

**ZONING BOARD OF ADJUSTMENT NOTES:**

- 1- APPLICANT & OWNER IS:  
ANN MARIE KUDER  
7 LONG VALLEY DRIVE  
NANUET, NY 10954
- 2-AGENT FOR OWNER IS:  
JEFFREY LANGSAM  
JEFFREY LANGSAM ARCHITECT PA  
475 S. JEFFERSON STREET  
SUITE 205  
ORANGE, NJ 07050
- 3- THE CURRENT USE IS A TWO STORY SINGLE FAMILY HOUSE WITH AN EXISTING DETACHED ACCESSORY GARAGE.
- 4- PROPOSED CHANGE IS TO BUILD A ONE STORY STUDIO APARTMENT ADDITION ABOVE THE EXISTING DETACHED GARAGE. NO CHANGE TO THE EXISTING FOOTPRINT OF THE GARAGE.
- 5- JEFFREY LANGSAM, A REGISTERED ARCHITECT IN THE STATE OF NEW JERSEY PREPARED THESE DRAWINGS.
- 6- JEFFREY LANGSAM'S ARCHITECTURAL LICENSE # 13036

**GENERAL/APPLICANT NOTES**

- 1- THE EXISTING CURB AND SIDEWALK ALONG THE FRONTAGE WILL BE REPLACED IF FOUND IN POOR CONDITION.
- 2- ALL PROPERTY TAXES AND SEWER UTILITY CHARGES ARE PAID TO DATE AS PER THE NOVEMBER 19, 2019 CERTIFICATION OF PAYMENT FOR MUNICIPAL PROPERTY TAXES, SEWER UTILITY CHARGES AND SPECIAL ASSESSMENT'S LETTER RECEIVED BY THE APPLICANT.
- 3- THE APPLICANT SHALL SECURE ANY AND ALL CONSTRUCTION PERMITS NEEDED FOR THE PROJECT.

**CODE CONFORMANCE**

THIS PROJECT SHALL MEET ALL OF THE CURRENT CODE REQUIREMENTS AS SET FORTH IN THE:  
-NJ UNIFORM CONSTRUCTION CODE (NJAC 5:23) 2019.  
-NJAC 5:23-6 REHABILITATION SUBCODE 2019.  
-INTERNATIONAL RESIDENTIAL CODE NJ EDITION 2018.

**SCOPE OF WORK**

- 1- BUILD A SECOND FLOOR STUDIO APARTMENT ABOVE AN EXISTING ACCESSORY FREESTANDING GARAGE.
- 2- REMOVE EXISTING SLOPED ROOF, SIDING & FRAMING ABOVE THE EXISTING TOP PLATE ALL AROUND
- 3- INSTALL A NEW CONCRETE FOUNDATION BELOW THE EXISTING WOOD FRAMED WALLS.
- 4- PROVIDE NEW SILL PLATES ON TOP OF THE FOUNDATION. MODIFY EXISTING FRAMING AS REQ'D.
- 5- FRAME WALLS AS REQUIRED FOR THE NEW 2ND FLOOR AND ROOF. INSTALL ASPHALT SHINGLE ROOF TO MATCH EXISTING HOUSE.
- 6- INSTALL NEW SIDING TO MATCH EXISTING ON HOUSE.
- 7- PROVIDE NEW INTERIOR STAIR TO SECOND FLOOR.
- 8- EXISTING GARAGE DOOR AND DOOR TO GARAGE SHALL REMAIN.
- 9- INSTALL THREE NEW WINDOWS.
- 10- STUDIO APARTMENT SHALL HAVE A BATHROOM AND KITCHEN AREA.

**DRAWING LIST:**

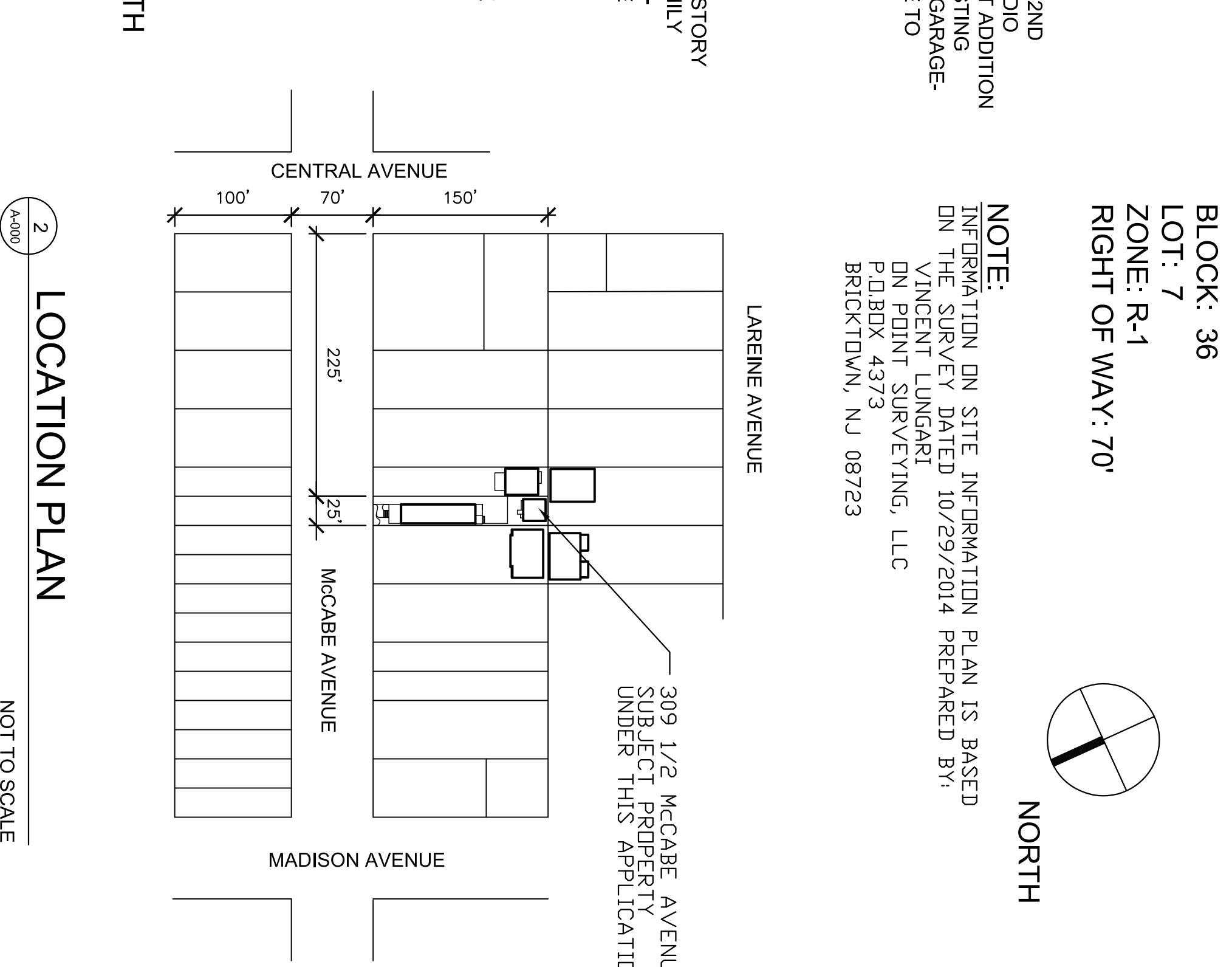
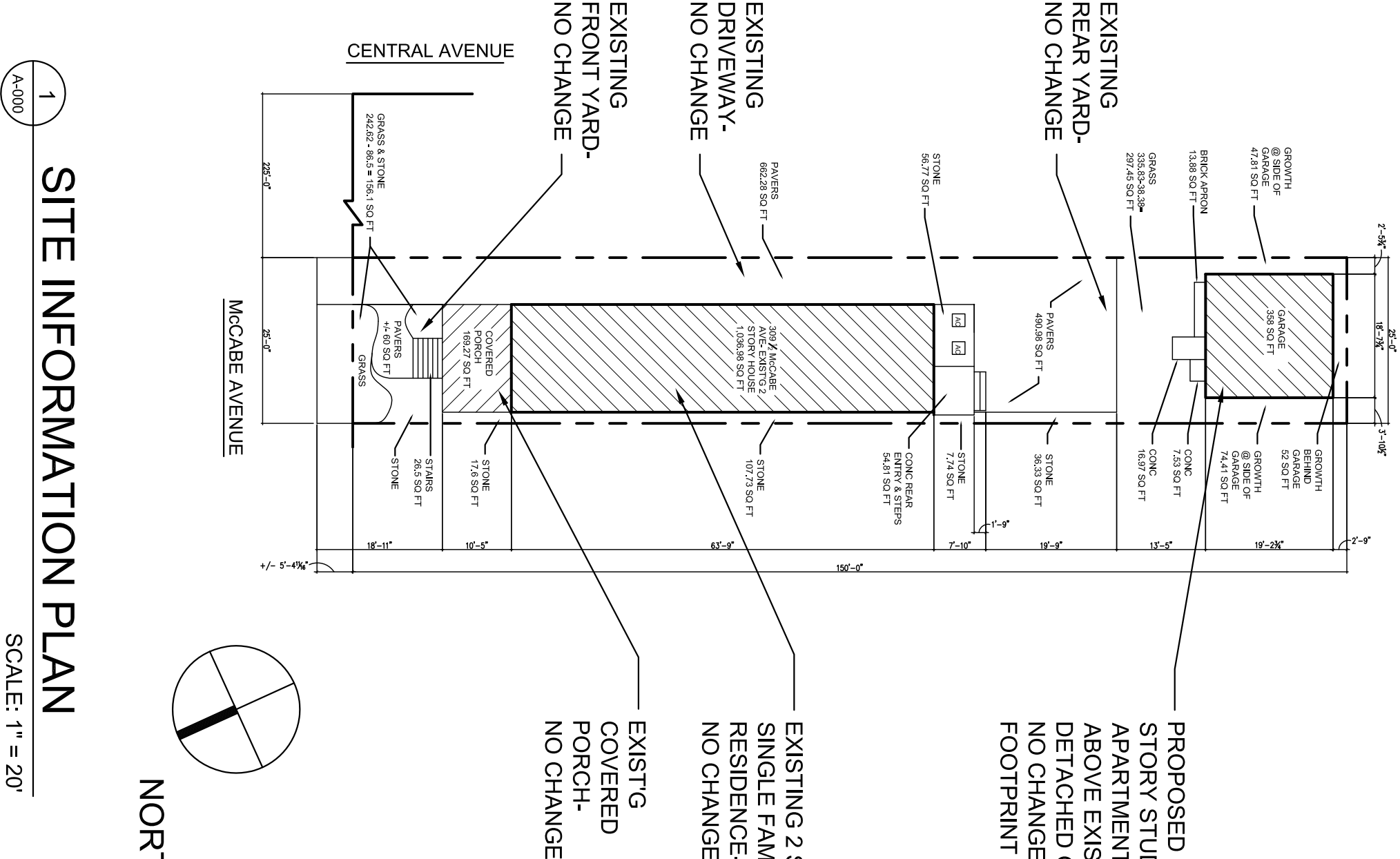
- A-000.00- NOTE SHEET, SITE INFORMATION PLAN & LOCATION PLAN
- A-001.00- PHOTOS & PHOTO LOCATION PLAN
- A-002.00- ELEVATION OF ACCESSORY STRUCTURES
- A-100.00- EXISTING & PROPOSED FLOOR PLANS & ELEVATIONS
- A-200.00- EAST-WEST SECTION & FOUNDATION WALL DETAILS

**GENERAL NOTES**

- 1- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING ANY WORK. ALL PERMITS SHALL BE CONSPICUOUSLY DISPLAYED AT THE SITE IN A LOCATION OPEN TO PUBLIC INSPECTION THROUGHOUT THE DURATION OF THE WORK.
- 2- THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL OBTAIN THE LATEST COPIES OF THE APPROVED PLANS AND SURVEYS AND THEY SHALL FAMILIARIZE THEMSELVES THOROUGHLY WITH THESE PLANS BEFORE COMMENCING ANY WORK. THESE PLANS SHALL BE KEPT ON SITE DURING CONSTRUCTION.
- 3- THE DRAWINGS SHALL NOT BE SCALED. PLAN DIMENSIONS SUBJECT TO FIELD VERIFICATION AND COORDINATION SHALL BE USED.
- 4- THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AFFIDAVITS, INSPECTIONS & ARCHITECT ALL NECESSARY AFFIDAVITS, INSPECTIONS, CERTIFICATES, ETC. OF MATERIALS AND INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT AND HERINAFTER MORE SPECIFICALLY REFERRED TO.
- 5- ALL WORKING CONDITIONS FOUND THEREIN AND ALL REQUIREMENTS MADE NECESSARY BY THE SITE, BUILDING OR OTHER RELATED CONDITIONS.
- 6- THE CONTRACTOR SHALL TAKE AND VERIFY ALL MEASUREMENTS AND NOTE ALL CONDITIONS OF THE JOB, AS HE WILL BE HELD RESPONSIBLE FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK UNDER THIS CONTRACT. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING.
- 7- THE CONTRACTOR SHALL DETERMINE WITH THE BUILDING'S OWNER AND ARCHITECT AT WHAT TIMES HE MAY WORK AT THE JOB SITE.
- 8- THE CONTRACTOR SHALL PROTECT ALL PORTIONS OF THE BUILDING OR PROPERTY THAT IS AFFECTED BY THIS WORK OR THROUGH WHICH MATERIALS ARE BROUGHT. HE SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL DAMAGED AREAS TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT AS PART OF THE WORK OF THIS CONTRACT.
- 9- THE CONTRACTOR SHALL PROTECT ALL PORTIONS OF THE ADJACENT PROPERTIES AND BUILDINGS ON SUCH PROPERTIES. HE SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL DAMAGED AREAS TO THE SATISFACTION OF THE NEIGHBORING OWNER, DWNER AND THE ARCHITECT.
- 10- WHERE EXISTING SURFACES MUST BE CUT TO PERMIT INSTALLATION OF WORK, THE CUTTING SHALL, WHEREVER CONDITIONS ALLOW, HAVE STRAIGHT LINES WITH REASONABLY EVEN EDGES. ALL CUTTING SHALL BE CAREFULLY DONE SO THAT ADJACENT SURFACES WILL NOT BE DAMAGED OR DISTURBED.
- 11- PATCHING OF ALL CUT AND DAMAGED SURFACES SHALL BE MADE TO MATCH EXISTING ADJACENT SURFACES.
- 12- THIS CONTRACTOR SHALL HAVE HIS WORK ACCEPTED BY ALL THE INSPECTORS HAVING JURISDICTION.
- 13- THE CONTRACTOR SHALL PROPERLY SHORE AND MAKE SAFE ALL FLOORS, WALLS, AND ALL RELATED AREAS AS REQUIRED.
- 14- THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO REMOVE, TREAT OR OTHERWISE DEAL WITH ANY LEAD-BASED PAINT HAZARD IN ACCORDANCE WITH APPLICABLE LAW, INCLUDING, WITHOUT LIMITATION, THE EPA'S LEAD-BASED PAINT REGULATIONS AS APPLICABLE TO RESIDENTIAL PROPERTY (40 CFR PART 745. SUBPART E) AND THE RULES AND REGULATIONS THEREUNDER, AS THEY APPLY TO LEAD-BASED PAINT AND TO RENOVATIONS. IN ADDITION, THE CONTRACTOR SHALL COMPLY WITH ALL OTHER FEDERAL, STATE, AND LOCAL LAW, RULES AND REGULATIONS PERTAINING TO LEAD-BASED PAINT, AS THE SAME HAVE BEEN OR MAY BE PROMULGATED, SUPPLEMENTED OR AMENDED FROM TIME TO TIME PRIOR TO AND DURING THE WORK, INCLUDING THOSE REQUIREMENTS THAT RELATE TO REQUIRED NOTIFICATION OF NEIGHBORS OF THE BUILDING.
- 15- THE CONTRACTOR SHALL COMPLY WITH THE EPA HANDBOOK ENTITLED "SMALL ENTITY COMPLIANCE GUIDE TO RENOVATE RIGHT EPA'S LEAD-BASED PAINT, RENOVATION, REPAIR AND PAINTING PROGRAM (EPA-740F-08-003), AND OTHERWISE USE SAFE WORK PRACTICES AND PRECAUTIONS.
- 16- NO MORE THAN 60 DAYS PRIOR TO COMMENCEMENT OF RENOVATION ACTIVITIES, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE EPA PAMPHLET ENTITLED "RENOVATE RIGHT: IMPRtant LEAD HAZARD INFORMATION FOR FAMILIES, CHILD CARE PROVIDERS AND SCHOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DWNER'S WRITTEN ACKNOWLEDGEMENT OR RECEIPT OF THE PAMPHLET. THE CONTRACTOR SHALL PERFORM SPECIALIZED CLEANING OF THE WORK AREA USING METHODS IN COMPLIANCE WITH THE EPA'S LEAD-BASED PAINT REGULATIONS AS APPLICABLE TO RESIDENTIAL PROPERTY DESIGNED SAFELY TO REMOVE DUST AND DEBRIS THAT MAY CONTAIN LEAD.
- 18- CONTRACTOR SHALL SUBMIT COPIES OF HIS LIABILITY AND WORKMEN'S COMP INSURANCE TO THE OWNER PRIOR TO STARTING CONSTRUCTION.
- 19- A CHANGE ORDER IS ISSUED IN WRITING & THE COST & PAINTIFICATIONS OF THE CHANGE, IF ANY, IS APPROVED IN WRITING BY THE DWNER & ARCHITECT IN ADVANCE. THE CONTR MUST SUBMIT WRITTEN CHANGE ORDERS.

**ZONING TABLE & NOTES:** THE EXISTING GARAGE IS NON-COMFORMING DUE TO SIDE AND REAR YARD REQUIREMENTS. SEE BELOW

DESCRIPTION	EXISTING	PROPOSED	ALLOWABLE	CODE SECTION	CONFORMANCE
A GARAGE APARTMENT IS A PERMITTED ACCESSORY USE				450-26-B-(1)	YES
GARAGE AREA	368 SQ FT	N/A	800 SQ FT	450-26-B-(1)(1)a	YES
PROPOSED APARTMENT	N/A	368 SQ FT	600 SQ FT	450-26-B-(1)(1)b	YES
HEIGHT OF STRUCTURE	12'-6"	23'-0"	25'-0"	450-26-B-(1)(1)f	YES
HEIGHT OF EAVES	8'-0"	15'-0"	12'-0"	450-26-B-(1)(1)g	VARIANCE REQUIRED
INTERIOR PARKING SPACES	1	N/A	2 REQUIRED	450-26-B-(1)(1)h	EXISTING NON-COMFORMING
PARKING SPACES ON PROPERTY	5	N/A	4 REQUIRED	450-26-D-(1)-(0)	YES
LOT WIDTH	25 SQ FT	N/A	50 SQ FT	TABLE 450 ATTACHMENT 1	EXISTING NON-COMFORMING
LOT DEPTH	150 SQ FT	N/A	100 SQ FT	TABLE 450 ATTACHMENT 1	YES
LOT AREA = 25'-0" X 150.00= 3,750 SQ FT	3,750 SQ FT	N/A	5,000 SQ FT	TABLE 450 ATTACHMENT 1	EXISTING NON-COMFORMING
EXISTING BUILDING COVERAGE = 1,864 SQ FT	41.7%	N/A	35%	TABLE 450 ATTACHMENT 1	EXISTING NON-COMFORMING
EXISTING HOUSE & PORCH AREA = 1,206 SQ FT					
EXISTING GARAGE AREA- 368 SQ FT					
EXISTING IMPERVIOUS AREA = 2,896 SQ FT	77.2 %	N/A	60%	450-26-B-(1)	EXISTING NON-COMFORMING
DIVIDED BY 3,750 SQ FT = 77%					
BLDG = 1,668 SQ FT + OTHER 1,330 SQ FT	2.38 & 3.97 FT	N/A	5 & 5 FT	TABLE 450 ATTACHMENT 1	EXISTING NON-COMFORMING
SIDE YARDS ACCESSORY STRUCTURES	2.75 FT	N/A	5 FT	TABLE 450 ATTACHMENT 1	EXISTING NON-COMFORMING
REAR YARD ACCESSORY STRUCTURES		N/A		TABLE 450 ATTACHMENT 1	VARIANCE REQUIRED
NON-COMFORMING STRUCTURES & LOTS		ADDITION MAY NOT INCREASE NON-COMFORMITY		450-12-D	
12' EAVE PROJECTIONS FROM BUILDING (TO MATCH EXISTING EAVES)	3.75 & 3.25 FT	N/A	2 FT	450-13-F	EXISTING NON-COMFORMING
INTO SIDE AND REAR YARDS					



**1 SITE INFORMATION PLAN**  
SCALE: 1" = 20'

**2 LOCATION PLAN**  
NOT TO SCALE

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**REVISIONS:**

**NOTES & LOCATION PLAN**  
309 1/2 MCCABE AVENUE  
BRADLEY BEACH, NJ 07720

Jeffrey Langsam  
Architect, PA.  
55 S. Jefferson St. Suite 206, Orange, NJ 07050  
Tel (973) 762-4411 Fax (973) 762-2266 Email jeff@jeffreylangsam.com

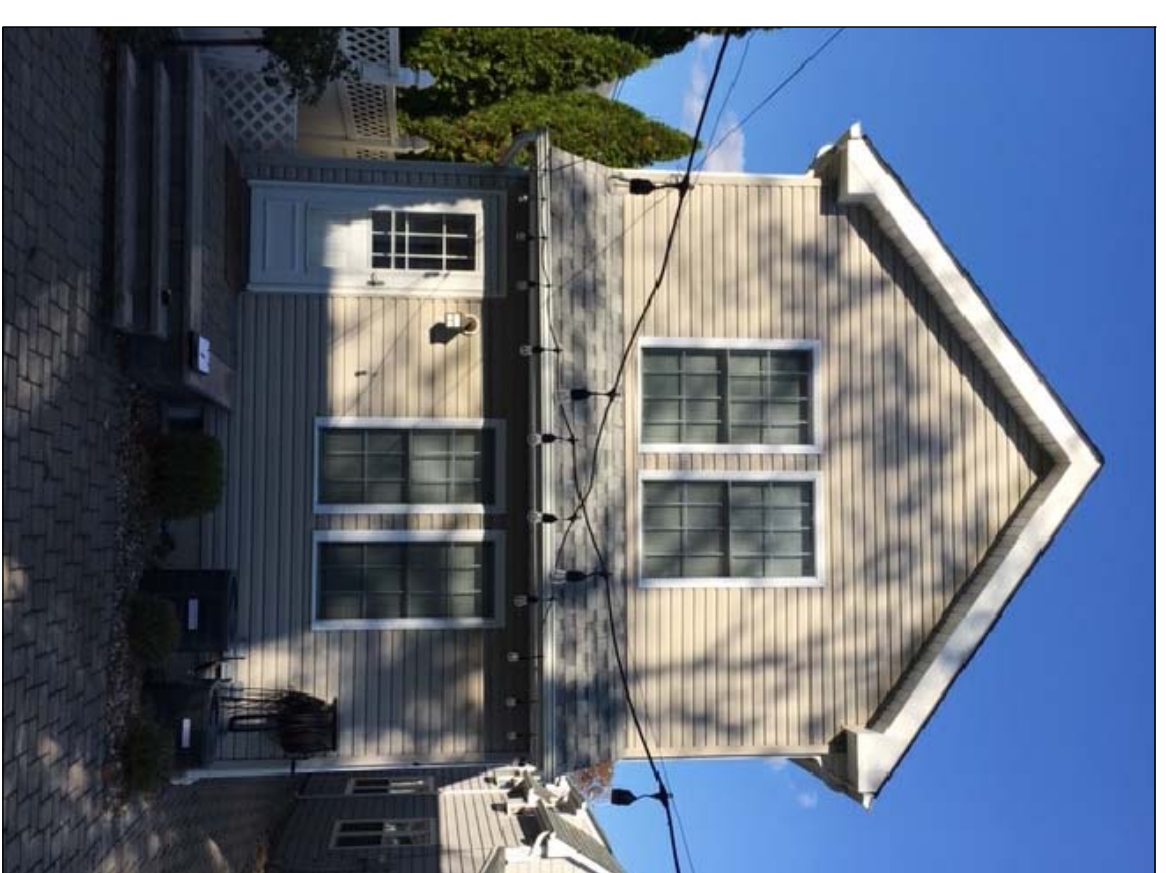
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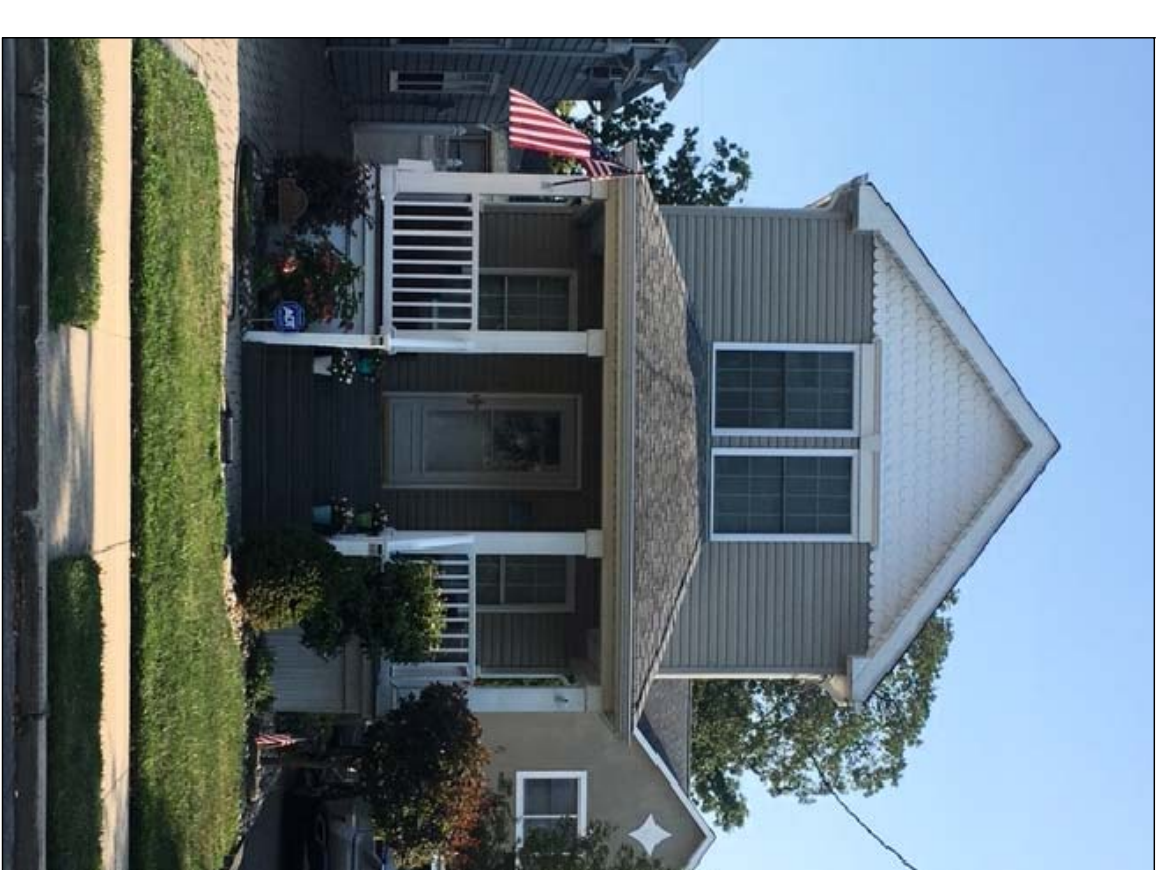
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1 EXISTING FRONT GARAGE ELEVATION 309 1/2 MCCABE  
 A-001 SCALE: NDT TO SCALE



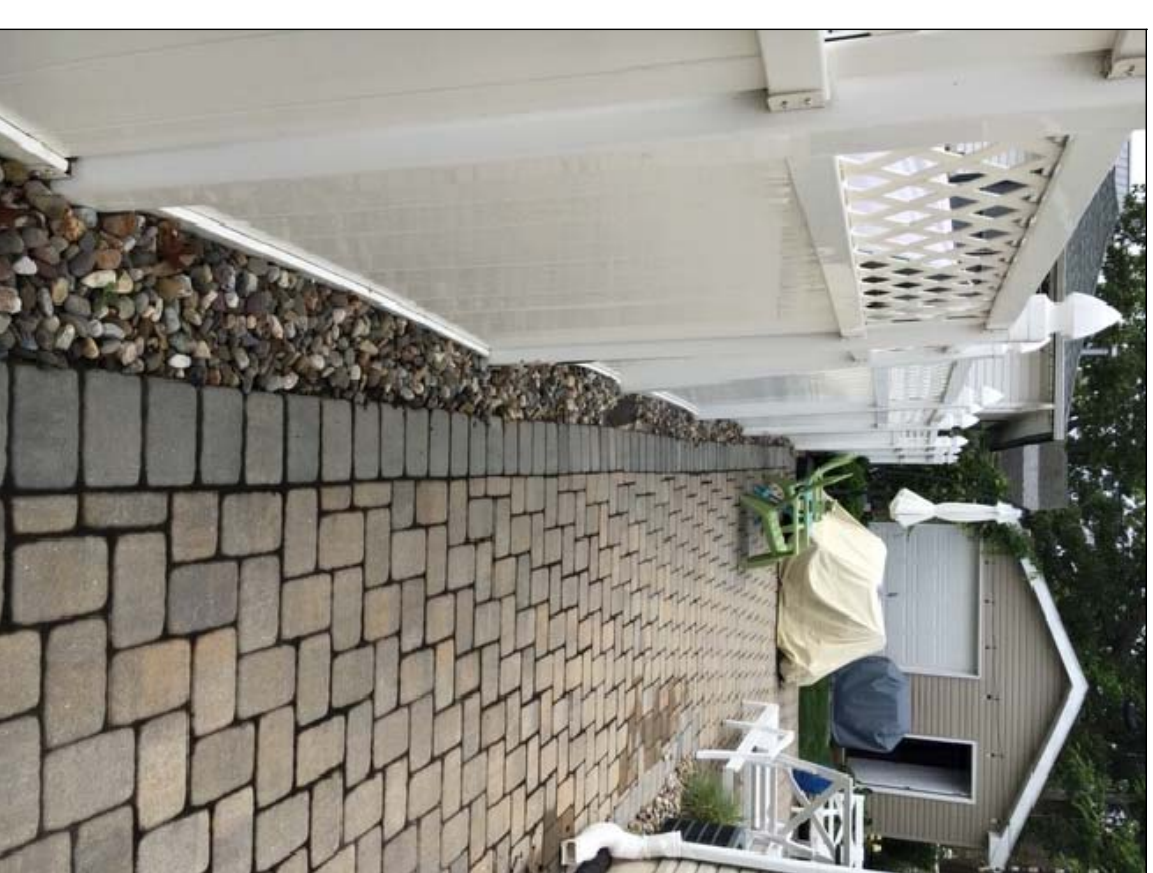
2 EXISTING REAR HOUSE ELEVATION 309 1/2 MCCABE  
 A-001 SCALE: NDT TO SCALE



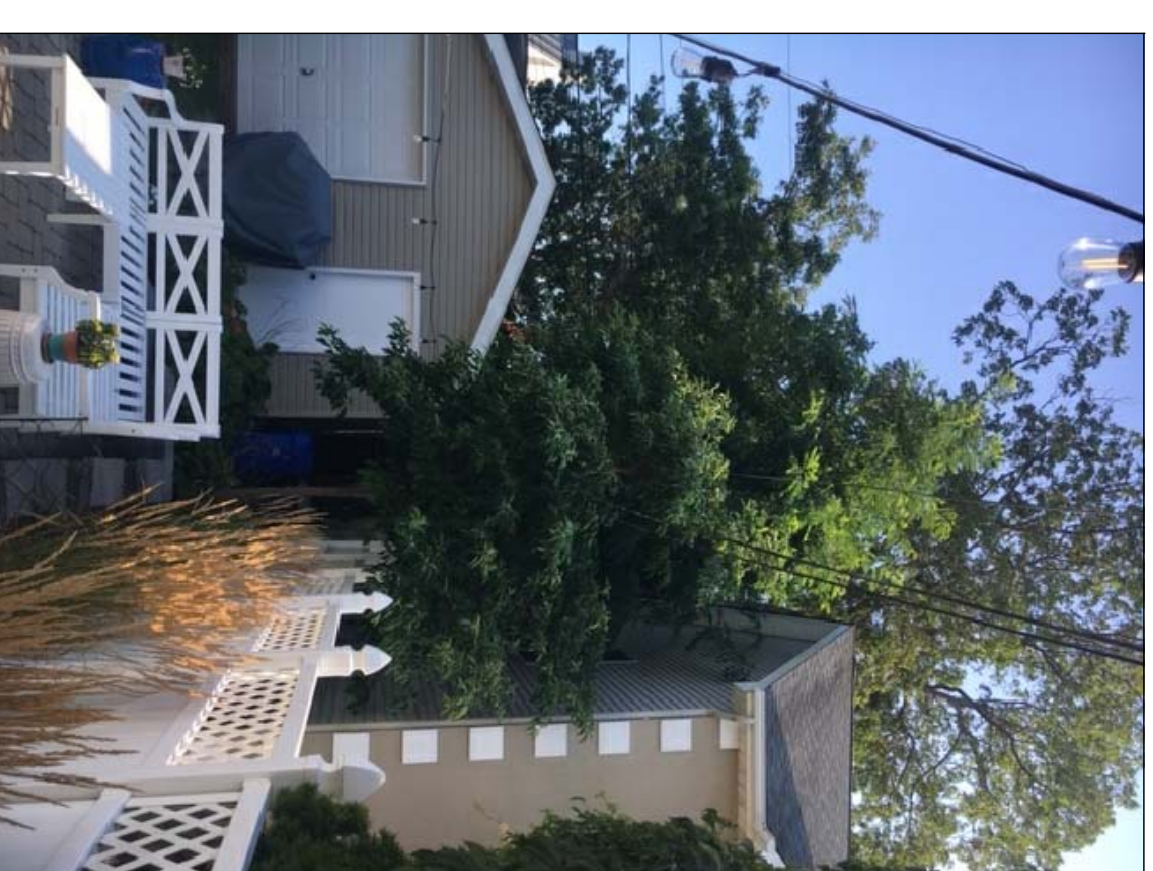
3 EXISTING FRONT HOUSE ELEVATION 309 1/2 MCCABE  
 A-001 SCALE: NDT TO SCALE



4 EXISTING REAR COTTAGE BEHIND 309 MCCABE  
 A-001 SCALE: NDT TO SCALE



5 EXISTING REAR COTTAGE BEHIND 309 MCCABE & 309 1/2 MCCABE GARAGE  
 A-001 SCALE: NDT TO SCALE



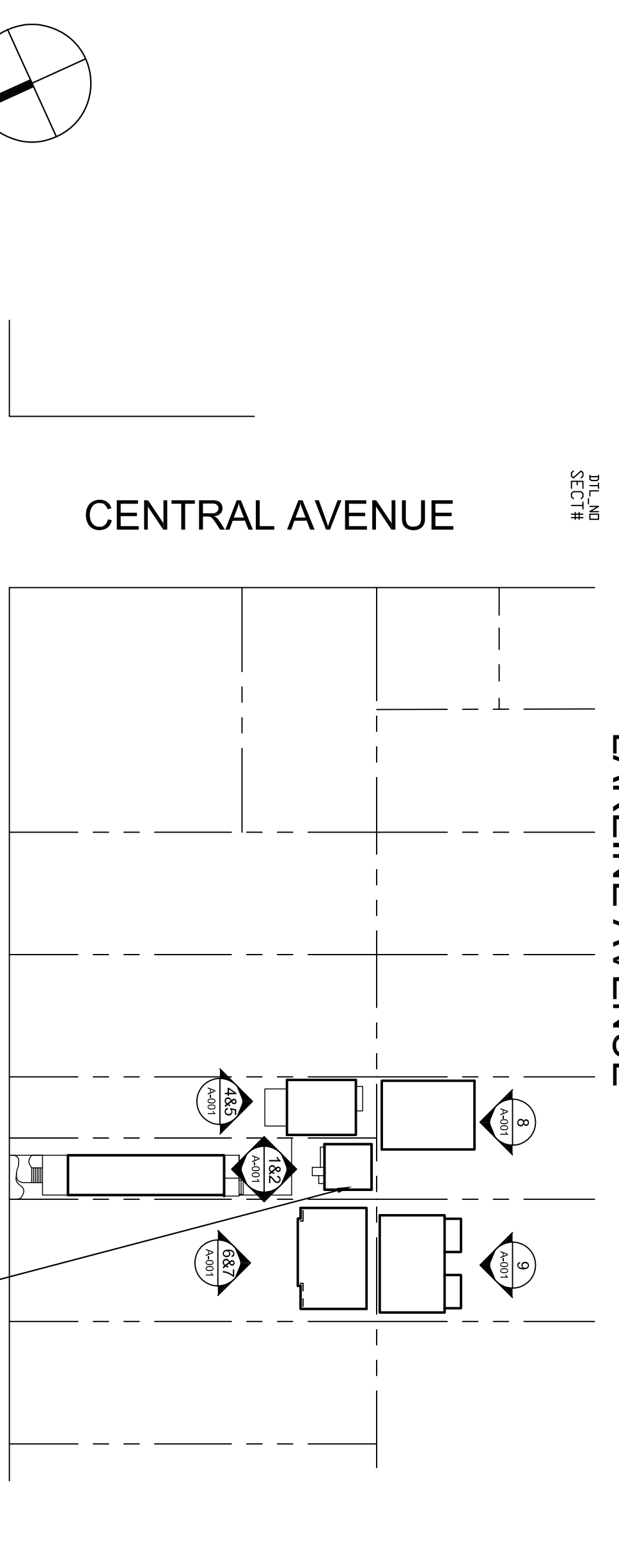
6 EXISTING 309 1/2 MCCABE GARAGE & 311 MCCABE GARAGE & APARTMENT ABOVE  
 A-101 A-001 SCALE: NDT TO SCALE



8 EXISTING COTTAGE BEHIND 310 LAREINE  
 A-001 SCALE: NDT TO SCALE



9 EXISTING COTTAGE & GARAGE BEHIND 308 LAREINE  
 A-001 SCALE: NDT TO SCALE



10 PHOTO LOCATION PLAN  
 A-001 SCALE: NDT TO SCALE

309 1/2 MCCABE AVENUE  
 PROPOSED 2ND STORY  
 STUDIO APARTMENT  
 ADDITION ABOVE  
 EXISTING DETACHED  
 GARAGE- NO CHANGE  
 TO FOOTPRINT

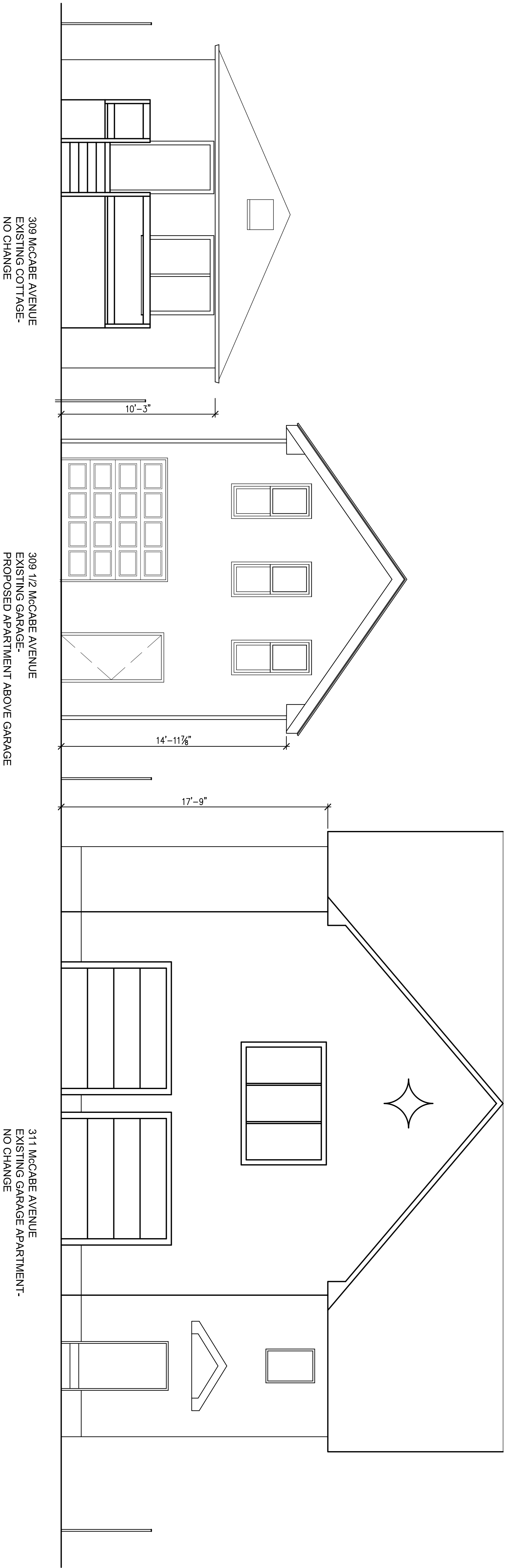
NOTES & LOCATION PLAN  
 309 1/2 MCCABE AVENUE  
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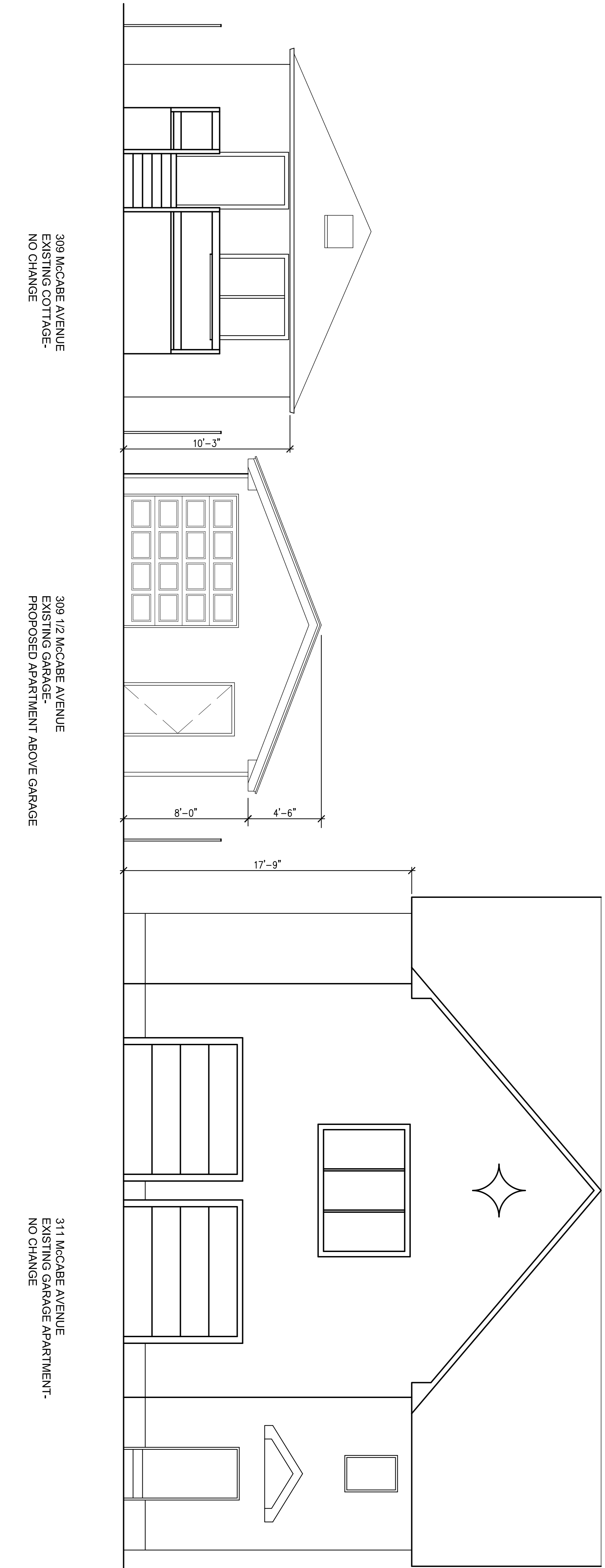
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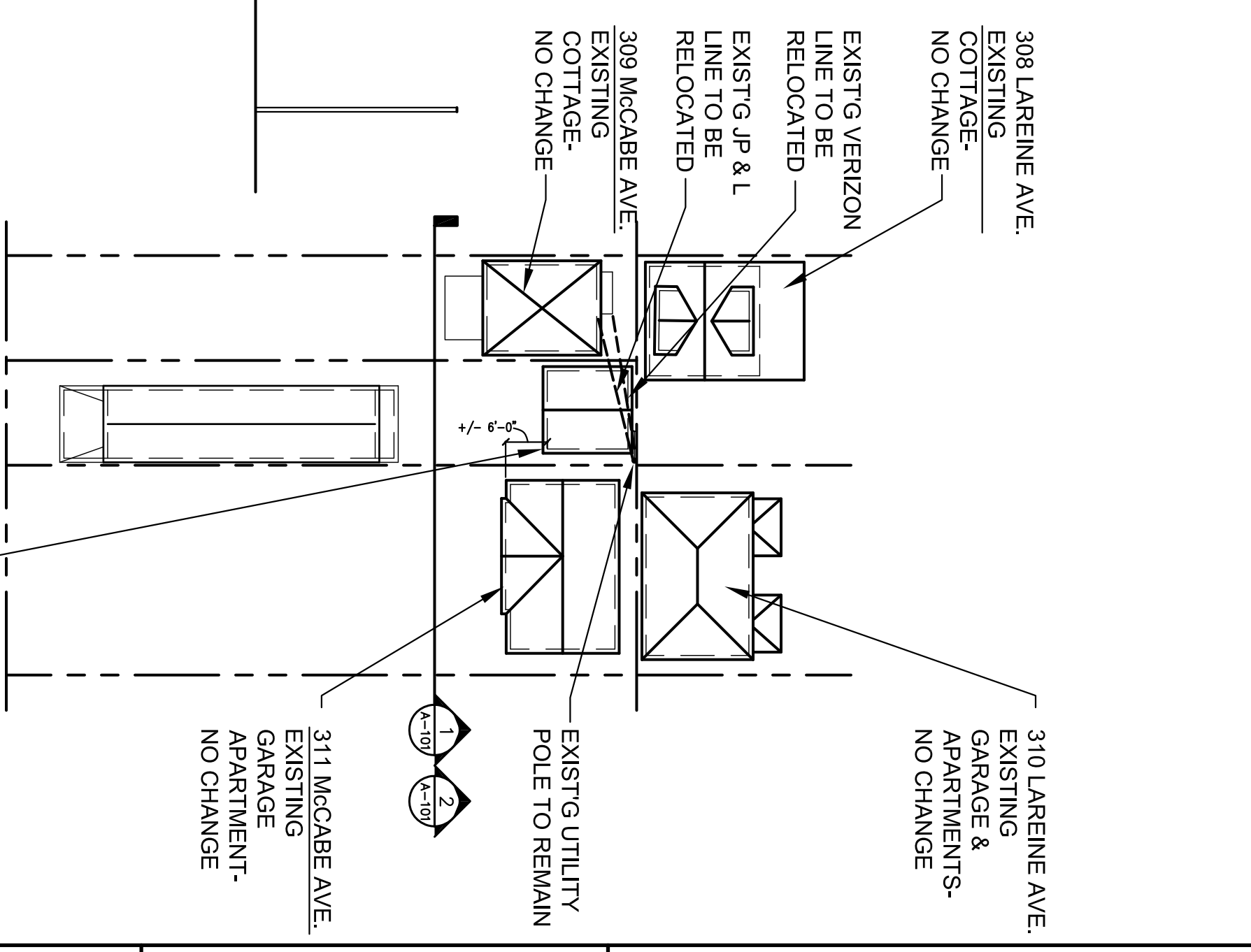
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1 PROPOSED GARAGE APARTMENT ADDITION FRONT ELEVATION OF 309 1/2 MCCABE AVENUE BETWEEN THE EXISTING FRONT ELEVATION OF ACCESSORY BUILDINGS @ 309 & 311 MCCABE AVENUE  
 SCALE 1/4" = 1'-0"



2 EXISTING FRONT (NORTH) ELEVATION OF ACCESSORY BUILDINGS @ 309, 309 1/2 & 311 MCCABE AVENUE  
 SCALE 1/4" = 1'-0"



3 KEY PLAN FOR ELEVATIONS  
 SCALE 1/32" = 1'-0"

REVISIONS:  
 7 MAY 20- SHOW EXISTING UTILITY LINES & POLE ON KEY PLAN

ELEVATIONS SHOWING ADJACENT PROPERTIES

KUDER RESIDENCE  
 309 1/2 MCCABE AVENUE  
 BRADLEY BEACH, NJ 07720

Jeffrey Langsam  
 Architect, P.A.

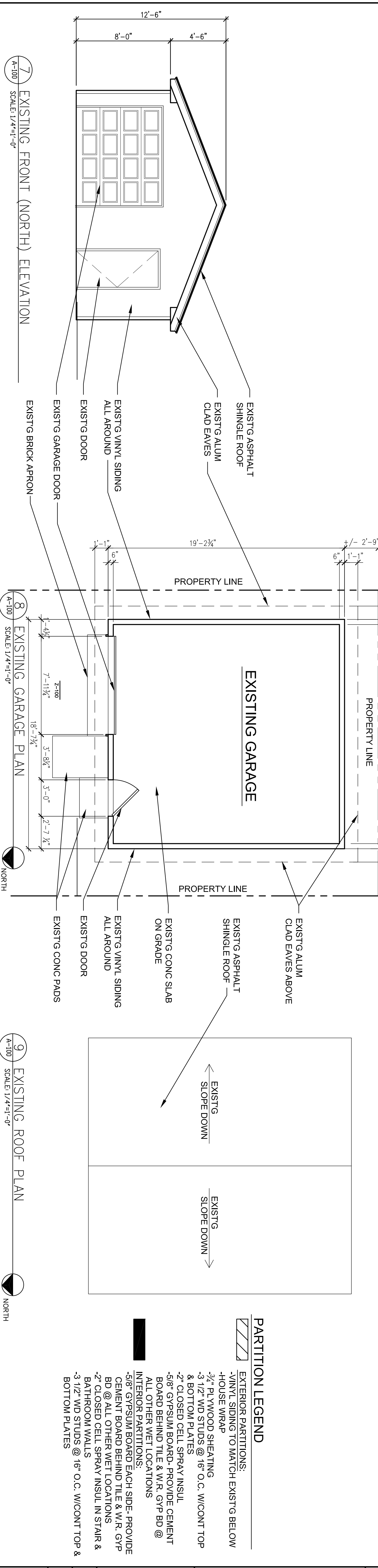
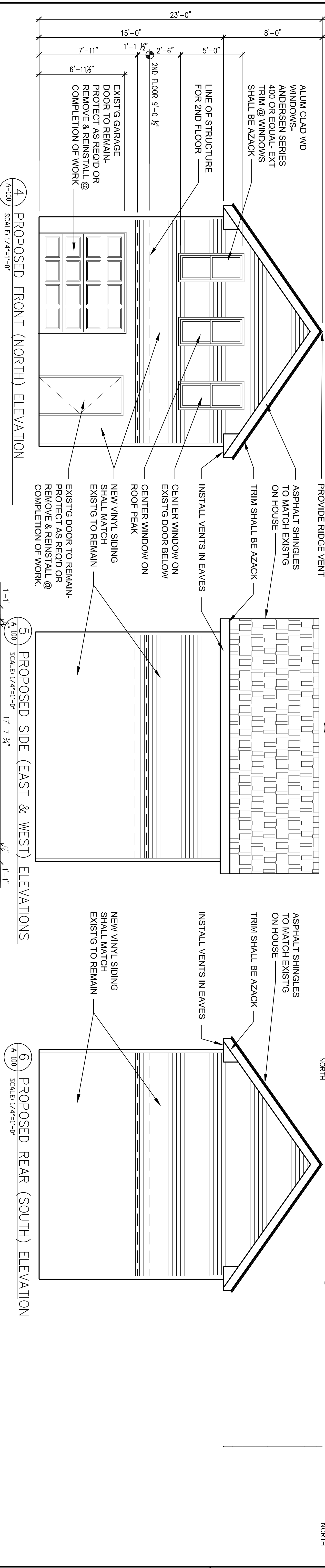
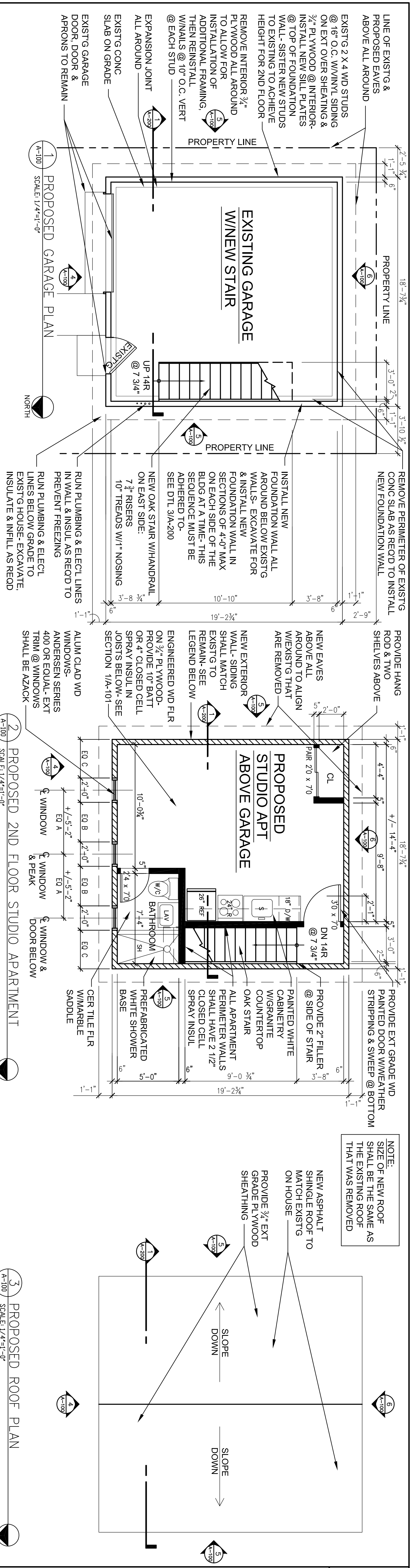
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DATE: 19 DEC 19

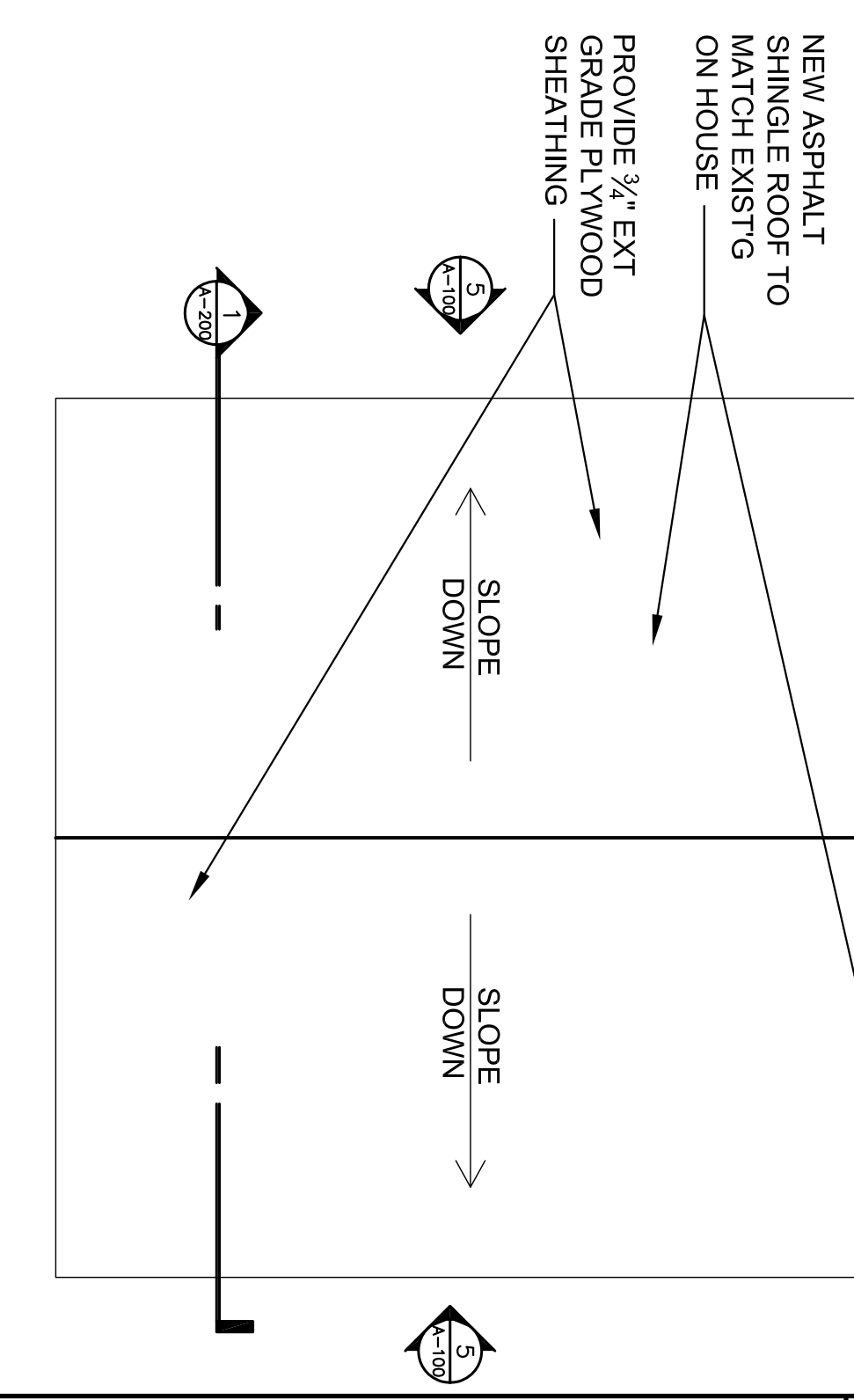
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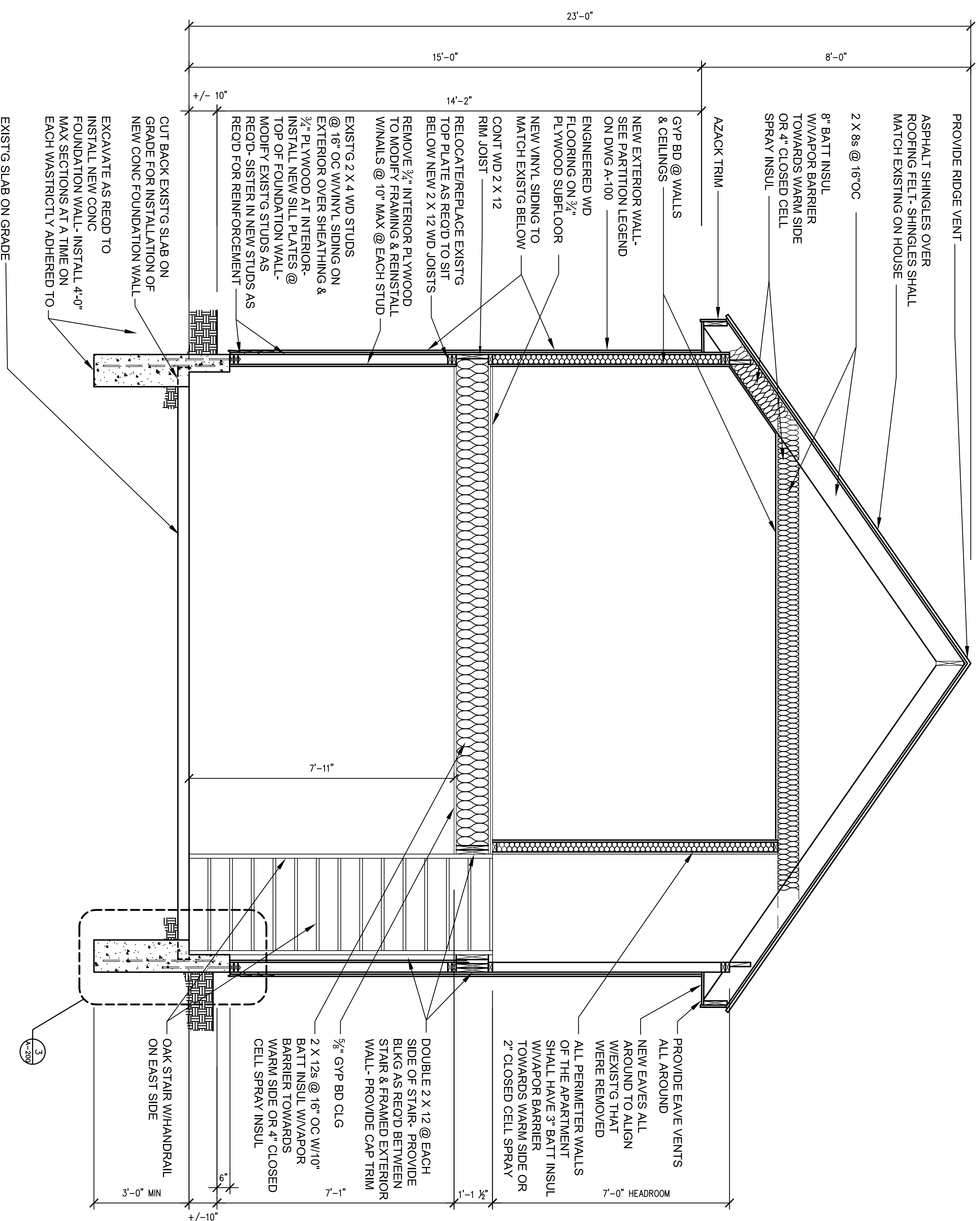
**NOTE:**  
SIZE OF NEW ROOF SHALL BE THE SAME AS THE EXISTING ROOF THAT WAS REMOVED



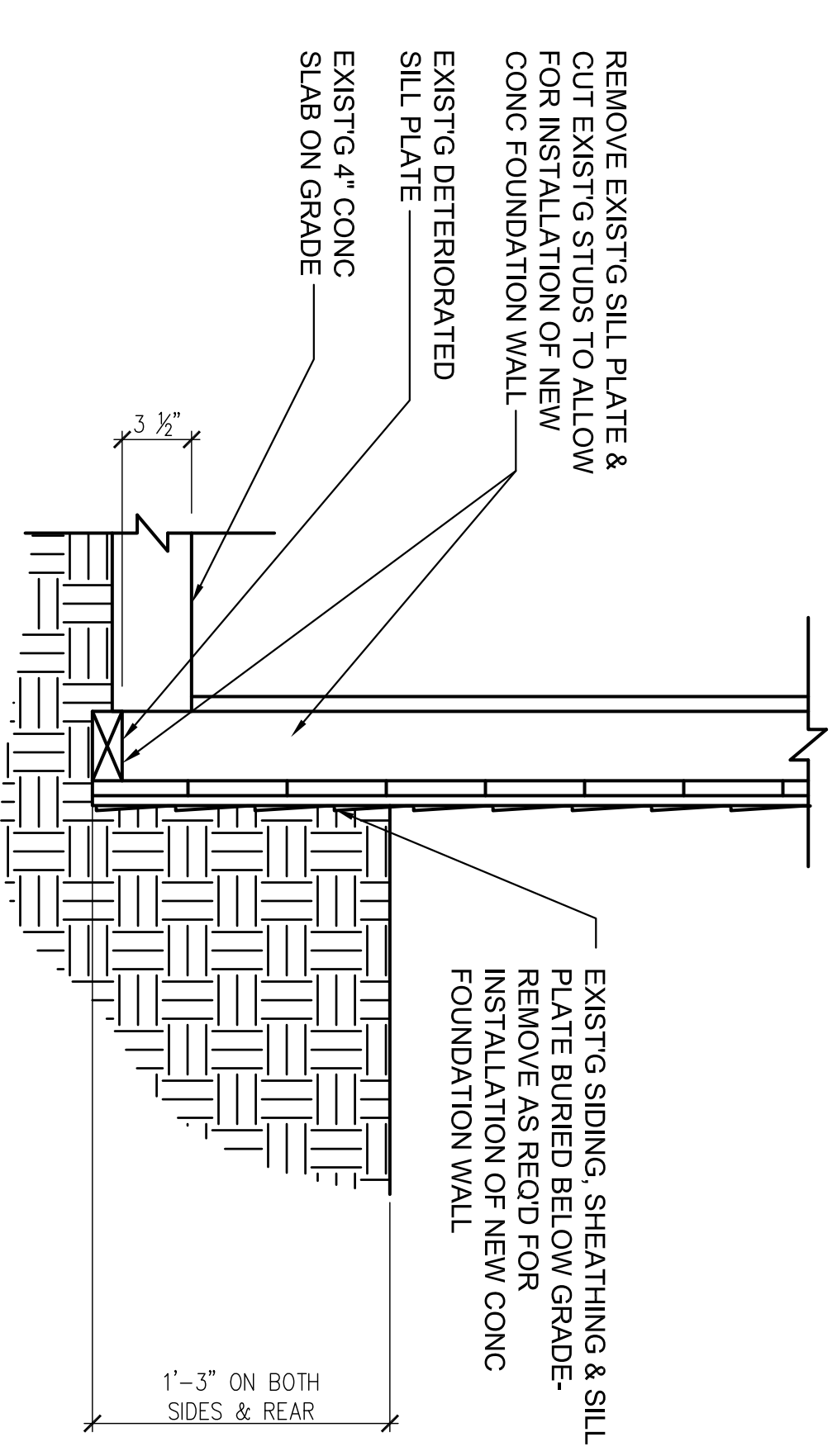
**PARTITION LEGEND**

- EXTERIOR PARTITIONS:**
- VINYL SIDING TO MATCH EXISTING BELOW
  - HOUSE WRAP
  - 3/4" PLYWOOD SHEATHING
  - 3 1/2" WD STUDS @ 16" O.C. W/CONT TOP & BOTTOM PLATES
  - 2" CLOSED CELL SPRAY INSUL
  - 5/8" GYPSUM BOARD - PROVIDE CEMENT BOARD BEHIND TILE & W.R. GYP BD @ ALL OTHER WET LOCATIONS
- INTERIOR PARTITIONS:**
- 5/8" GYPSUM BOARD EACH SIDE - PROVIDE CEMENT BOARD BEHIND TILE & W.R. GYP BD @ ALL OTHER WET LOCATIONS
  - 2" CLOSED CELL SPRAY INSUL IN STAIR & BATHROOM WALLS
  - 3 1/2" WD STUDS @ 16" O.C. W/CONT TOP & BOTTOM PLATES

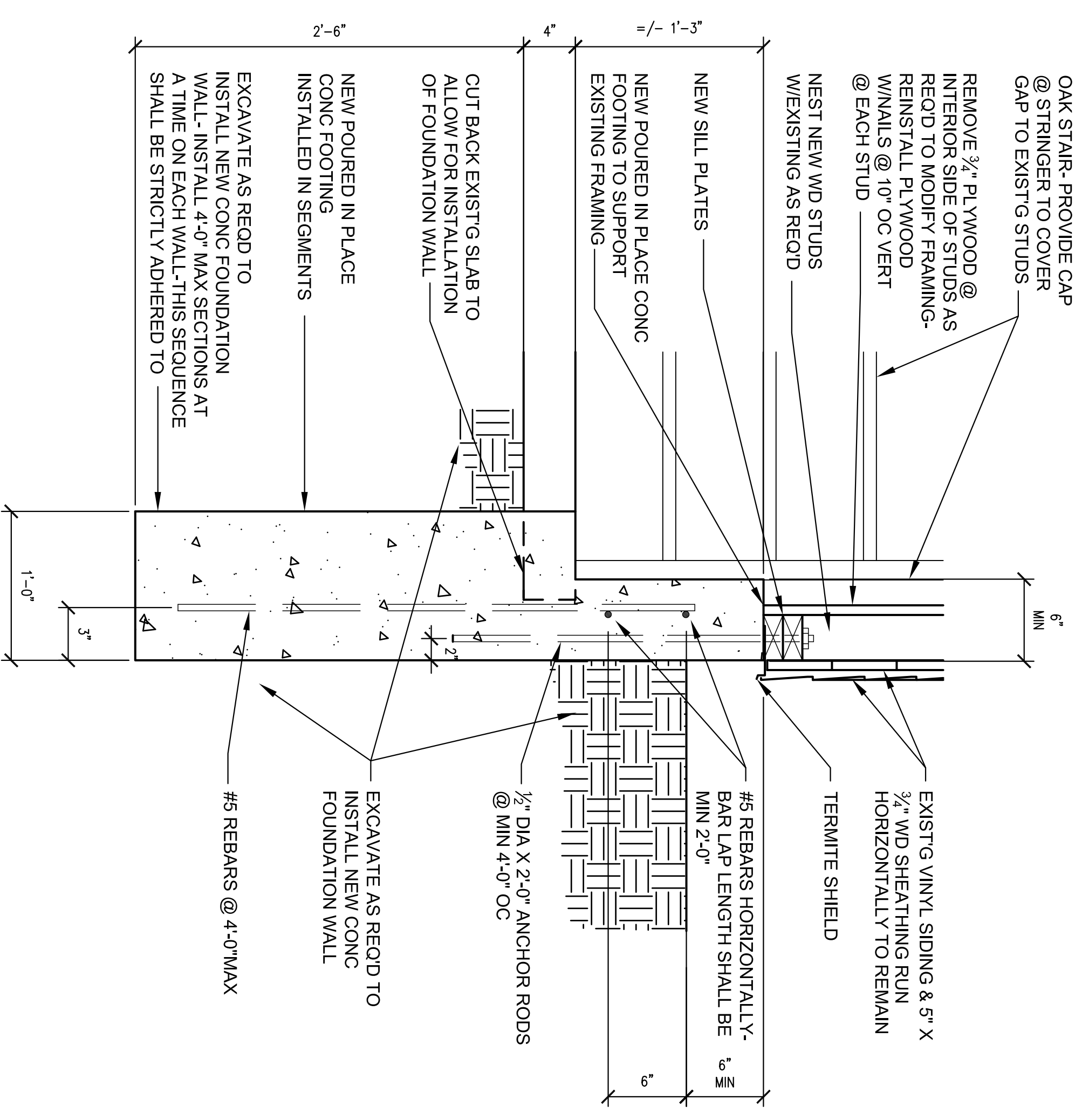
DWG NO: A-100 DATE: 19 DEC 19 SCALE: AS NOTED	Jeffrey Langsam Architect, P.A.	<b>EXISTING &amp; PROPOSED PLANS &amp; ELEVATIONS</b> KUDER RESIDENCE 309 1/2 McCABE AVENUE BRADLEY BEACH, NJ 07720	<b>REVISIONS:</b>	ALL RIGHTS RESERVED. All drawings, specifications, and copies thereof furnished by the architect, are not to be used for any other project without the written permission of the architect, P.A.
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1 EAST-WEST CROSS SECTION SHOWING STAIR  
A-200 SCALE 1/2" = 1'-0"



2 EXISTING SLAB ON GRADE & SILL PLATE  
A-200 SCALE 1 1/2" = 1'-0"



3 FOUNDATION WALL SECTION DETAIL  
A-200 SCALE 1 1/2" = 1'-0"

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REVISIONS:

EAST-WEST SECTION &  
FOUNDATION WALL DETAILS

KUDER RESIDENCE  
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