD PLUMBING CODE 2015
MECHANICAL	INTERNATIONAL MECHANICAL CODE 2015
FUEL GAS	INTERNATIONAL FUEL GAS SUBCODE 2015
FIRE	INTERNATIONAL FIRE CODE 2015
FLOOD CONSTRUCTION	ASCE24-05 FLOOD RESISTANT DESIGN AND
REHAB	NJUCC SUBCHAPTER 6
BARRIER FREE	IBC/2015 CHAPTER 11 N.J.A.C. 5:23-7 ICC/ANSI A117.1-2009
ELEVATOR	AMERICAN SOCIETY OF CIVIL ENGINEERS

### NJUCC REQUIREMENTS

CONSTRUCTION TYPE	VB
USE GROUP	R5
USE	single family residential

<b>LOADS</b>	
floors (living areas)	40 psf live 12 psf dead
floors (bedrooms)	30 psf live 12 psf dead
decks	60 psf live 12 psf dead
stairs	40 psf live 6 psf dead
guardrails/handrails	200 psf live at any pt. along top
roof load	20 psf live 10 psf dead
attic w/ storage	20 psf live 12 psf dead
attic w/o storage	10 psf live 6 psf dead

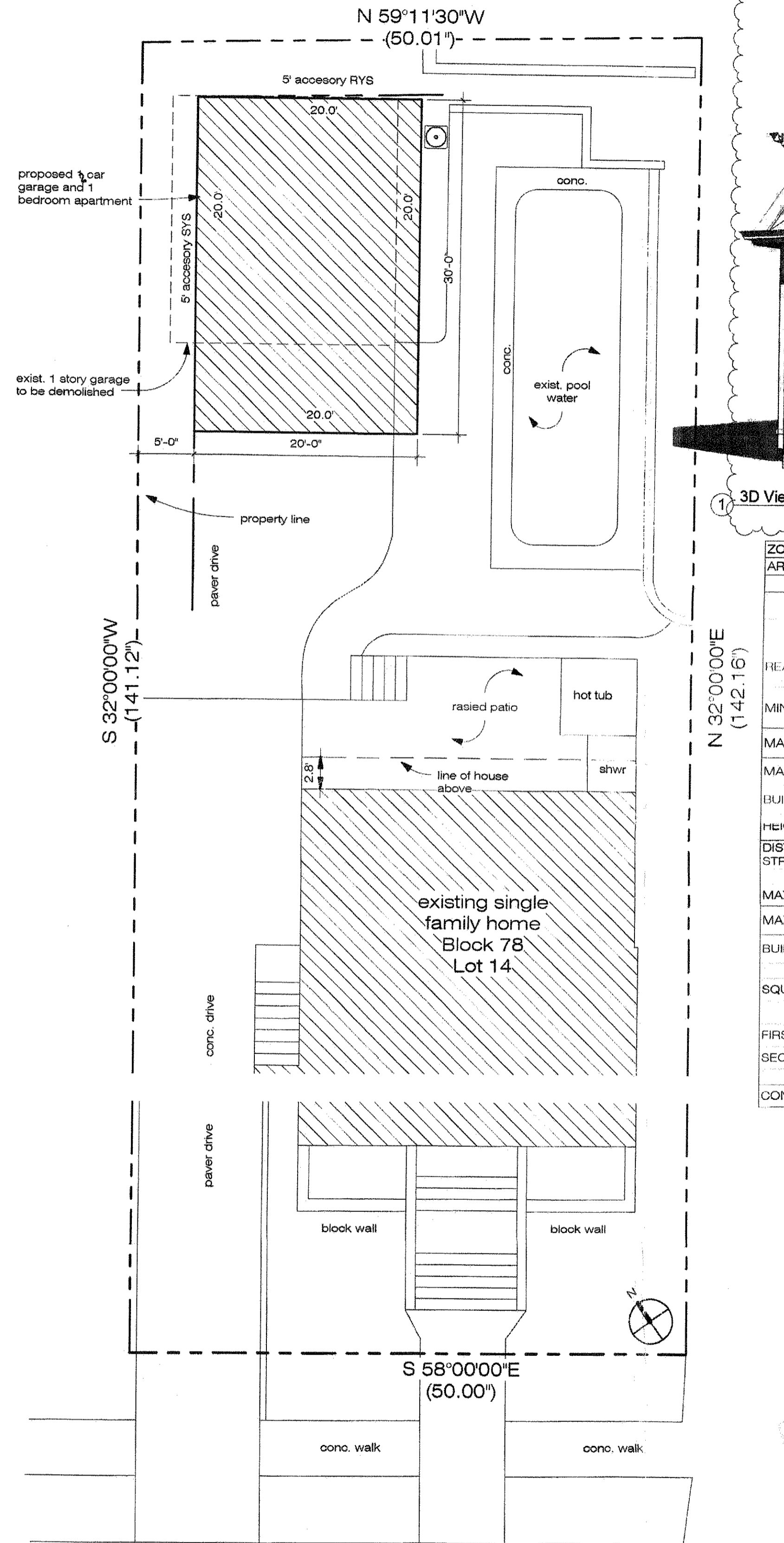
OCCUPANCY	1 person/200sf livable area
BASIC WIND SPEED(3 sec gust)	115 mph
SEISMIC DESIGN CATEGORY	N/A

<b>SUBJECT TO DAMAGE FROM</b>	
weathering	severe
frost line depth	36"
termites	mod to hvy
decay	sit to mod

CLIMATE ZONE	4a
--------------	----

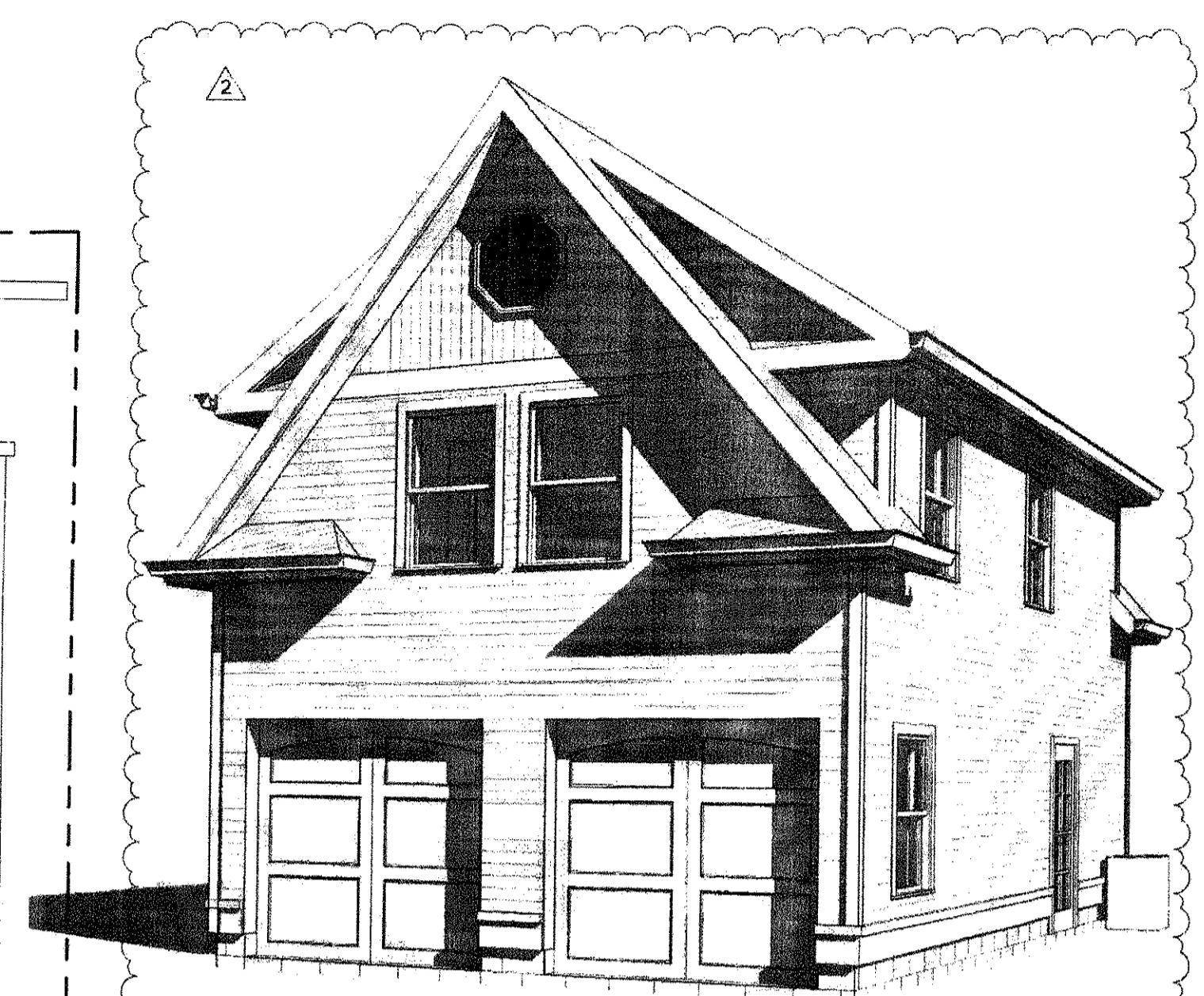
WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED	GA FILE NO. WP	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND
GYPSON WALLBOARD, WOOD STUDS One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. <b>(LOAD-BEARING)</b>	3514			
Thickness: 4 3/4"			Approx. Weight: 7 pcf	See WP 3520
Fire Test: SWRI 01-4511, 8-19-92			Sound Test: G&H NG-246FT, 7-2-65	
See WP 3520				

⑤ 1-hour rated interior wall  
1/4" = 1'-0"



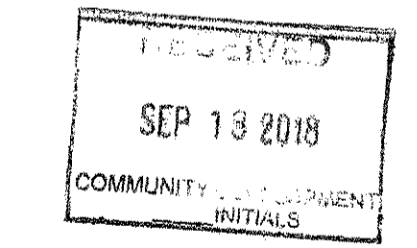
note: site plan information taken from survey performed by LANDMARK SURVEYING & ENGINEERING, INC. and dated 5/29/09. This is a schematic, architectural site plan, please refer to engineer's site plan for all final site information.

③ architectural site plan  
1/8" = 1'-0"



ZONING REQUIREMENTS AREA AND YARD REQUIREMENTS (R1 ZONE)				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
<b>ACCESSORY STRUCTURE</b>				
REAR YARD SETBACK	5'	4.77' (to be demolished)	5.0'	YES
MIN. SIDE YARD SETBACK	5'	2.79' (to be demolished)	5.0'	YES
MAX GARAGE FLOOR AREA	800 sf	436.2 (to be demolished)	400 sf	YES
MAX APARTMENT FLOOR AREA	600 sf	n/a	600 sf	YES
BUILDING HEIGHT	25'	15' (to be demolished)	24'-4 1/2"	YES
HEIGHT TO GARAGE EAVES	12'	8' (to be demolished)	9'	YES
DISTANCE TO PRIMARY STRUCTURE	20'	27.9' (to be demolished)	20'	YES
<b>MAXIMUM COVERAGES</b>				
MAX. LOT COVERAGE (50%)	4,249 sf	5492 (77.5%)	NC	EXIST NC
BUILDING COVERAGE (35%)	2,478 sf	2,168 sf (30.6%)	2,332 sf (32.9%)	YES
<b>SQUARE FOOTAGE CALCS</b>				
		EXISTING	PROPOSED	
FIRST FLOOR (GARAGE)		436.2 (to be demolished)	600 sf	
SECOND FLOOR (APARTMENT)		n/a	600 sf	
CONSTRUCTION VOLUME		3,547 (to be demolished)	12,810 cf	

MICHAEL P. CONOSCENTI, AIA  
ARCHITECT  
123 Cliff Avenue  
Bradley Beach NJ  
07720  
NJ LIC # AI00316000



1 car garage & 1 bedroom apartment

306 MONMOUTH AVE  
LOT 14 BLOCK 78  
BOROUGH OF BRADLEY BEACH

cover sheet, zoning & statistical data,  
architectural site plan

PROJECT # 218028

No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018

**A0**

**Concrete Notes**

- All concrete shall be 3500 p.s.i. at 28 days, mechanically vibrated, have crack control or construction joints at 30 foot maximum and shall be reinforced as required in accordance with the latest edition of building code requirements for reinforced concrete A.C.I. 318.
- Comply with recommendations of ACI 301 Specifications for Structural Concrete for Buildings, ACI 318 Standard Practice.
- Reinforcing steel shall be A-615 Grade 60 (60 ksi) deformed hi-bond and conform to the latest ASTM specifications.
- Welded Wire Fabric (WWF) ASTM A-185, 6x6-W1.4xW1.4
- No concrete shall be poured when the temperature is 40 degrees F and falling. All concrete shall be cured in accordance with the latest specifications of the A.C.I. code.

**Steel Notes**

- All structural steel shall be ASTM A-36. Steel work shall be fabricated and erected in accordance with the latest A.I.S.C. specifications and code of standard practice.
- All surfaces of steel columns shall be given a shop coat of rust-inhibitive paint, except for corrosion-resistant steel and steel with coatings to provide corrosion resistance. All steel columns attached to girders with (4) 1/4" x 3" lag bolts.

**Dimension Notes**

- Contractor shall verify all dimensions and existing conditions at the site before proceeding with any phase of the project. Notify the Architect and owner immediately of any discrepancies between drawings and the actual conditions encountered at the site before proceeding with related work.
- Never scale drawings. Contractor shall refer to written dimensions only. All dimensions and conditions shall be verified in the field and any discrepancies reported to the architect prior to construction. In all cases, the details and drawings shall be checked with existing conditions from work in place, and variations, if any, be referenced to the architect for adjustment. The contractor will be held responsible for the fit of work in place. The contractor shall fix, at his expense, any errors done due to the assumption that leads up to conflicting situations with the intent of the project. Large scale details always take precedence over smaller scaled details and plans.
- All interior dimensions on plans are to rough framing. Critical dimensions are noted "hold". Finished dimensions will vary in actual construction. Do not scale drawings, dimensions are to be used. Where discrepancies are found, verify with owner or Architect.
- All exterior wall dimensions are aligned with the outside face of wall framing, unless otherwise noted. Plus/Minus dimensions are flexible dimensions requiring close attention to alignments or matching existing adjacent conditions. The contractor must closely examine the dimension string and strategy in order to determine the intent of the dimension relative to those around it. This dimension is only provided as a verification and for contractors rough use in determining sizes for cost estimating purposes.
- Inter-floor alignments - when elements are dimensioned in relation to construction elements on the floor or floors above and/or below, the contractor must verify alignments are translated on the exterior and interior of the structure, U.N.O.

**Smoke Detector/Carbon Monoxide Alarm Notes**

- In buildings of Use Group R-3, R-4 and R-5 and in dwelling units of Use Group R-2, smoke detectors to be present on each level of the residence and located in accordance with NFPA 72. Common area smoke detectors should be located in the immediate vicinity of the bedrooms and located on or near the ceiling. Carbon Monoxide alarms to be present outside each separate sleeping area and Provide interconnected smoke detectors & carbon monoxide alarms with emergency battery back-up as indicated on plans and/or required by code.
- Smoke detector alarms shall be provided in the following locations even if not shown on the drawings: One in the basement. One in the common area of the first floor. One in the common area of the second floor. One in each bedroom.
- Carbon Monoxide alarms are to be provided in the immediate vicinity of all sleeping rooms in buildings, classified under use groups as L-1, R-1, R-2, R-3, R-4 and R-5 which contain fuel burning appliances or have attached garages.

**Mechanical Notes**

- HVAC system shall be modified/provided on a design-build basis. Work shall include design, furnishings and installation of HVAC system, as required for a complete and proper installation.
- Mechanical design drawings and shop drawings shall be provided for the Architects review/approval.
- All plumbing work shall be performed in strict accordance with the National Standard Plumbing Code, latest edition.
- All mechanical work shall be performed in strict accordance with the International Mechanical Code, latest edition.
- Air Conditioning: All air conditioning systems to be designed and installed by a licensed HVAC contractor. All new air conditioning equipment to be 90% minimum efficient, energy star qualified. Provide new, 2 zone, central air conditioning system to the entire home. Located locations of supply and return registers to be reviewed and approved by architect and owner prior to installation. Provide drip pans and drains at each heating/cooling element. Drain lines to be brought to sump pump or exterior as per code and reviewed and approved by owner.
- Central Air conditioning system shall maintain an interior temperature of 72°F @ 80% R.H. with an exterior temperature of 90°F and 100% R.H.
- Heating system shall maintain an interior temperature of 70°F with an exterior temperature of 0°F and a 50 MPH wind.
- Heating: All heating systems to be designed and installed by a licensed HVAC contractor. All new heating equipment to be 90% minimum efficient, energy star qualified. Provide a gas fired, direct vent, boiler. Provide drip pans and drains at each heating/cooling element. Drain lines to be brought to sump pump or exterior as per code and reviewed and approved by owner.
- Water heater: Provide a gas-fired, 50-gal high efficiency water heater.
- Gas Appliances: Coordinate with Owner.
- Plumbing Fixtures: All plumbing fixtures and faucets to be coordinated with the owner.

**Electrical Notes**

- Electrical system and emergency electrical system shall be provided on a design-build basis. Work shall include design, furnishing and installation of an electrical system, as required for a complete and proper installation. Provide electric power riser diagram(s) and panel schedule(s) for Architects review and approval. Provide fire alarm diagram(s)/drawings in accordance with the current IBC and codes having jurisdiction.
- All electrical work to be designed and installed by a licensed electrician in strict accordance with the most recently adopted National Electrical Code. All electrical work to be coordinated with owner.
- All electrical installations shall be performed in strict accordance with the National Electrical Code, latest edition.
- Contractor to furnish and install boxes, fittings, devices and manufacturer accessories, adapters and all other materials and equipment required for a complete electrical installation.
- All materials required for this project shall be UL Listed.
- Contractor to verify adequacy of existing service and replace as required.
- Where more than one switch occurs at the same location, O.C. to install switches in gang type box under a single cover plate.
- Consult with contractors furnishing HVAC equipment to verify loads and secure.
- Make all final connections to all controls, owner supplied equipment, mechanical and plumbing equipment as required.
- Final outlet and lighting locations shall be determined prior to rough-in. Quantity and locations indicated on these plans are approximate.
- Provide new 200 amp service. Electrical contractor shall specify and size all equipment, circuits, wiring and devices accordingly.
- Provide service light, interconnected heat detector and outlet in attic space.
- not used.
- Coordinate all fixtures with the Owner.
- GFI Outlets to be installed as required by code, even if not indicated on drawings. Areas requiring GFI Outlets are as follows: Bathroom receptacles, Residential Garage receptacles, outdoor receptacles, receptacles in unfinished basements, receptacles in Crawl Spaces, or receptacles within 6'-0" of a Kitchen or bar sink.
- Alarm System: Coordinate locations with the owner.
- Phone/Cable/Internet: Coordinate with Owner
- Alarm System: Coordinate with owner.

**General Notes**

- Copyright 2018 Creative Minds Group Architecture, LLC, all rights reserved. The copying or reuse of these documents, or portions thereof, for other than the original project or purpose originally intended, without written permission of Creative Minds Group Architecture, LLC is strictly prohibited. These plans are property of the Architect and may not be copied, re-used or altered without his approval. In all cases, these original prints shall remain in the Architects possession. Duplicate will be issued only with the written permission of the Architect.
- Perform all work in conformance with the latest adopted editions of the New Jersey Uniform Construction and local codes and agencies having jurisdiction.
- Building to be built in accordance with all applicable codes as noted on Cover Sheet.
- Design Loads: As noted on cover sheet.
- The contractor shall insure that construction complies with national, state and local statutes, ordinances and regulations.
- All layout dimensions as indicated may be adjusted where required. Rough openings required by specific building components shall take precedence for proper fit of finished component.
- Guarantee all material, work or equipment altered or furnished under this contract, for a period of one year from date of final acceptance of the installations.
- Be responsible for coordinating all work included in the entire project.
- Ensure that all items of construction shall be installed per the Manufacturers written specifications.
- Coordinate with the Owner the removal/relocation of existing plantings, to gain access to the structure where necessary, before work begins. Restore all existing exterior conditions of the structure, including all landscaped and grassed areas, to pre-construction conditions, unless otherwise noted.
- Ensure all construction equipment and materials be stored and placed so as to not endanger inhabitants, the public, the workers, or adjoining property for the duration of the construction project.
- Contractor shall provide all shoring, bracing, barricades, temporary fences, partitions and excavation, etc. to accomplish all of the work in an appropriate manner.
- Contractor shall verify the exact location of all underground utilities and notify the responsible utility companies before starting construction or demolition. This notice applies to all information shown on these plans or any associated plans for this project, including plans prepared by others such as utility company plans or engineering plans. The Architect assumes no liability for the contractor's failure to verify any underground locations prior to beginning excavation work or damages done to any underground utility or the contractor's labor, materials or equipment due to failure to verify locations of any utilities.
- No changes to the plans are permitted. The architect shall not be responsible for any departure from these drawings at any time during construction.
- This foundation design is based on assumed soils: Group 1 - GW, GP, SW and/or SP only (good drainage characteristic, low frost heave potential & low volume change potential expansion). The minimum acceptable soil bearing capacity is 3,000 psf. It is the responsibility of the owner/builder to make volume change potential investigation such as borings, and consult with a soils engineer, if necessary, to establish that the soil bearing capacity is adequate. If it is less than 3,000 psf, notify architect prior to commencement of work. Specific soil conditions at variance with this requirement shall be brought to the attention of the Architect by the contractor. If no soil testing or site studies are performed by the Architect or are not provided for his use, responsibility for site related problems shall be the responsibility of others.
- Backfill, where applicable, shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above, or has been sufficiently braced to prevent damage by the backfill.
- The builder shall be responsible for the correct siting of the structure on the property and for confirmation of all requirements for siting.
- The insulation proposed for this single family residence meets the requirements of the New Jersey model energy code. A ResCheck compliance certificate shall be submitted in conjunction with the construction documents.
- Upon completion of work, submit to the Owner a manual of all necessary warranties, instructions, maintenance manuals, instructions for care and maintenance of surfaces and equipment. Contents shall include manufacturer's and installers names, addresses and phone numbers and instructions for startup, operation, maintenance, parts lists and data sheets. The contractor shall furnish all literature of the manufacturer, relating to the equipment, including motors or other manufacturers equipment. Also outs, wiring diagrams, instructions, and all other information that would be useful to the Owner for the operation and maintenance of the same.
- File for, obtain and forward to the Owner the C.O. (Certificate of Occupancy), and all other permits and certificates of inspection at completion of the project.

MICHAEL P. CONOSCENTI, AIA  
 ARCHITECT  
 123 Cliff Avenue  
 Bradley Beach NJ  
 07720  
 NJ LIC # AI00316000

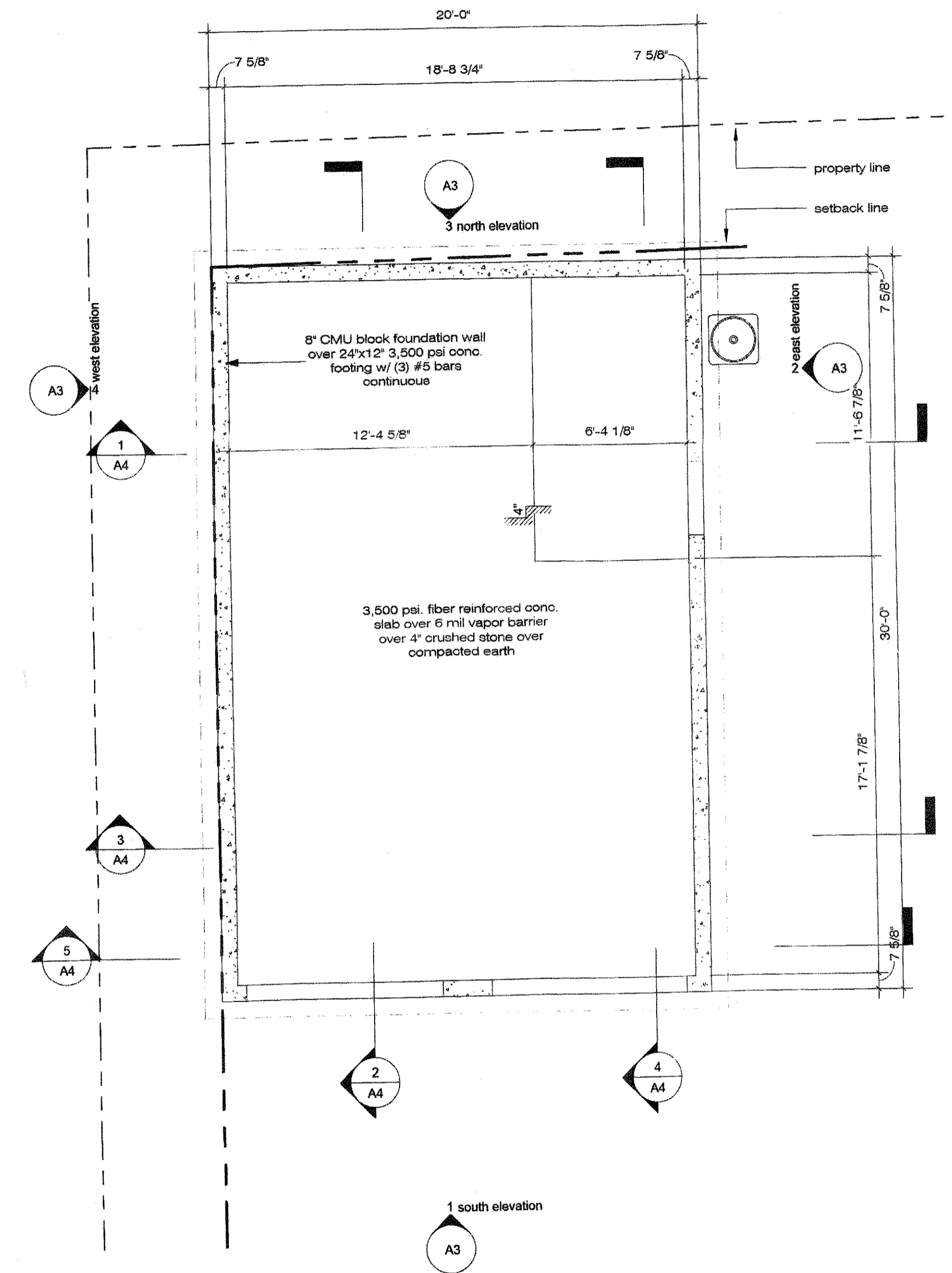
1 car garage & 1 bedroom apartment

306 MONMOUTH AVE  
 LOT 14 BLOCK 78  
 BOROUGH OF BRADLEY BEACH

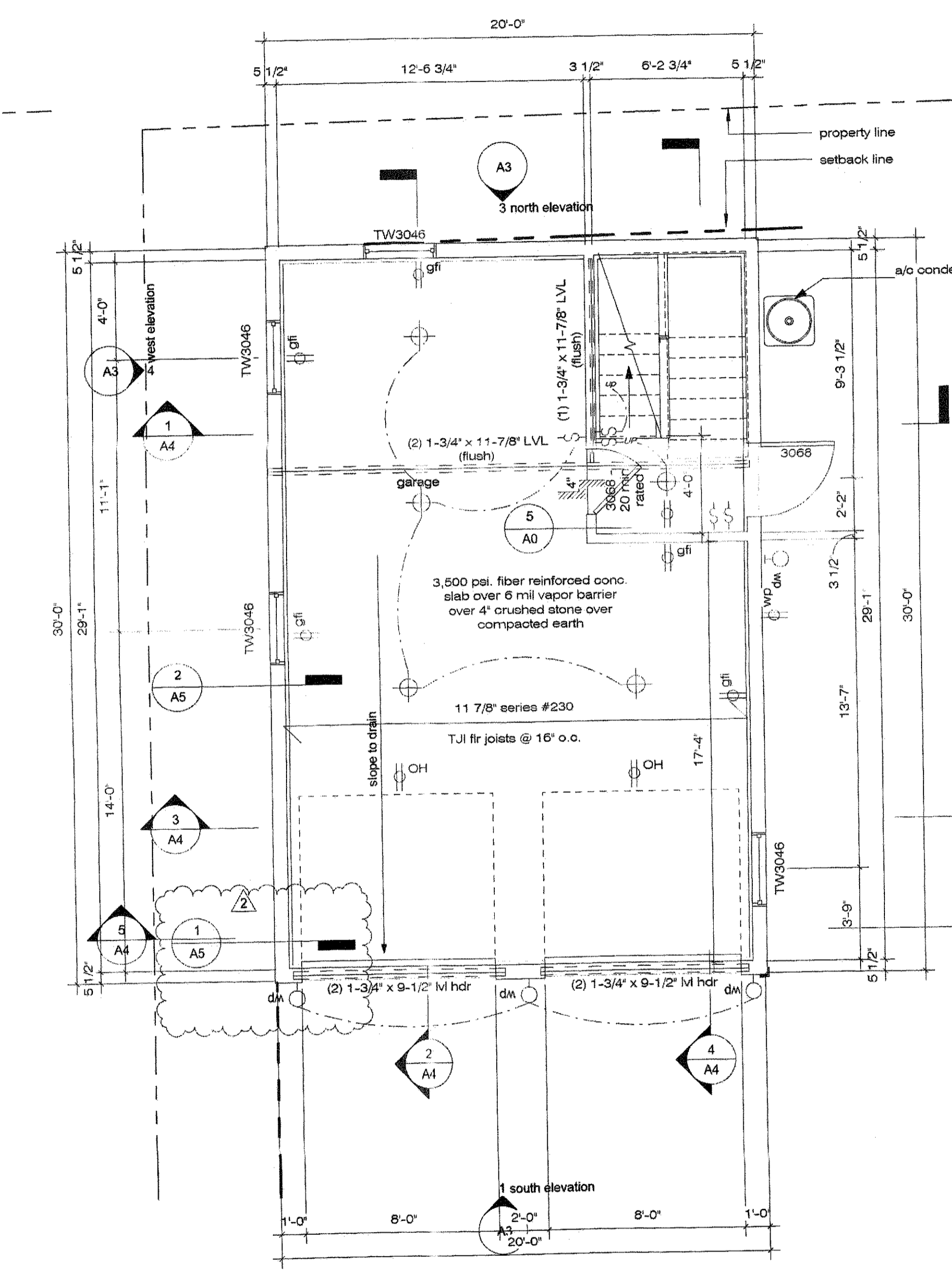
foundation and garage level plan

No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018

A1



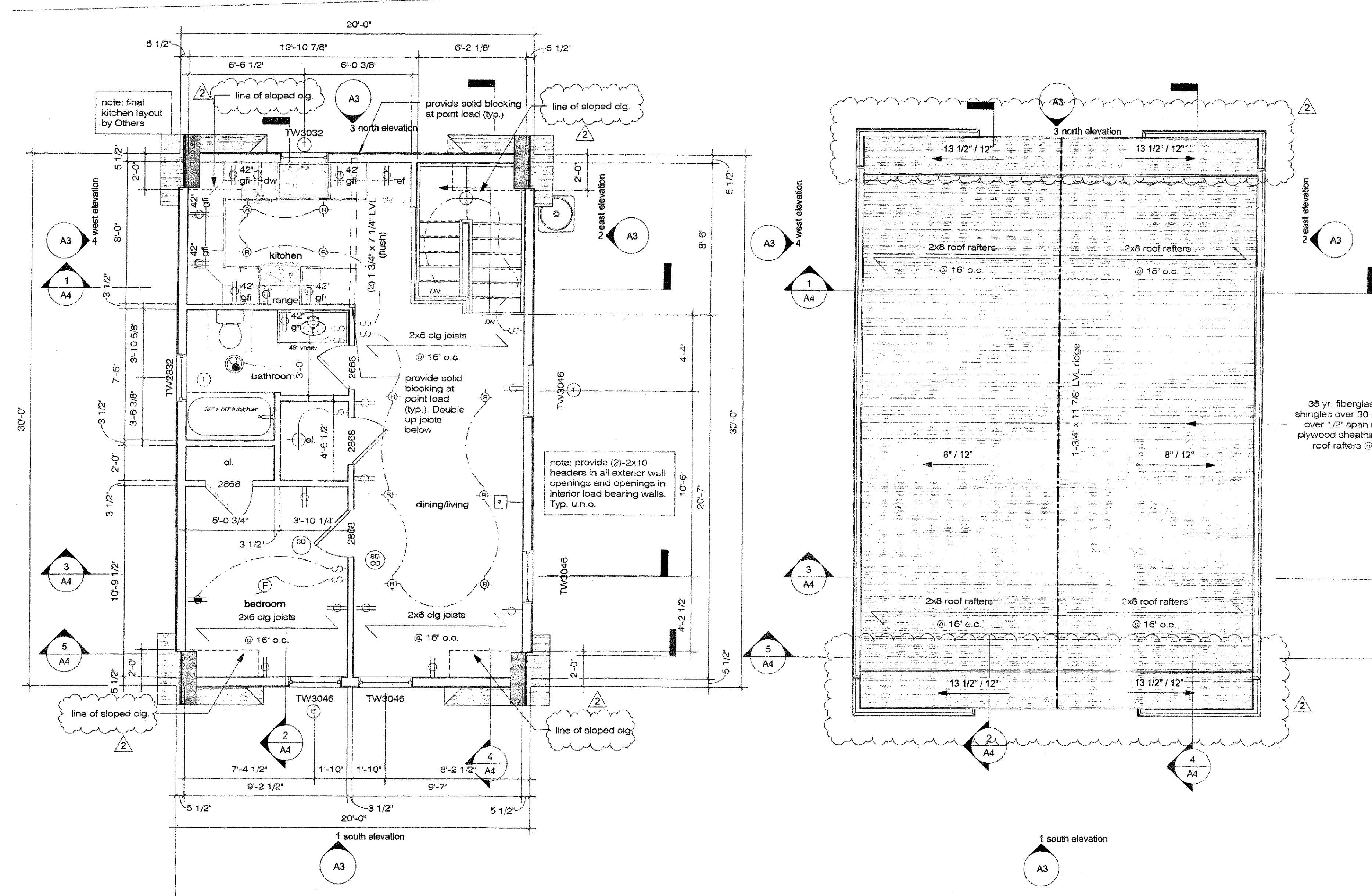
1 foundation plan  
 1/4" = 1'-0"



2 garage floorplan  
 1/4" = 1'-0"

SOILS	
SOIL TYPE	Group 1 - GW, GP, SW and/or SP only (good drainage characteristics, low frost heave potential & low volume change potential expansion).
SOIL DENSITY	The minimum acceptable soil bearing capacity is 3,000 psf.
It is the responsibility of the owner/builder to make subsurface investigation such as borings, and consult with a soils engineer, if necessary, to establish that the soil bearing capacity is adequate. If it is less than 3,000 psf, notify architect prior to commencement of work. Specific soil conditions at variance with this requirement shall be brought to the attention of the Architect by the contractor. If no soil testing or site studies are performed by the Architect or are not provided for his use, responsibility for site problems such as surface water, sub-surface water, rock, poor soil conditions, backfill material, etc., and construction modifications to accommodate related problems shall be the responsibility of others.	

C:\Users\gonf\Dropbox\2018\18-025 - Cedar Garage\REV\20180909 - 306 Monmouth garage - revision 2.rvt



1 second floor plan  
1/4" = 1'-0"

2 roof plan  
1/4" = 1'-0"

DESCRIPTION	PROPERTIES
Framing Lumber	douglas fir #2 (see dwgs. for size and spacing) $F_c = 825$ p.s.i. $F_t = 180$ p.s.i. $E = 1.6 \times 10^6$ p.s.i.
Floor Framing (I-joists)	Premanufactured I-series joists (see dwgs. for size and spacing) TRUS JOISTS (series and spacing per plans)
Floor Framing (Open Web Joists)	TriForce Open Web Joist refer to manufacturer's specifications
Floor Lumber (conventional lumber)	douglas fir #2 (see dwgs. for size and spacing) $F_c = 825$ p.s.i. $F_t = 180$ p.s.i. $E = 1.6 \times 10^6$ p.s.i.
Structural beams, girders & headers (Timberstrand LSL, Microlam LVL and Parallam PSL as manufactured by Weyerhaeuser)	Timberstrand LSL (1.55E) $F_c = 310$ p.s.i. $F_t = 2,325$ p.s.i. $E = 1.55 \times 10^6$ p.s.i.
	Microlam LVL (1.5E) $F_c = 2,600$ p.s.i. $F_t = 285$ p.s.i. $E = 1.9 \times 10^6$ p.s.i.
	Parallam PSL (2.0E) $F_c = 2,900$ p.s.i. $F_t = 290$ p.s.i. $E = 2.0 \times 10^6$ p.s.i.
GLULAM Beams	Premanufactured (see dwgs. for size, spacing & location) $F_c = 300$ p.s.i. $E = 2.1 \times 10^6$ p.s.i.
Structural Flitch Plates	Engineered Lumber w/ A36 Steel (see plans for sizing and specifications) $F_c = 14,400$ p.s.i. $F_t = 29 \times 10^5$ p.s.i. $F_r = 22,000$ p.s.i.
Structural Posts (engineered wood)	Parallam PSL (1.8E) $F_c = 2,500$ p.s.i. $E = 1.8 \times 10^6$ p.s.i.
Subfloor	3/4" T&G *Advanced <sup>®</sup> APA Span rated/Advantech <sup>®</sup> finish floor requirements
Wall Sheathing	5/8" CDX plywood Grade (1) (look-over APA Span Table B)
Roof Sheathing	5/8" CDX plywood Grade (1) (look-over APA Span Table B)

JOINT DESCRIPTION	# OF COMMON NAILS	# OF BOX NAILS	NAIL SPACING
<b>ROOF FRAMING</b>			
BLOCKING TO RAFTER (TOE-NAILED)	2 - 8d	2 - 10d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2 - 16d	3 - 16d	EACH END
<b>WALL FRAMING</b>			
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4 - 16d	5 - 16d	AT JOINTS
STUD TO STUD (FACE NAILED)	2 - 16d	2 - 16d	24" O.C.
HEADER TO HEADER (FACE NAILED)	16.00	16.00	16" O.C. ALONG EDGES
<b>FLOOR FRAMING</b>			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED) (FIG. 14)	4 - 8d	4 - 10d	PER JOIST
BLOCKING TO JOIST (TOE-NAILED)	2 - 8d	2 - 10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3 - 16d	4 - 16d	EACH BLOCK
LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED)	3 - 16d	4 - 16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3 - 8d	3 - 10d	PER JOIST
BAND JOIST TO JOIST (END-NAILED) (FIG. 14)	3 - 16d	4 - 16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED) (FIG. 14)	2 - 16d	3 - 16d	PER JOIST
<b>ROOF SHEATHING</b>			
<b>WOOD STRUCTURAL PANELS</b>			
RAFTERS OR TRUSSES SPACED UP TO 16" O.C.	8d	10d	6" EDGE/6" FIELD
RAFTERS OR TRUSSES SPACED OVER 16" O.C.	8d	10d	4" EDGE/4" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS w/o GABLE OVERHANG	8d	10d	6" EDGE/6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS w/ STRUCTURAL OUTLOOKERS	8d	10d	6" EDGE/6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS w/ LOOKOUT BLOCKS	8d	10d	4" EDGE/4" FIELD
<b>CEILING SHEATHING</b>			
GYPSUM WALLBOARD	5d coolers	---	7" EDGE/10" FIELD
<b>WALL SHEATHING</b>			
<b>WOOD STRUCTURAL PANELS</b>			
STUDS SPACED UP TO 24" O.C.	8d	10d	6" EDGE/12" FIELD
1/2" & 5/8" FIBERBOARD PANELS	8d 1	---	3" EDGE/6" FIELD
1/2" GYPSUM WALLBOARD	5d coolers	---	7" EDGE/10" FIELD
<b>FLOOR SHEATHING</b>			
<b>WOOD STRUCTURAL PANELS</b>			
1" OR LESS	8d	10.00	6" EDGE/12" FIELD
GREATER THAN 1"	10d	16.00	6" EDGE/6" FIELD

1 CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED, CHECK IBC FOR ADDITIONAL REQUIREMENTS

NOTE: UNLESS OTHERWISE STATED, SIZES GIVEN FOR NAILS ARE COMMON WIRE SIZES, BOX AND PNEUMATIC NAILS OF EQUIVALENT DIAMETER AND EQUAL OR GREATER LENGTH TO THE SPECIFIED COMMON NAILS MAY BE SUBSTITUTED UNLESS OTHERWISE PROHIBITED

ALL SIMPSON CONNECTIONS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
SIMPSON PROPRIETARY FASTENERS SHALL BE USED WHERE APPLICABLE.

- Structural Notes**
- Framing:
    - All repetitive lumber (non-bearing partitions, floor joists, rafters, ceiling joists, etc.) to be Douglas fir #2 or better (or approved equal) meeting the allowable stress requirements of the "National Design Specification for Wood Construction", as published by the National Forest Products Association. Use the following specifications, unless noted otherwise:
      - All lumber (girders, headers, bearing partitions) to be Douglas Fir #2 or better (or approved equal) and to have a minimum fiber stress of 2,600 psi and a minimum modulus of elasticity of 2,000,000.
      - All microlams to have a minimum fiber stress of 2,900 psi and a modulus of elasticity of 2,000,000.
      - All parallams to have a minimum fiber stress of 2,900 psi and a modulus of elasticity of 2,000,000.
    - Provide double floor joists under all parallel partitions.
    - Provide double ceiling joists at attic access.
  - All engineered lumber shall be as manufactured by Weyerhaeuser or equivalent. Install in strict accordance with all the manufacturer's specifications and installation details. Parallel beams shall be kept dry through the duration of construction.
  - Provide bearing plates and anchor bolts, studs, or wall anchors for all wall bearing beams.
  - All sheathing shall be APA rated CDX grade Douglas Fir plywood or better.
  - Installation and fastening of all wood members shall meet the latest standards of the residential IBC of N.J., the National Design Specification for Wood Construction, the American Plywood Association and the American Institute of Timber Construction. Joist hangers shall be manufactured by Simpson Strong Tie or equal and installed per manufacturer's written specifications.
  - Provide temporary and permanent bracing for framing, including trusses, to hold member securely in position at all times.
  - All built up columns must be nailed in accordance with the National Design Specification for Wood Construction, Section 15.3.3.
  - All fasteners and miscellaneous hardware shall be hot-dipped galvanized, stainless steel, or otherwise approved for use in coastal areas. All nailing sizes, patterns and materials shall be as specified by WFCM Table 2.
  - Headers over all interior doors and trimmed openings shall be minimum (2) 2 x 8 Douglas Fir #2 or better, unless otherwise noted. Headers over all exterior openings and load bearing walls shall be (2) 2 x 10 Douglas Fir #2 or better, unless otherwise noted.
  - Contractor shall ensure continuous load transfer (solid blocking) of all point loads to the building foundation.
  - Contractor shall advise the architect in writing of any unidentified point loads that may require further attention.
  - Provide fireblocking as required per NJIRC section R602.8.
  - All wood in contact with concrete or masonry shall be volmanized or pressure treated.
  - All wood framing must be fastened in accordance with the Fastener Schedule for Structural Members (Table R602.3.1) IRC or AFPA Wood Frame Construction Manual for one and two-family dwellings (WFCM) Nailing Schedule (Table 3.1), whichever is more restrictive.
  - Beams and girders:
    - 4" minimum bearing for built up wood beams on masonry.
    - 4" minimum lap of built up beam layers attached with 10d nails at 32" o.c. staggered top and bottom.
    - See manufacturer's specifications for pre-engineered girders.
  - Floor joists:
    - The ends of each joist shall not have less than 1 1/2" of bearing on wood.
    - Joists framing from opposite sides over a bearing support shall lap a minimum of 3" and fastened together with (3) 10d nails.
    - Double joists under parallel partitions above.
    - Double joists around openings in floor, ceiling and roof.
    - Double joists under bath tubs.
    - Where wood framing members are supported by other wood members at a similar elevation, use metal joist hanger of appropriate sizes.
    - Install 1" x 3" cross bridging in continuous lines perpendicular to floor framing so that no such member has an un-braced top and bottom length in excess of 8' - 10' maximum. For spans less than 16' center bridging.
    - See manufacturer's specifications for details on pre-engineered floor joists.
  - Floor sheathing:
    - Space joints 1/8" unless otherwise noted by manufacturer; space butt joints 1/32".
    - Stagger end joints, one joint spacing minimum.
  - Wall framing:
    - See details for guidance on cutting, notching and drilling wood studs.
    - Provide fire blocking as per International Residential Code, New Jersey edition.
    - Top plates: provide overlapping at corner and intersections with bearing partitions. End joints shall be offset at least 24".
  - Roof and framing:
    - The ends of each joist shall not have less than 1 1/2" if bearing on wood.
    - Ends of ceiling joists shall be lapped a minimum of 3" or butted over bearing partition or beams and fastened together with 3 - 10d nails.
    - See details for guidelines on cutting, notching and drilling ceiling joists and rafters.
    - See manufacturer's specifications and drawings for pre-engineered wood roof trusses.
  - Sheathing: exterior walls
    - Space joints 1/8" unless otherwise noted by manufacturer.
  - Sheathing: roof
    - Space joints 1/8" unless otherwise noted by manufacturer.
    - Stagger end joints; one joint spacing minimum.
- Sheetrock: 1/2" GWB U.N.O on plans. Provide water resistant GWB in Bathrooms and at wet areas. Install per manufacturer's written specifications.
22. Refer to manufacturer's specifications for all exterior and interior wall and roof assemblies

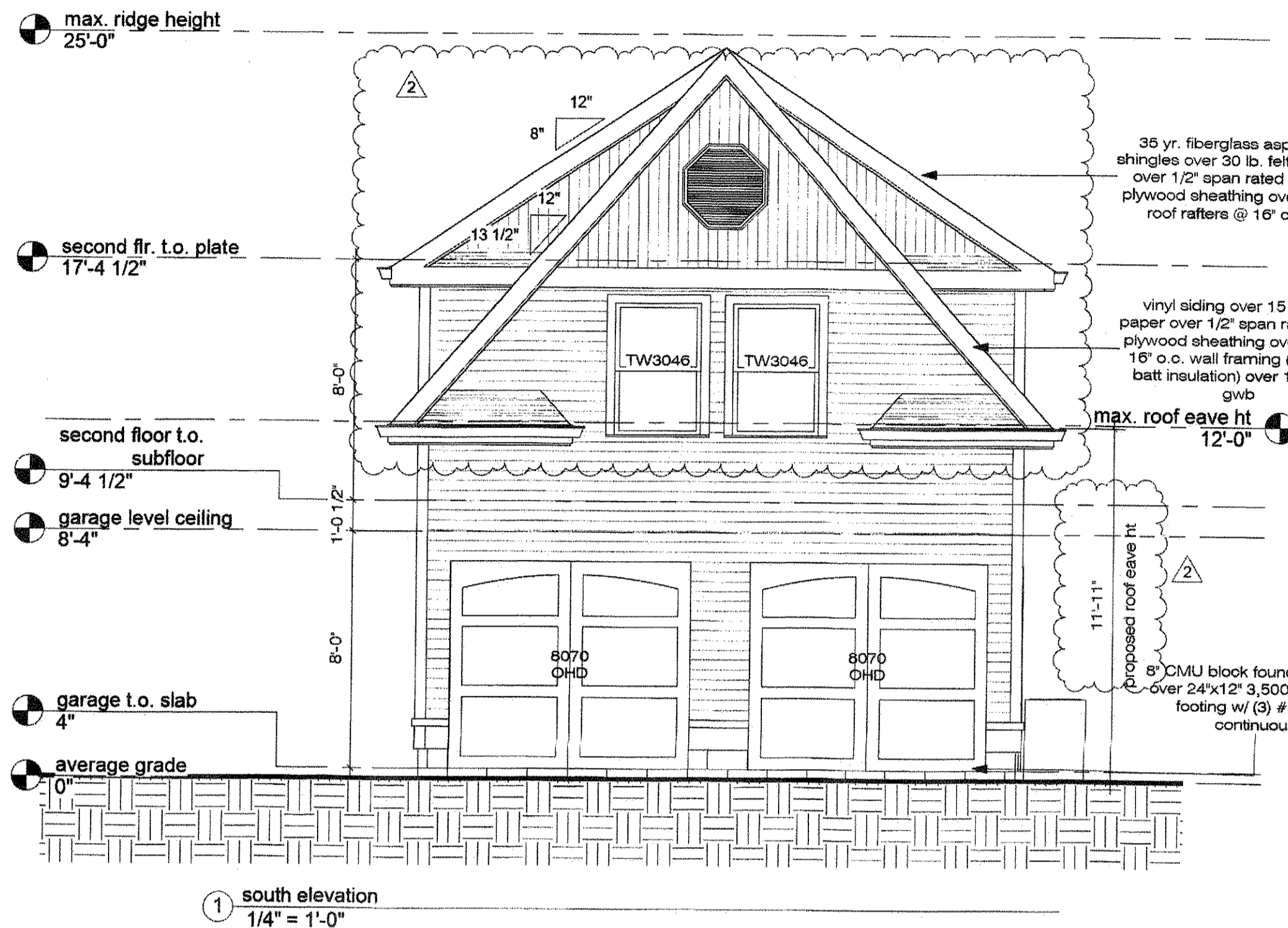
MICHAEL P. CONOSCENTI, AIA  
ARCHITECT  
123 Cliff Avenue  
Bradley Beach NJ  
07720  
NJ LIC # AI00316000

2 car garage & 1 bedroom apartment

306 MONMOUTH AVE  
LOT 14 BLOCK 78  
BOROUGH OF BRADLEY BEACH

second floor and roof plan

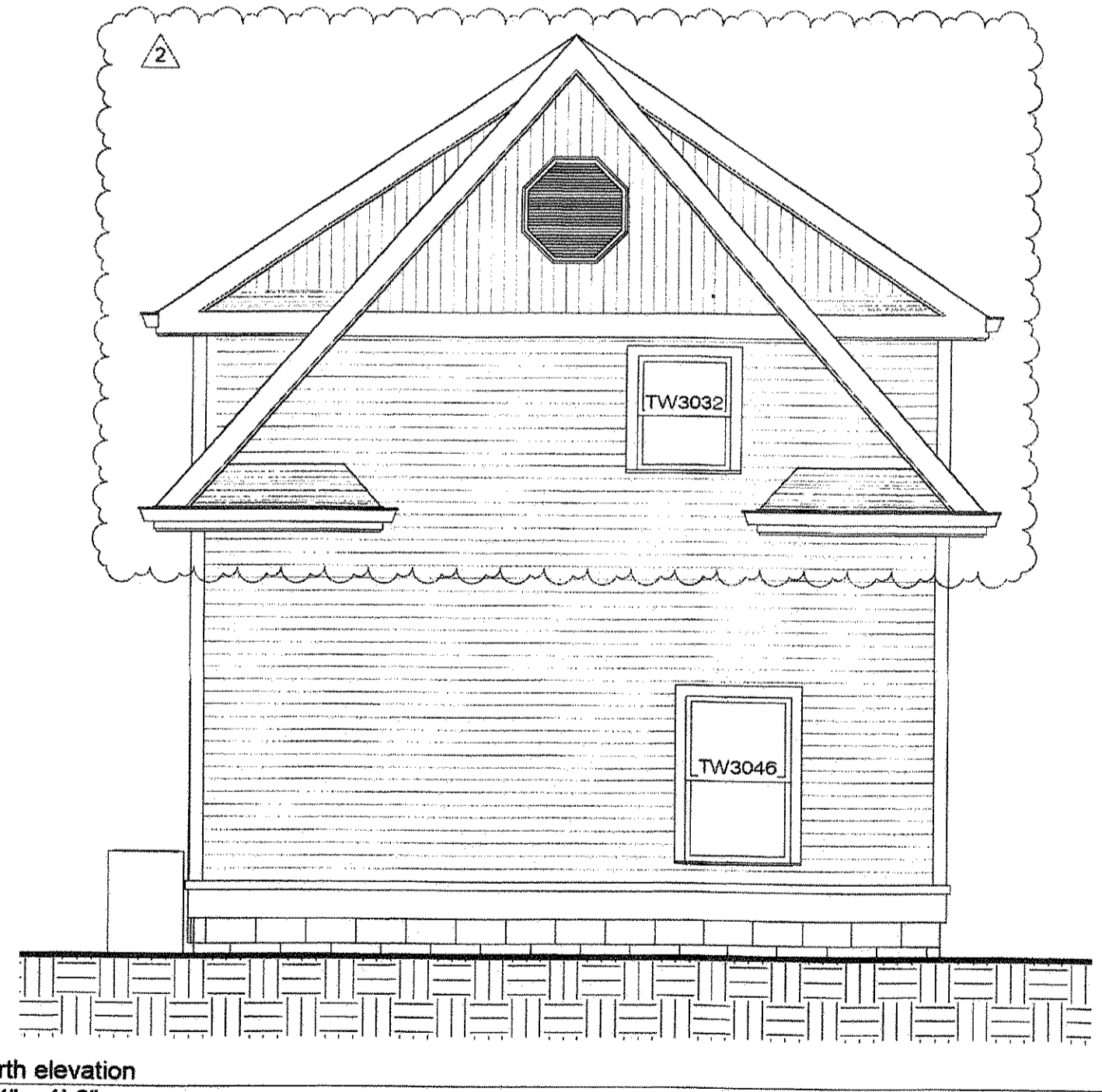
No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018



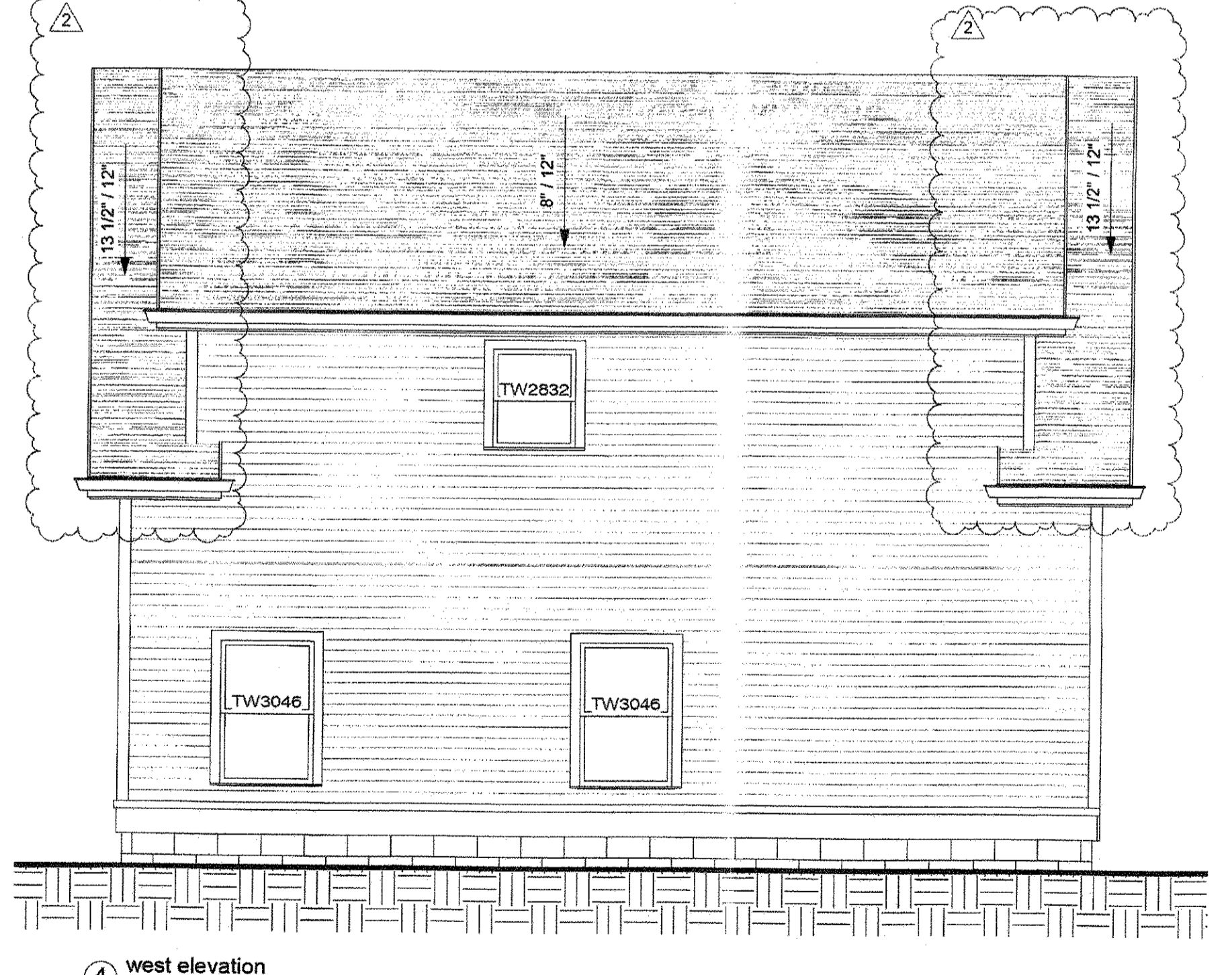
1 south elevation  
1/4" = 1'-0"



2 east elevation  
1/4" = 1'-0"



3 north elevation  
1/4" = 1'-0"



4 west elevation  
1/4" = 1'-0"

**Door & Window Notes**

1. Windows and Doors: All new windows and French Doors shall be Vivinco S series new construction windows. Exterior vinyl color shall be white, interior wood, color as selected by owner and glazing shall be high performance, sun low E. Provide inset screens at all windows and door locations. Finish hardware to be corrosion resistant, style and finish as selected by the owner. Consult manufacturer's specifications for exact rough opening requirements.
2. Prior to ordering and framing, contractor shall verify finishes and hardware. For bidding purposes, assume white exterior, pine interior, standard cam & lock keeper, classic series finger lifts all with satin nickel finish.
3. In conjunction with the Owner or the Owner's Interior Decorator, contractor shall verify finishes and hardware. For bidding purposes, assume white exterior, pine interior, standard cam & lock keeper, classic series finger lifts all with satin nickel finish.
4. Window opening limiting devices shall be installed at windows where the window sill is located greater than 72" above the finish floor below and the sill is located within 24" of the floor the window is on. Window opening limiting devices shall be self-acting and positioned to prohibit the free passage of a 4" diameter rigid sphere. Limiting devices shall be designed with an emergency release mechanism requiring no more than 15 pounds of force, operates in all types of weather, clearly identified and not reduce the minimum net clear opening area of the window unit below minimum code.
5. Tempered Glass: Safety glazing shall be required per NJIRC R308 on all doors and windows located in hazardous locations as defined in NJIRC 308.4.

**General Construction Notes**

1. Contractor is responsible for formulation, documenting, and carrying out soil erosion and sedimentation control plans which shall include providing and maintaining of swales, diversions and filters in the construction area and around the work site to prevent soil erosion and sedimentation problems.
2. Connections - All nailed connections to comply with the Fastener Schedule Table 602.3(1) - 602.3(5) or the Wood Frame Construction Manual Table 2, whichever is more stringent, unless noted otherwise. Sheathing nailing to comply with same schedule and/or manufacturer's recommended specifications and/or the Wood Frame Construction Manual Table 2, whichever is more stringent, unless noted otherwise.
3. Wood Connectors - All wood to wood connectors shall be Simpson Strong Tie Co. Inc. or alternate as approved by architect. All connectors shall be galvanized in contact with pressure treated wood shall be type 316L stainless steel. The substitution of Simpson Zmax galvanized (G135) connectors and fasteners shall only be allowed upon both Simpson's and the local construction code official's approval based on the contractor's submission of the specifications of the pressure treated wood to be used on the project.
4. Wall Bracing - Walls shall be braced in accordance with R602.10. The construction of braced wall panels shall be in accordance with R602.103, method 3.
5. Cutting and Notching: No notching of wood beams, joists, rafters, or studs is allowed unless the cutting or notching complies with the allowed figures R502.8, R602.6(10), & R602.6(2). If TJI floor joists are used, cutting and notching is only allowed per the manufacturer's recommendations. Cutting and notching of engineered lumber is allowed only per the manufacturer's recommendations.
6. Water Resistant Gypsum Wallboard: Provide water resistant gypsum wallboard at walls and ceilings of bathrooms, powder rooms and laundry rooms.
7. Egress: Basements with habitable space and every bedroom shall have at least one openable window or door directly to the exterior approved for emergency egress and rescue as per section R310. The units must be operable from the inside without the use of separate tools.
8. Sill height shall not be more than 44" above the floor, Minimum net clear opening of 5.7 sf., Minimum net clear opening height of 24", Minimum net clear opening width of 20".
9. Fire and Draft Stopping: Fire and draft stop all dropped soffits and ceilings, and any other concealed areas where fire/draft stopping is required by code.
10. Roof Ice Protection: In areas where the average daily temperature in January is 25° F. or less, provide an ice protection in accordance with section R905.2.7.1 or as noted on drawings.
11. Drainage: Slope finish grade adjacent to foundation (all sides of dwelling down and away at 1:12 pitch for a minimum distance of 8'-0" except in well-drained gravel or sand/gravel mixture soils, provide a dedicated foundation drainage system as per code.
12. Roof Shingles: Asphalt/Fiberglass, strip shingles shall have a minimum of (6) fasteners per shingle.
13. Bonding of Footings: The footings shall be bonded in accordance with NEC 250-50 C requiring the electrode system in new construction be grounded/bonded to the footing system.
14. Stairways, Landings & Handrails shall conform to NJIRC section R311
15. Guards at porches, decks, balconies, etc., shall conform to NJIRC section R312.
16. Provide "graspable" handrails at all stairs with three or more risers. Handrails shall be 36" high, measured vertically above the stair nosing. Clear space between handrails and walls (or other railings) shall be 1 1/2" minimum. Handrails shall have a circular cross section with an outside diameter of 1 1/2" minimum and 2" maximum, or shall provide equivalent graspability (perimeter dimension of 4" minimum and 6 1/2" maximum with largest cross section of 2 1/4" maximum). Handrails shall not rotate in their fittings.

**General Notes**

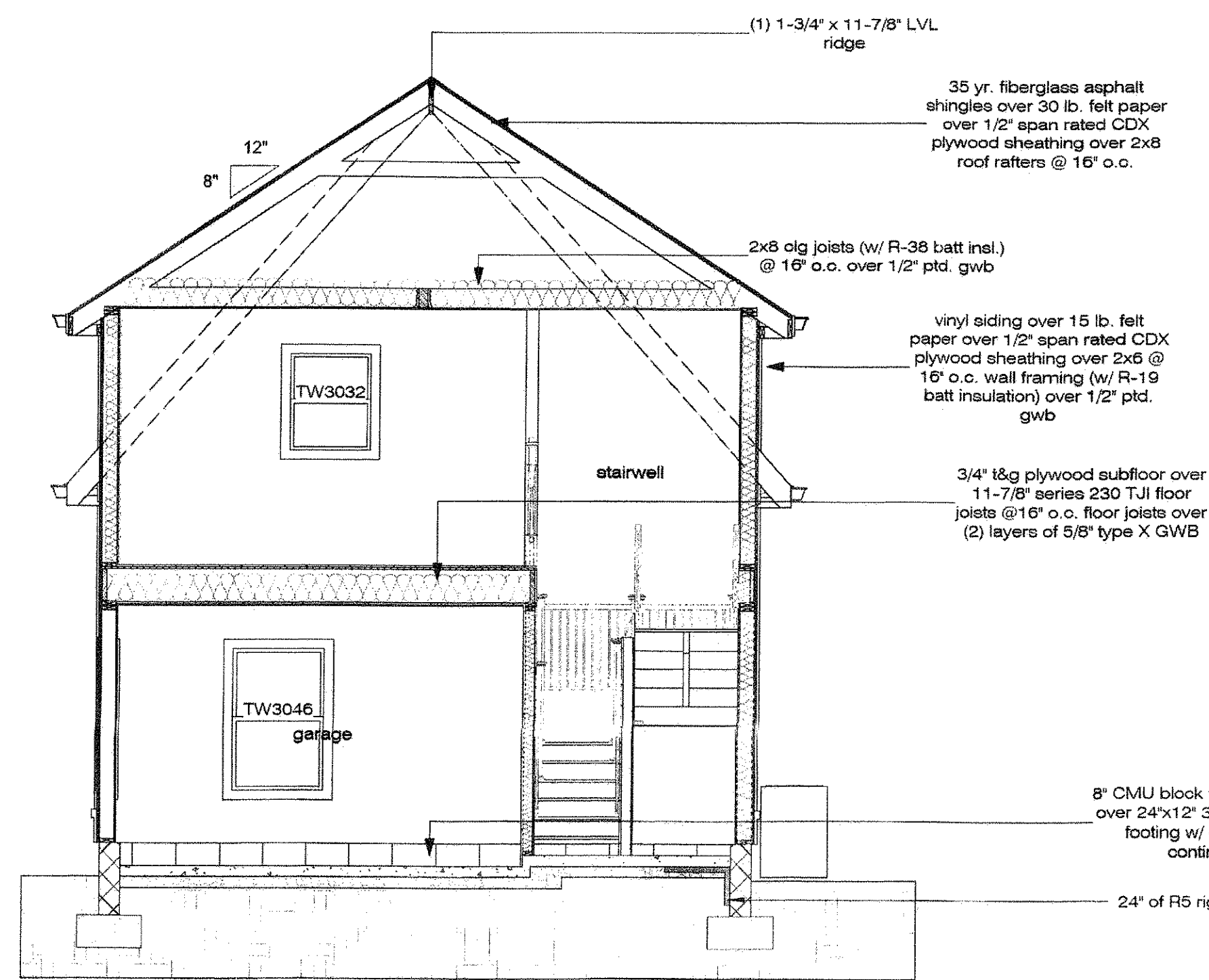
1. Copyright 2018 Creative Minds Group Architecture, LLC, all rights reserved. The copying or reuse of these documents, or portions thereof, for other than the original project or purpose originally intended, without written permission of Creative Minds Group Architecture, LLC is strictly prohibited.
2. These plans are property of the Architect and may not be copied, re-used or altered without his approval. In all cases, these original prints shall remain in the Architect's possession. Duplicates will be issued only with the written permission of the Architect.
3. Perform all work in conformance with the latest adopted editions of the New Jersey Uniform Construction and local codes and agencies having jurisdiction.
4. Building to be built in accordance with all applicable codes as noted on Cover Sheet
5. Design Loads: As noted on cover sheet
6. The contractor shall insure that construction complies with national, state and local statutes, ordinances and regulations.
7. All layout dimensions as indicated may be adjusted where required. Rough openings required by specific building components shall take precedence for proper fit of finished component.
8. Guarantee all material, work or equipment altered or furnished under this contract, for a period of one year from date of final acceptance of the installations.
9. Be responsible for coordinating all work included in the entire project.
10. Ensure that all items of construction shall be installed per the Manufacturer's written specifications.
11. Coordinate with the Owner the removal/location of existing plantings, to gain access to the structure where necessary, before work begins. Restore all existing exterior conditions of the structure, including all landscaped and grassed areas, to pre-construction conditions, unless otherwise noted.
12. Ensure all construction equipment and materials be stored so as to not endanger inhabitants, the public, the workers, or adjoining property for the duration of the construction project.
13. Contractor shall provide all shoring, bracing, barricades, temporary fences, partitions and excavation, etc. to accomplish all of the work in an appropriate manner.
14. Contractor shall verify the exact location of all underground utilities and notify the respective utility companies before starting construction or demolition. This notice applies to all information shown on these plans or any associate plans for this project, including plans prepared by others such as utility company plans or engineering plans. The Architect assumes no liability for the contractor's failure to verify any underground locations prior to beginning excavation work or damages done to any underground utility or the contractor's labor, materials or equipment due to failure to verify locations of any utilities.
15. No changes to the plans are permitted. The architect shall not be responsible for any departure from these drawings at any time during construction.
16. This foundation design is based on assumed soils: Group 1 - GW, GP, SW and/or SP only (good drainage characteristics, low frost heave potential & low volume change potential expansion). The minimum acceptable soil bearing capacity is 3,000 psf. It is the responsibility of the owner/builder to make subsurface investigation such as borings, and consult with a soils engineer, if necessary, to establish that the soil bearing capacity is adequate. If it is less than 3,000 psf, notify architect prior to commencement of work. Specific soil conditions at variance with this requirement shall be brought to the attention of the Architect by the contractor. If no soil testing or site studies are performed by the Architect or are not provided for his use, responsibility for site problems such as surface water, sub-surface water, rock, poor soil conditions, backfill material, etc., and construction modifications to accommodate related problems shall be the responsibility of others.
17. Backfill, where applicable, shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above, or has been sufficiently braced to prevent damage by the backfill.
18. The builder shall be responsible for the correct siting of the structure on the property and for confirmation of all requirements for siting.
19. The insulation proposed for this single family residence meets the requirements of the New Jersey model energy code. A ResCheck compliance certificate shall be submitted in conjunction with the construction documents.
20. Upon completion of work, submit to the Owner a manual of all necessary warranties, instructions, maintenance manuals, instructions for care and maintenance of surfaces and equipment. Contents shall include manufacturer's and installers names, addresses and phone numbers and instructions for startup, operation, maintenance, parts lists and data sheets. The contractor shall furnish all literature of the manufacturer, relating to the equipment, including motors or other manufacturers' equipment. Also cuts, wiring diagrams, instructions, and all other information that would be useful to the Owner for the operation and maintenance of the same.
21. File for, obtain and forward to the Owner the C.O. (Certificate of Occupancy), and all other permits and certificates of inspection at completion of the project.

MICHAEL P. CONOSCENTI, AIA  
 ARCHITECT  
 123 Cliff Avenue  
 Bradley Beach NJ  
 07720  
 NJ LIC # AI00316000

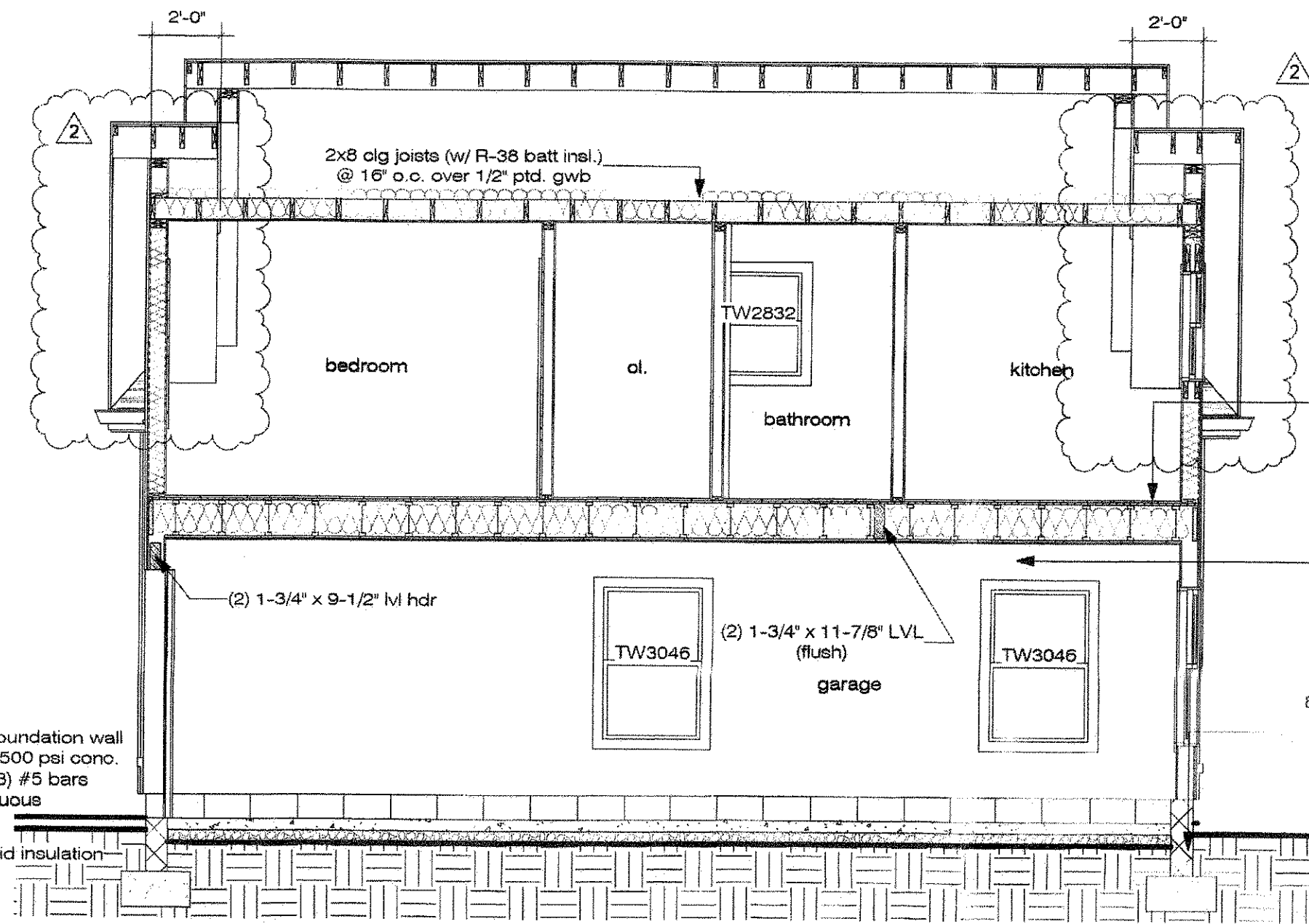
2 car garage & 1 bedroom apartment  
 306 MONMOUTH AVE  
 LOT 14 BLOCK 78  
 BOROUGH OF BRADLEY BEACH  
 exterior elevations

PROJECT # 218028

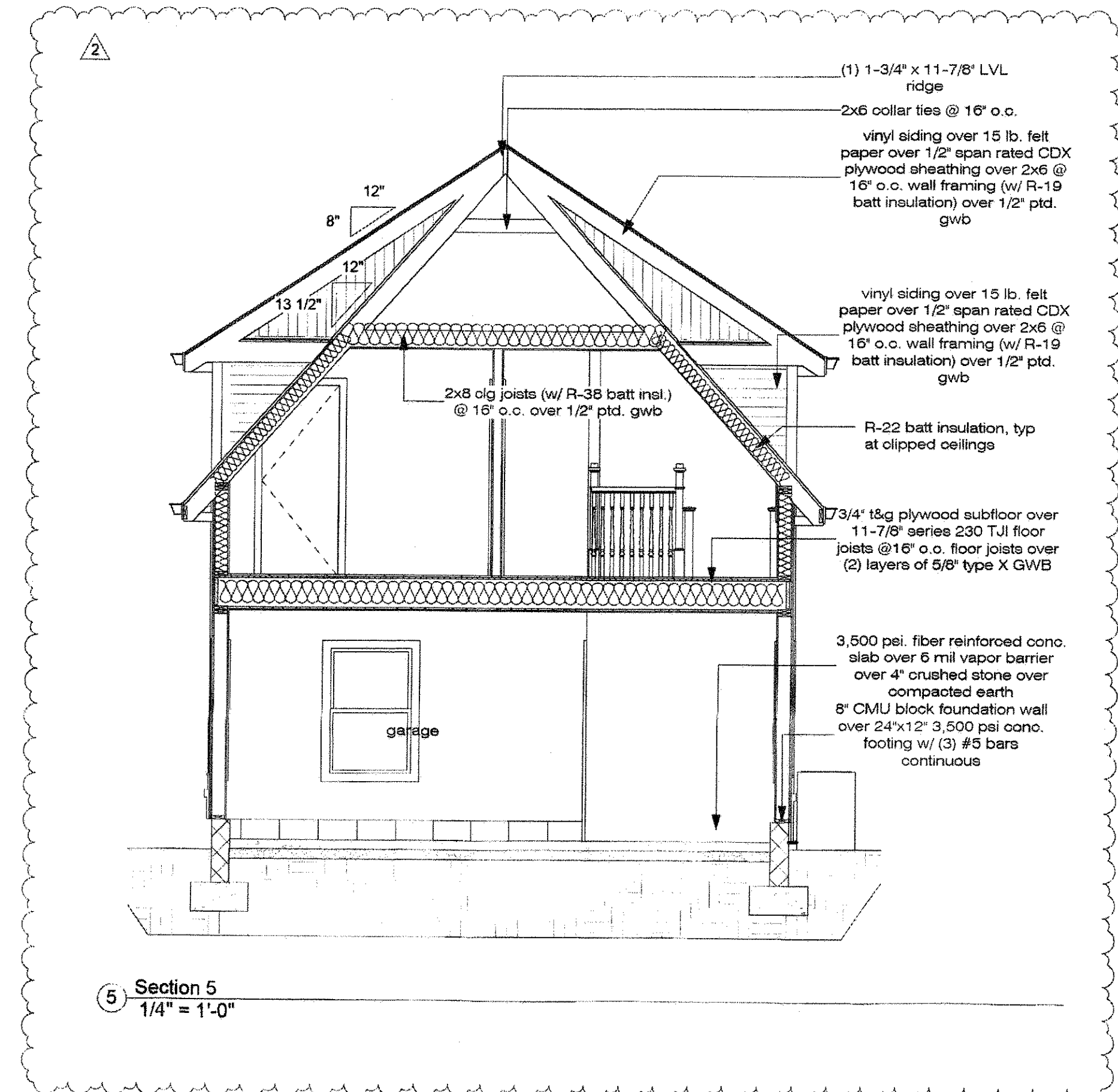
No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018



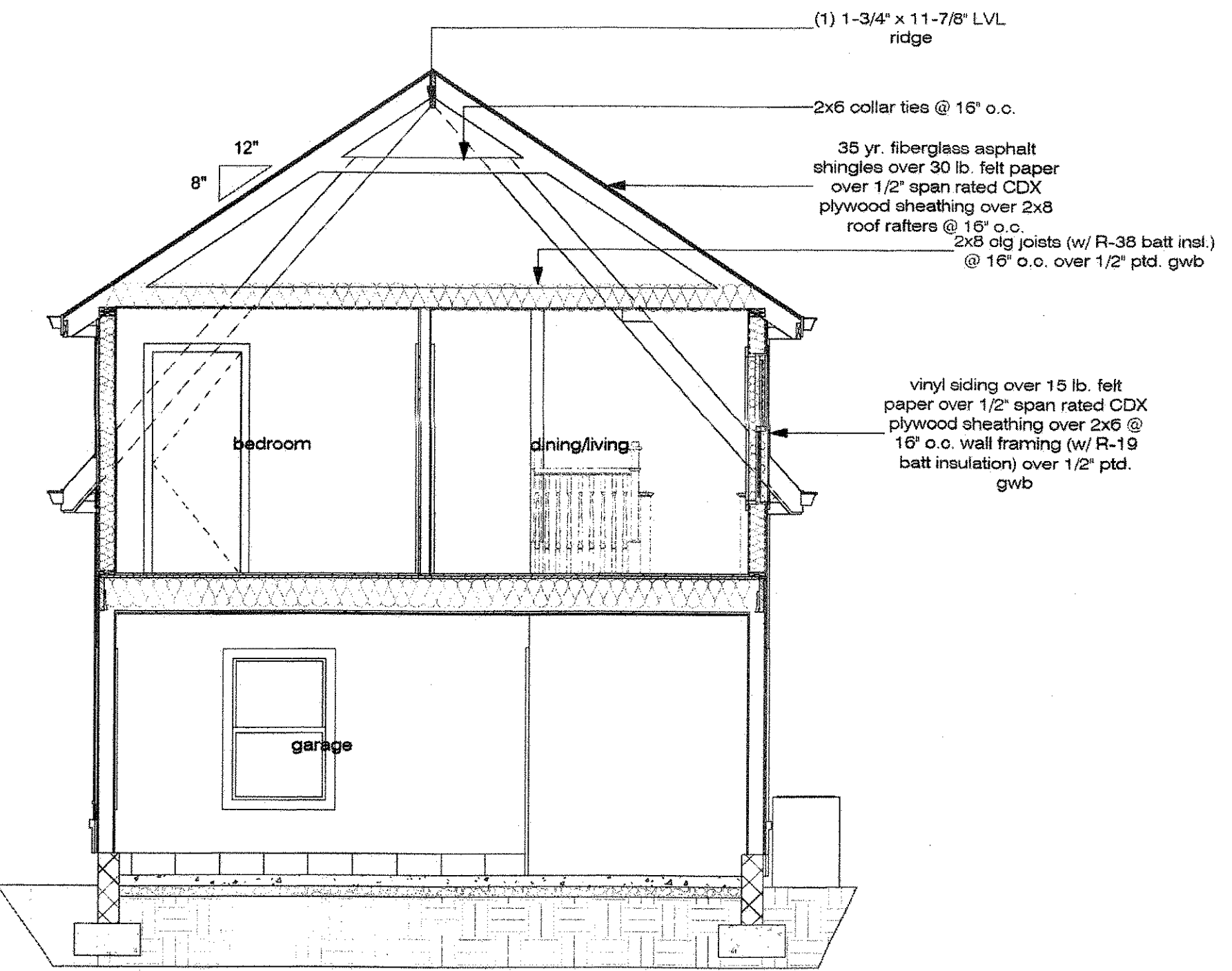
1 Section 1  
1/4" = 1'-0"



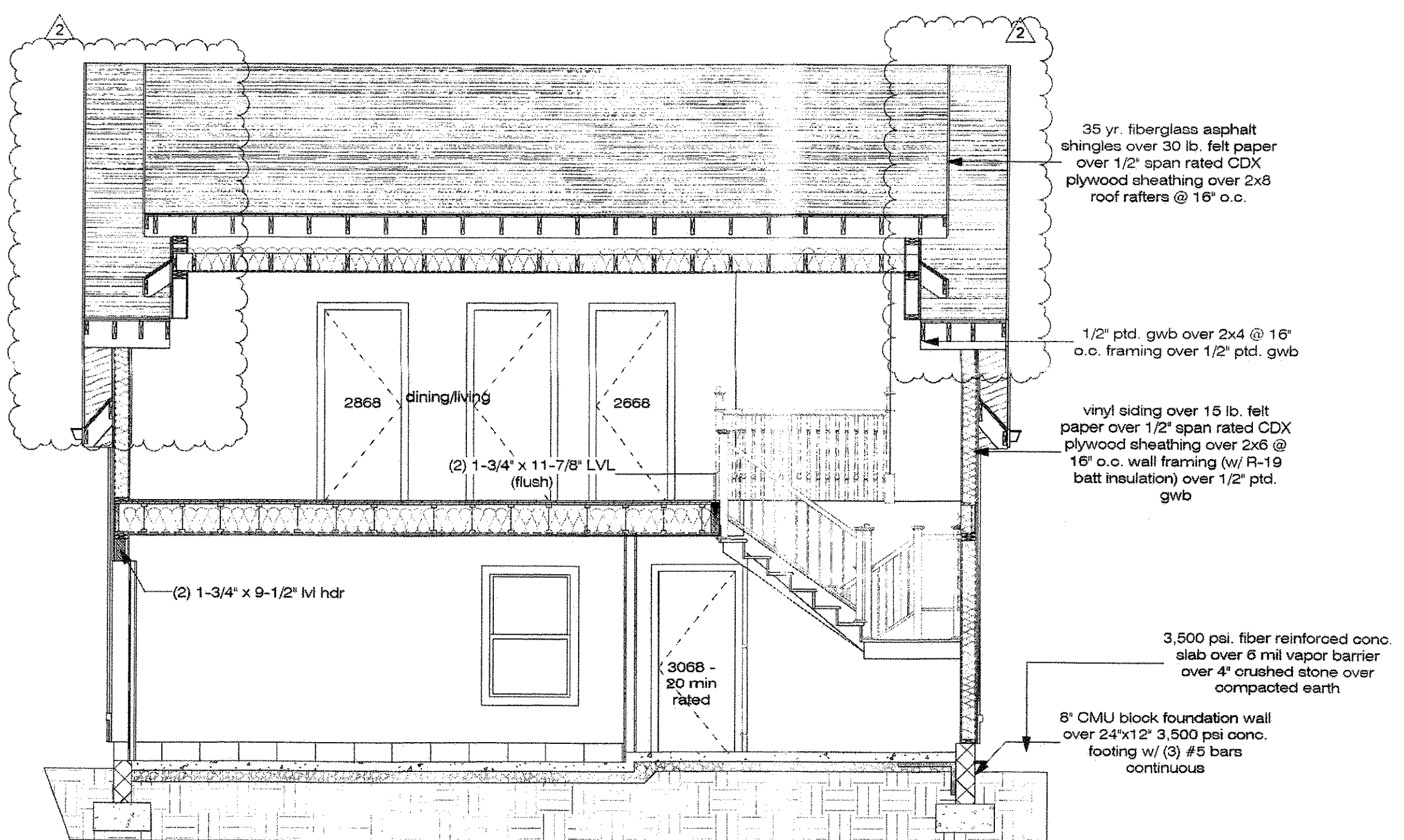
2 Section 2  
1/4" = 1'-0"



5 Section 5  
1/4" = 1'-0"



3 Section 4  
1/4" = 1'-0"



4 Section 3  
1/4" = 1'-0"

**REScheck Software Version 4.6.3**  
**Compliance Certificate**

Project: 2015 IECC, Bradley Beach, New Jersey, Single-Family, New Construction, Conditioned Floor Area: 0 ft<sup>2</sup>, Glazing Area: 12%, Climate Zone: 4 (5253 HDD), Permit Date: , Construction Site: , Owner/Agent: , Designer/Contractor:

Compliance: 0.0% Better Than Code, Maximum U-F: 0.24, Your U-F: 0.24, Maximum SHGC: 0.40, Your SHGC: 0.27

**Envelope Assemblies**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	U-Factor
Ceiling 2: Flat Ceiling or Scissor Truss	800	38.0	0.0	0.030	18
Wall 1: Wood Frame, 16" o.c.	437	19.0	0.0	0.060	26
Wall 2: Wood Frame, 16" o.c.	800	19.0	0.0	0.060	40
Window: TW3046: Vinyl/Fiberglass Frame, Double Pane with Low-E SHGC: 0.33	54			0.300	16
Window: TW2832: Vinyl/Fiberglass Frame, Double Pane with Low-E SHGC: 0.31	8			0.300	3
Window: TW3032: Vinyl/Fiberglass Frame, Double Pane with Low-E SHGC: 0.31	10			0.300	3
Door: 3068: Glass SHGC: 0.22	20			0.320	6
Door: 6088: Glass SHGC: 0.22	40			0.320	13
Floor 1: All-Wood Joist/Truss, Over Unconditioned Space	453	22.0	0.0	0.042	19
Floor 2: Unheated Sub-Grade	147		5.0	0.004	118

Project Title: , Report date: 06/15/18, Date Filename: C:\Users\gonie\Dropbox\2018\18-025 - Cotler Garage\306 Monmouth Ave ResCheck.rck Page 1 of 2

MICHAEL P. CONOSCENTI, AIA  
ARCHITECT  
123 Cliff Avenue  
Bradley Beach NJ  
07720  
NJ LIC # AI00316000

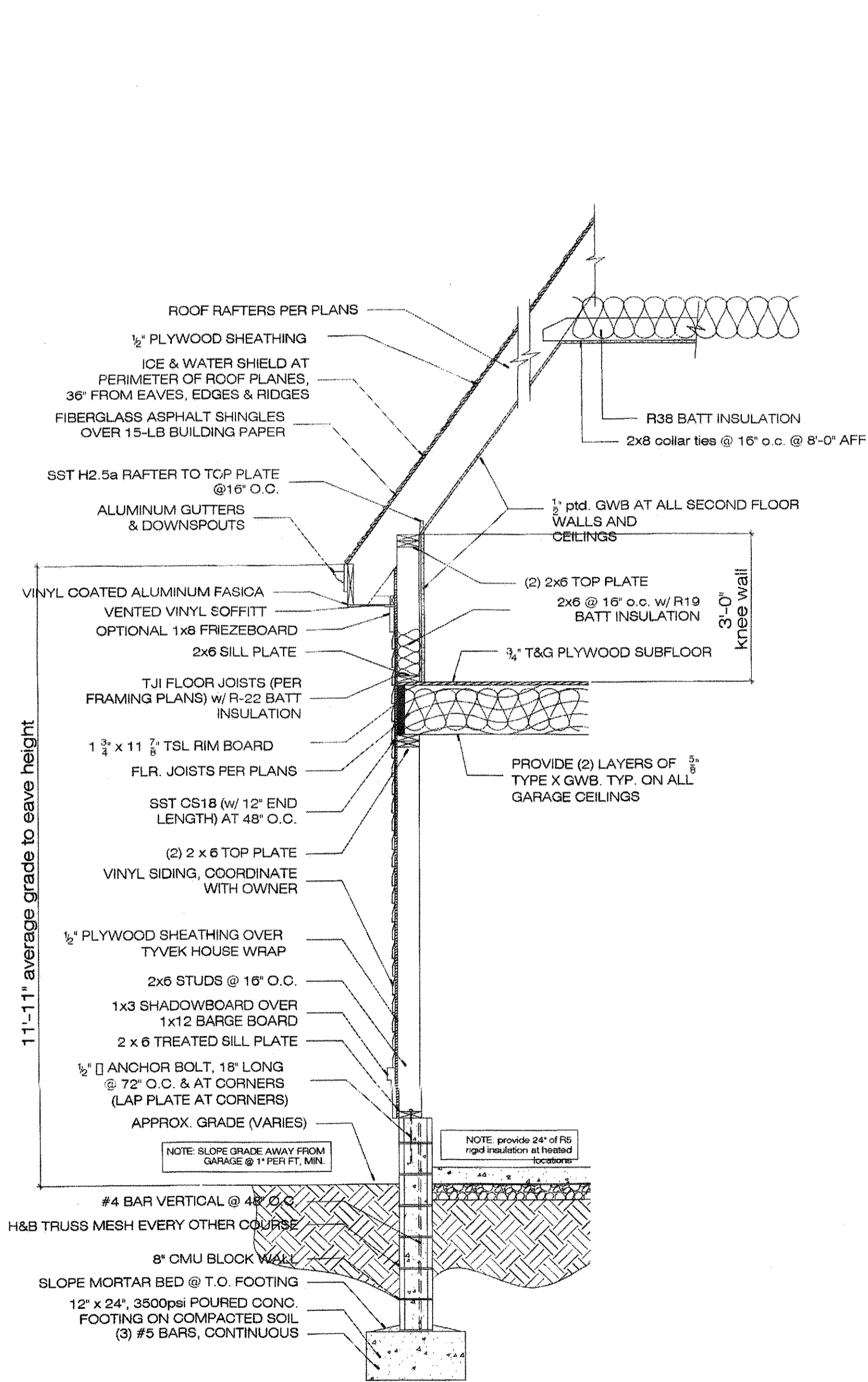
1 car garage & 1 bedroom apartment  
306 MONMOUTH AVE  
LOT 14 BLOCK 78  
BOROUGH OF BRADLEY BEACH

building sections

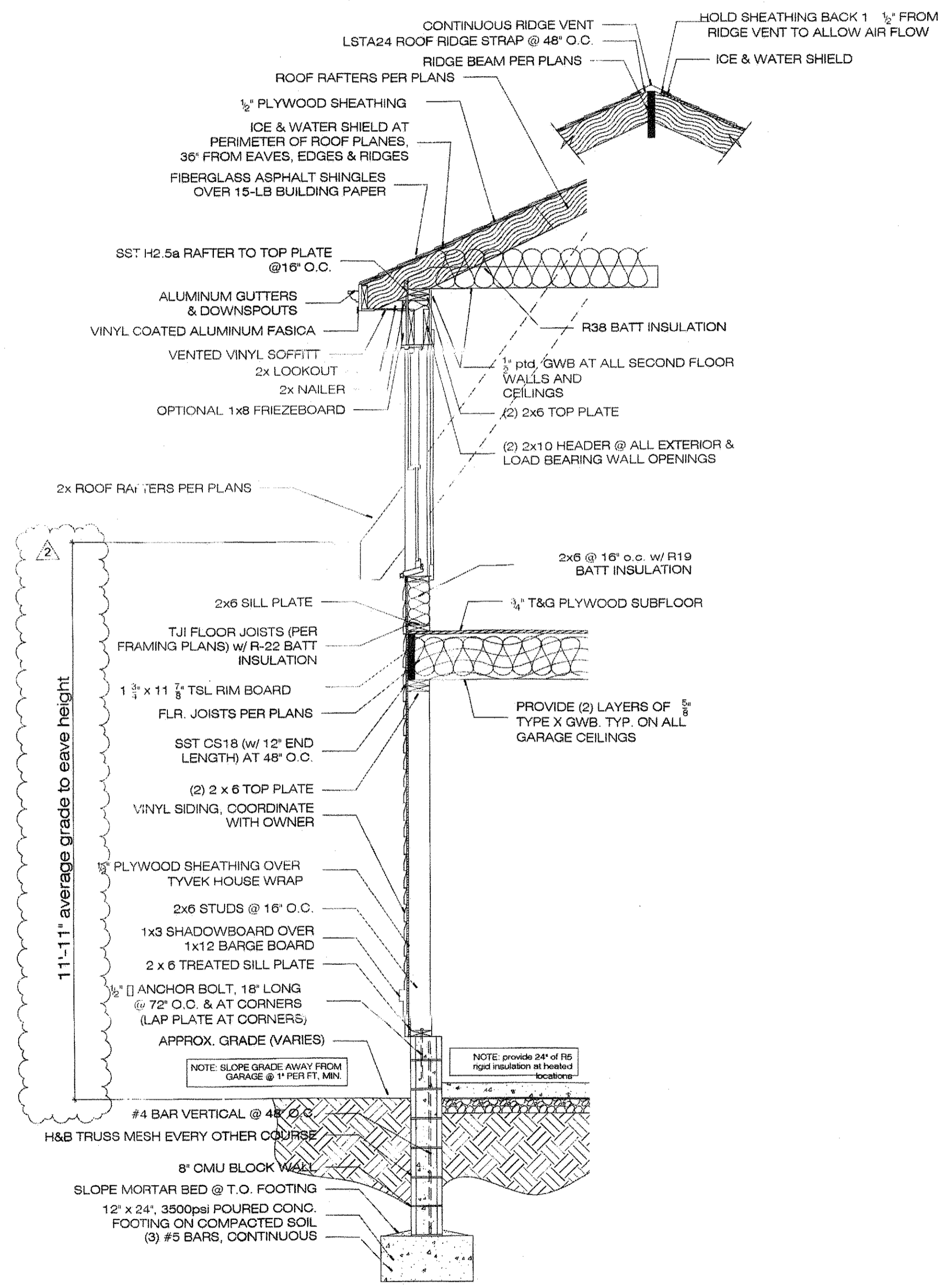
PROJECT # 218028

No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018

2



1 typical wall section  
 1/2" = 1'-0"



2 typical wall section @ dormer  
 1/2" = 1'-0"

MICHAEL P. CONOSCENTI, AIA  
 ARCHITECT  
 123 Cliff Avenue  
 Bradley Beach NJ  
 07720  
 NJ LIC # AI00316000

2 car garage & 1 bedroom apartment  
 306 MONMOUTH AVE  
 LOT 14 BLOCK 78  
 BOROUGH OF BRADLEY BEACH  
 typ. wall sections

PROJECT # 218028

No.	Description	Date
1	Revision 1 - revisions per zoning office	09-03-2018
2	Revision 2 - revising roof/dormer	09-09-2018

A5

C:\Users\gortel\Dropbox\2018\18-028 - Coller Garage\REV\20180908 - 306 Monmouth garage - revision 2.rvt