

ZONING & CONSTRUCTION DATA			
BLOCK 41	DESIGN GROUP	R-5	
LOT 22	CONSTRUCTION CLASS	TYPE VB	
ZONE R-1	CLIMATE ZONE	4	
	WIND ZONE	120 ML/HR	
	REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000 SF	2,500 SF**	NO CHANGE
LOT WIDTH	50 FT	50 FT	NO CHANGE
LOT DEPTH	100 FT	50 FT**	NO CHANGE
PRINCIPAL BUILDING			
FRONT YARD	15 FT	14.58 FT**	NO CHANGE (PORCH PIER) 15.81 FT (VESTIBULE)
REAR YARD	10 FT	3.25 FT**	NO CHANGE
SIDE YARD	5 FT / 10 FT	3.58 FT** / 4.81 FT**	NO CHANGE
BUILDING HEIGHT	35 FT / 2-1/2 STY	22'-4 1/2" FT / 2-STY	32'-0" FT / 2 1/2 STY
FLOOR AREA			
GROUND FLOOR		760 SF	825 SF
SECOND FLOOR		943 SF	880 SF W/O STAIR TOWER 943 SF W/ STAIR TOWER
HABITABLE ATTIC		0 SF	369 SF (2018 IRC) 416 SF (TWP ORDINANCE)
BUILDING VOLUME		17,121.50 CF	18,815.25 CF
BUILDING COVERAGE	35% (875 SF)	43.63% (1,090.64 SF)**	NO CHANGE
IMPERVIOUS COVERAGE	60% (1,500 SF)	72.32% (1,808.00 SF)**	NO CHANGE

**NOTES:**  
 "\*\*\*" INDICATES PRE-EXISTING NONCONFORMING CONDITION  
 [Hatched Box] INDICATES PROPOSED AND APPROVED NONCONFORMING CONDITION

PROPOSED PLOT PLAN INFORMATION TAKEN FROM PROPERTY SURVEY PROVIDED BY:  
 MICHAEL J. WILLIAMS LAND SURVEYING, LLC  
 56 MAIN AVENUE  
 OCEAN GROVE, NJ 07756  
 TEL: (732)988-6440  
 FAX: (732)502-0669  
 CERTIFICATE OF AUTHORIZATION #24GA28150500  
 DATED: JANUARY 8, 2015

ANTHONY MALTESE, P.E., P.L.S., P.P., C.M.E.  
 PROFESSIONAL ENGINEER  
 NJ LICENSE No. 42579

*Anthony J. Church*  
 ANTHONY J. CHURCH  
 REGISTERED ARCHITECT  
 NJ LICENSE No. 21A100514600

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REVISION TABLE	REVISOR	DATE	DESCRIPTION

NOTES:  
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PROJECT DESCRIPTION:  
**ADDITION / RENOVATION AT**  
 604 MADISON AVENUE  
 BRADLEY BEACH, NJ 07720

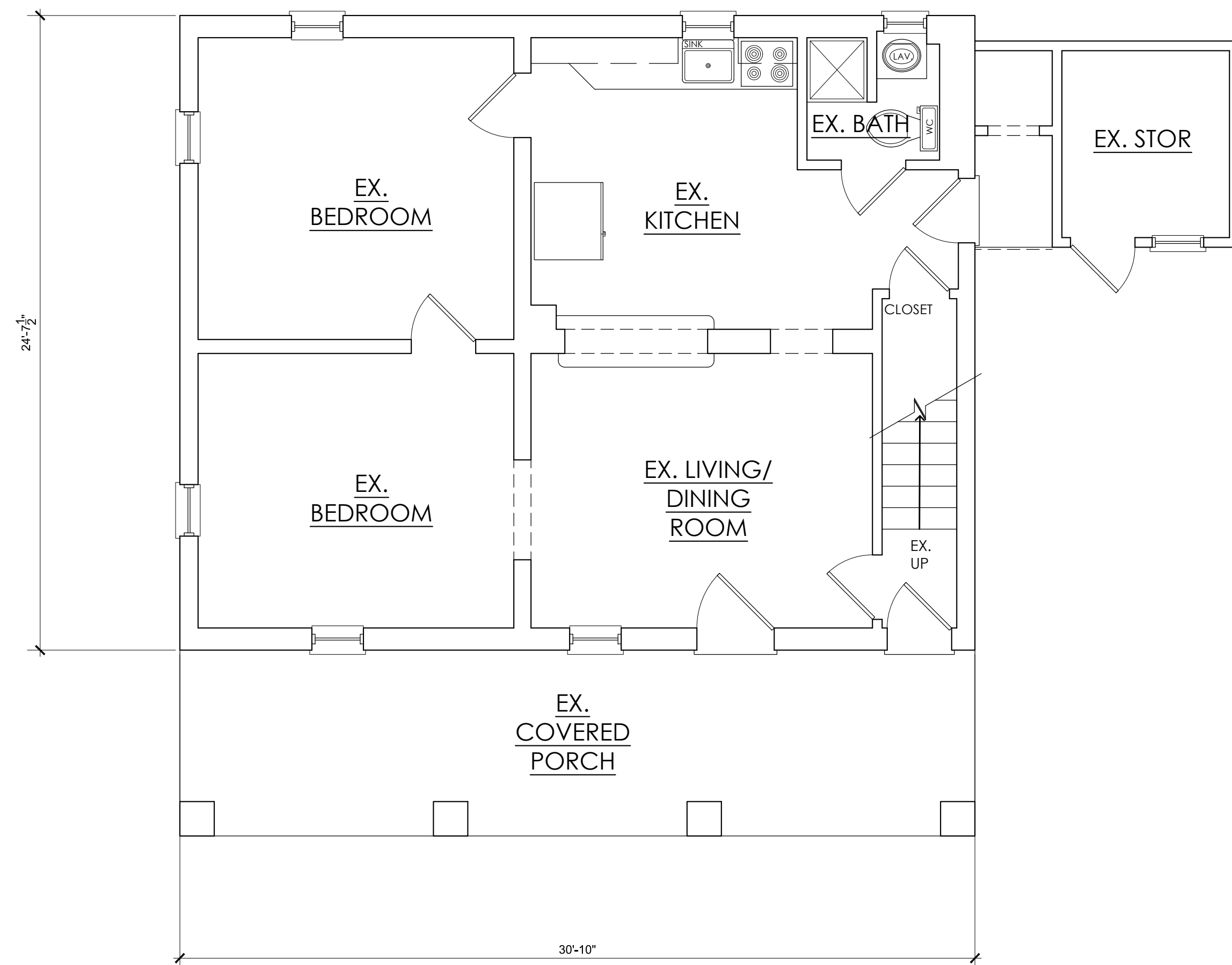
JOB #: 408  
 DRAWN BY: JTC  
 DATE: 3/23/2021  
 SCALE: AS NOTED  
 SHEET: 1 OF 5

**VAR-1**



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 ● HEALTH CARE DESIGN  
 ● STRUCTURAL DESIGN  
 ● INTERIOR DESIGN

1 **PLOT PLAN**  
 SCALE: 1/4" = 1'-0"



**1** **EXISTING GROUND FLOOR PLAN**  
 FLOOR AREA: 760 S.F. SCALE: 1/4" = 1'-0"



**2** **EXISTING SECOND FLOOR PLAN**  
 FLOOR AREA: 943 S.F. SCALE: 1/4" = 1'-0"

X  
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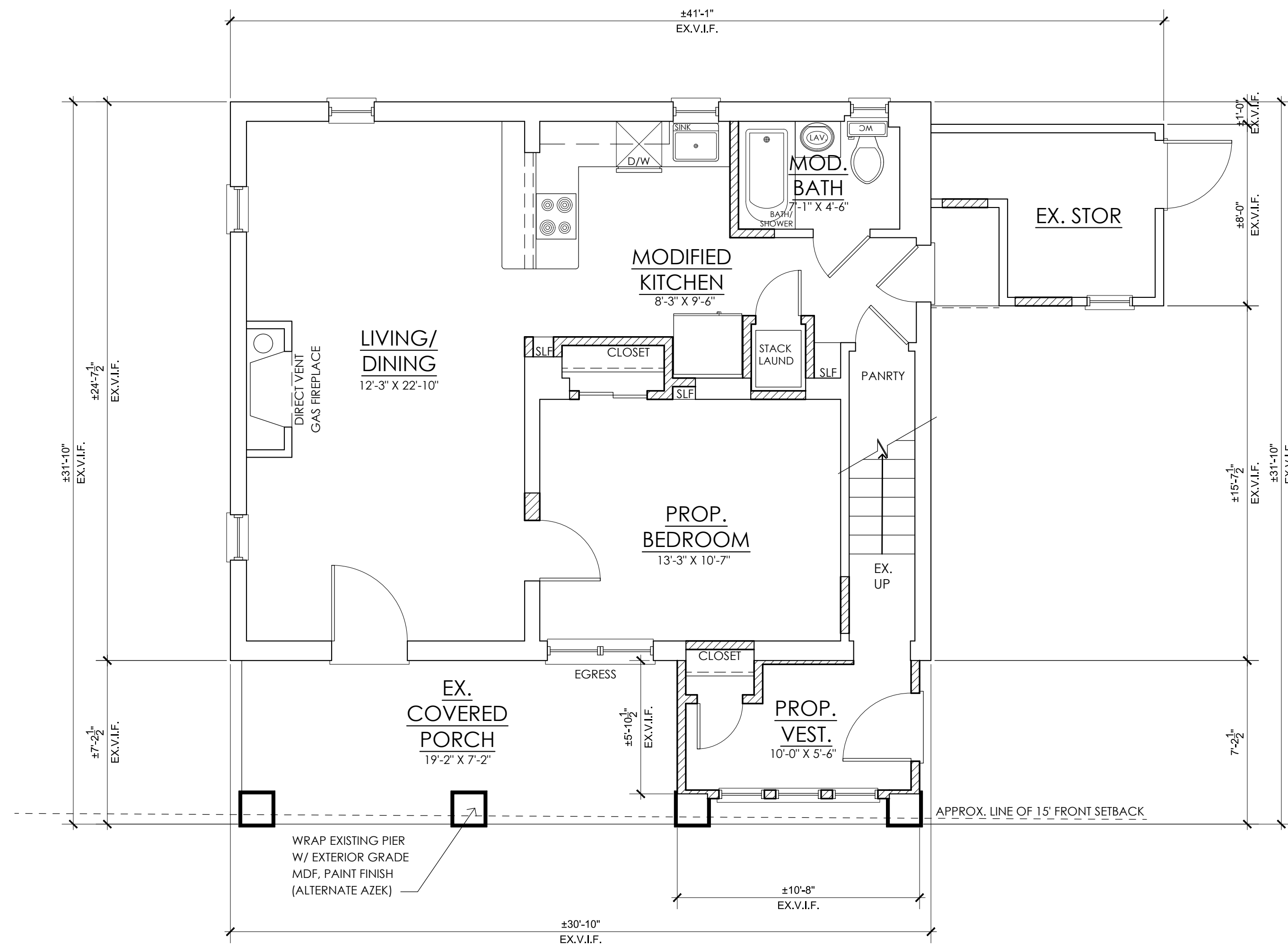
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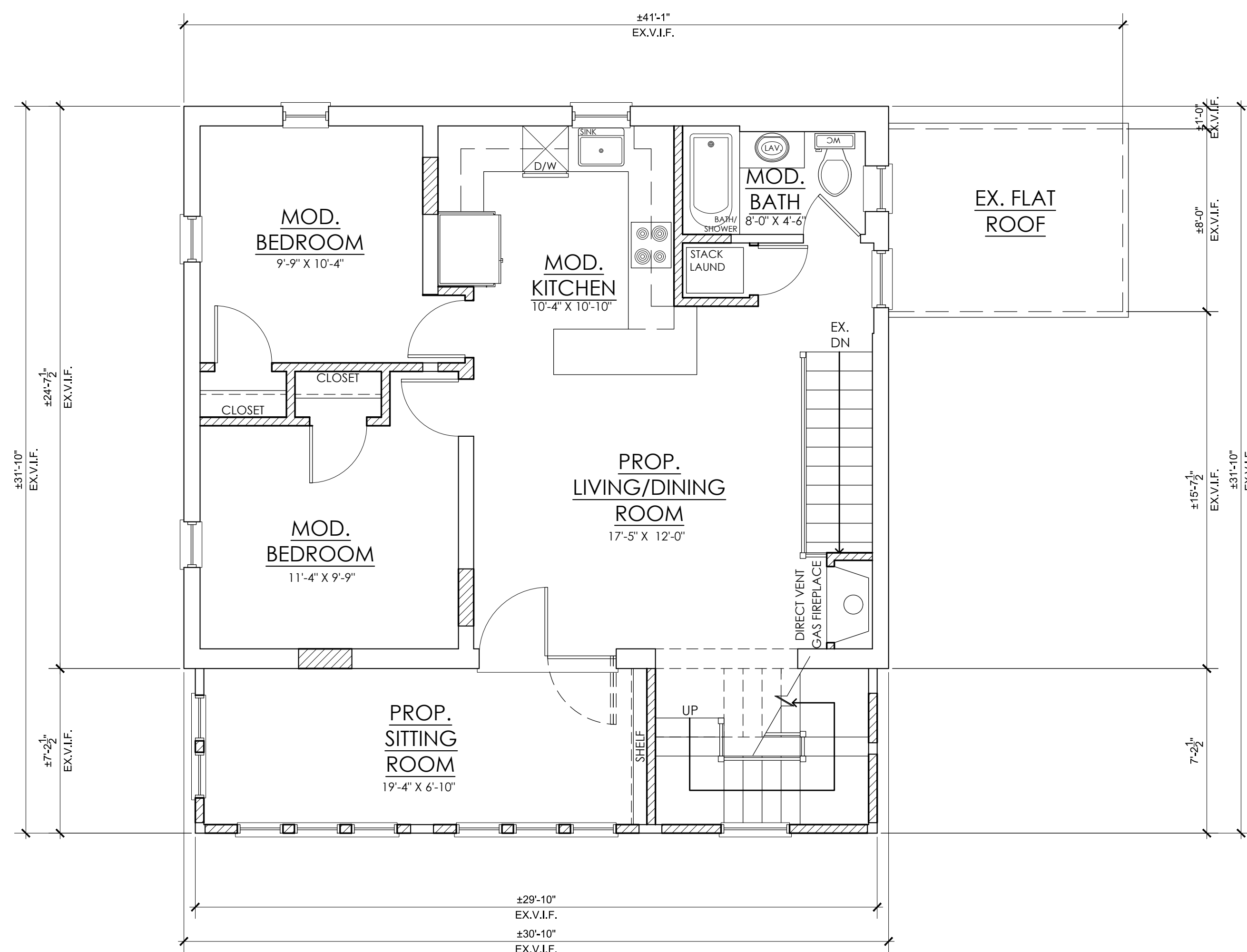
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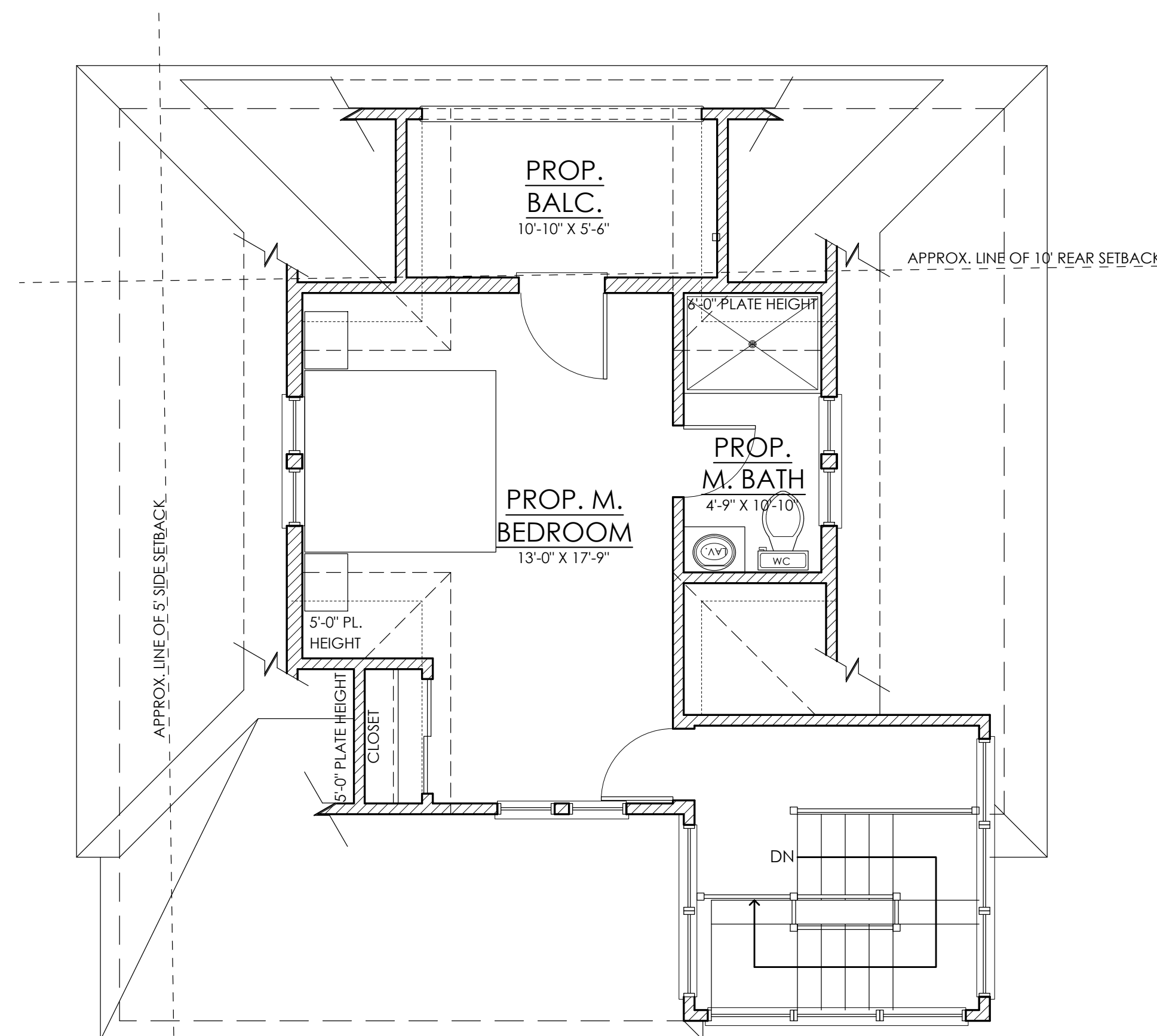
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**1 PROPOSED GROUND FLOOR PLAN**  
 FLOOR AREA: 825 S.F. SCALE: 1/4" = 1'-0"



**2 PROPOSED SECOND FLOOR PLAN**  
 FLOOR AREA: 880 S.F. W/O STAIR TOWER  
 FLOOR AREA: 943 S.F. INCL. STAIR TOWER SCALE: 1/4" = 1'-0"



**3 PROPOSED HABITABLE ATTIC**  
 FLOOR AREA: 369 S.F. SCALE: 1/4" = 1'-0"

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**VAR-3**

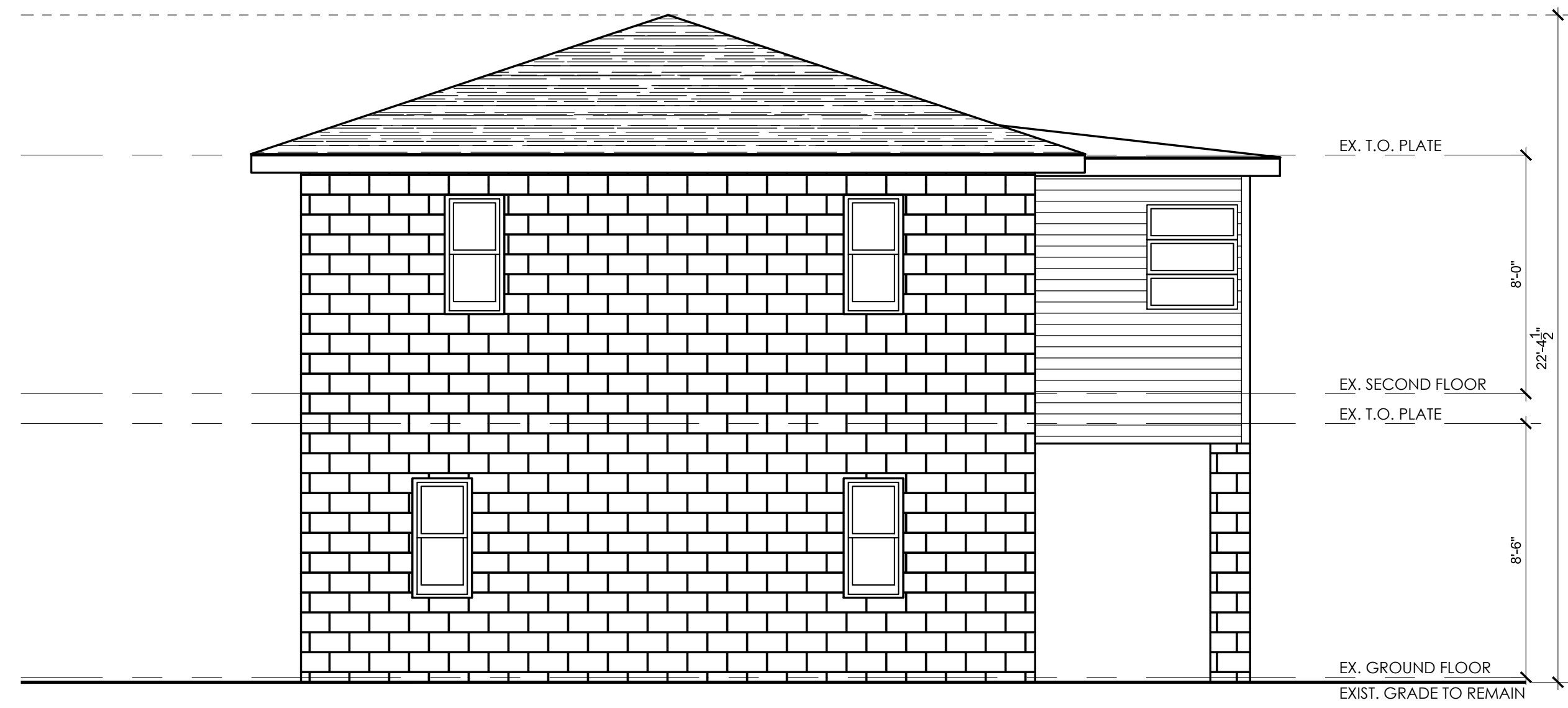


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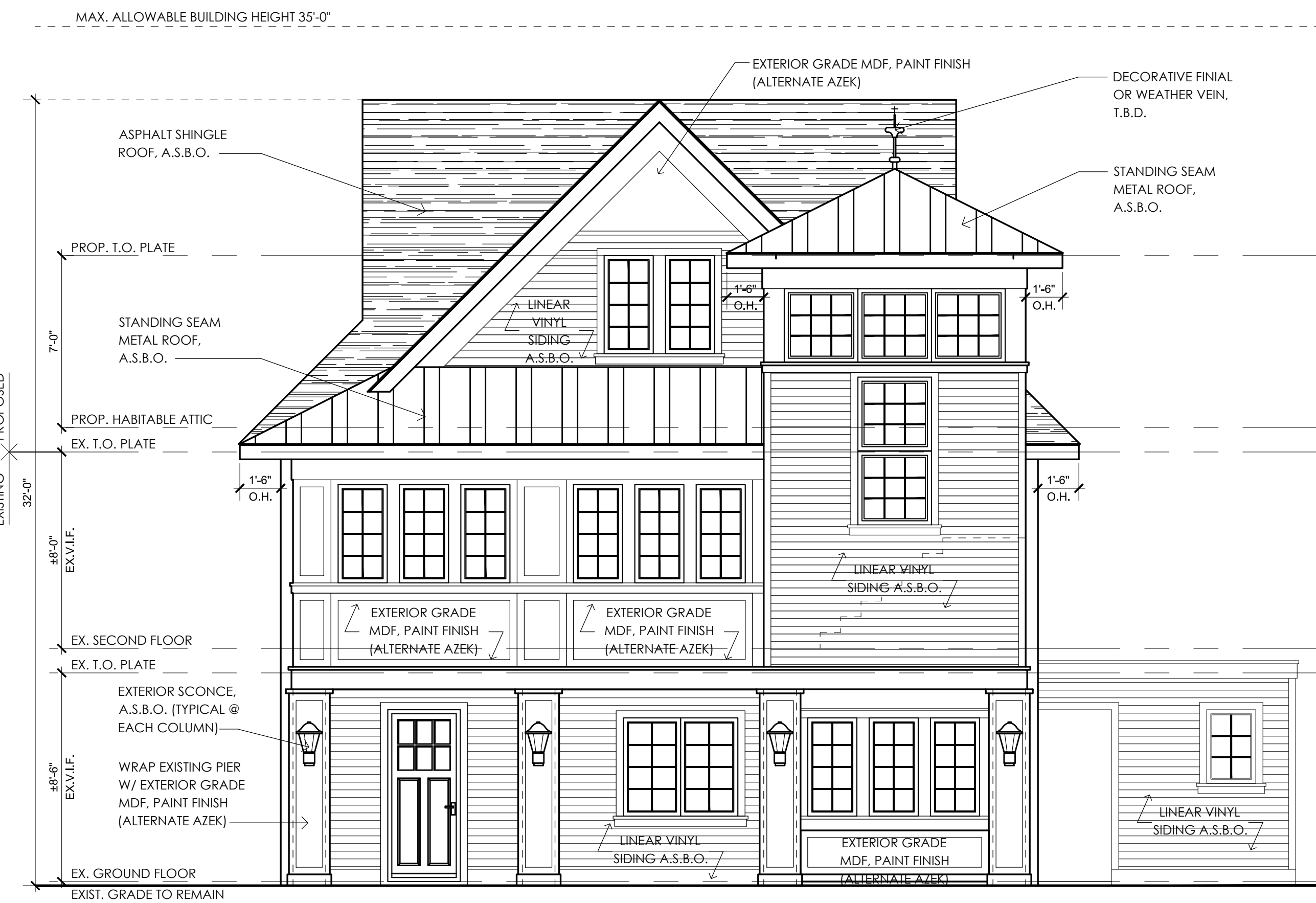
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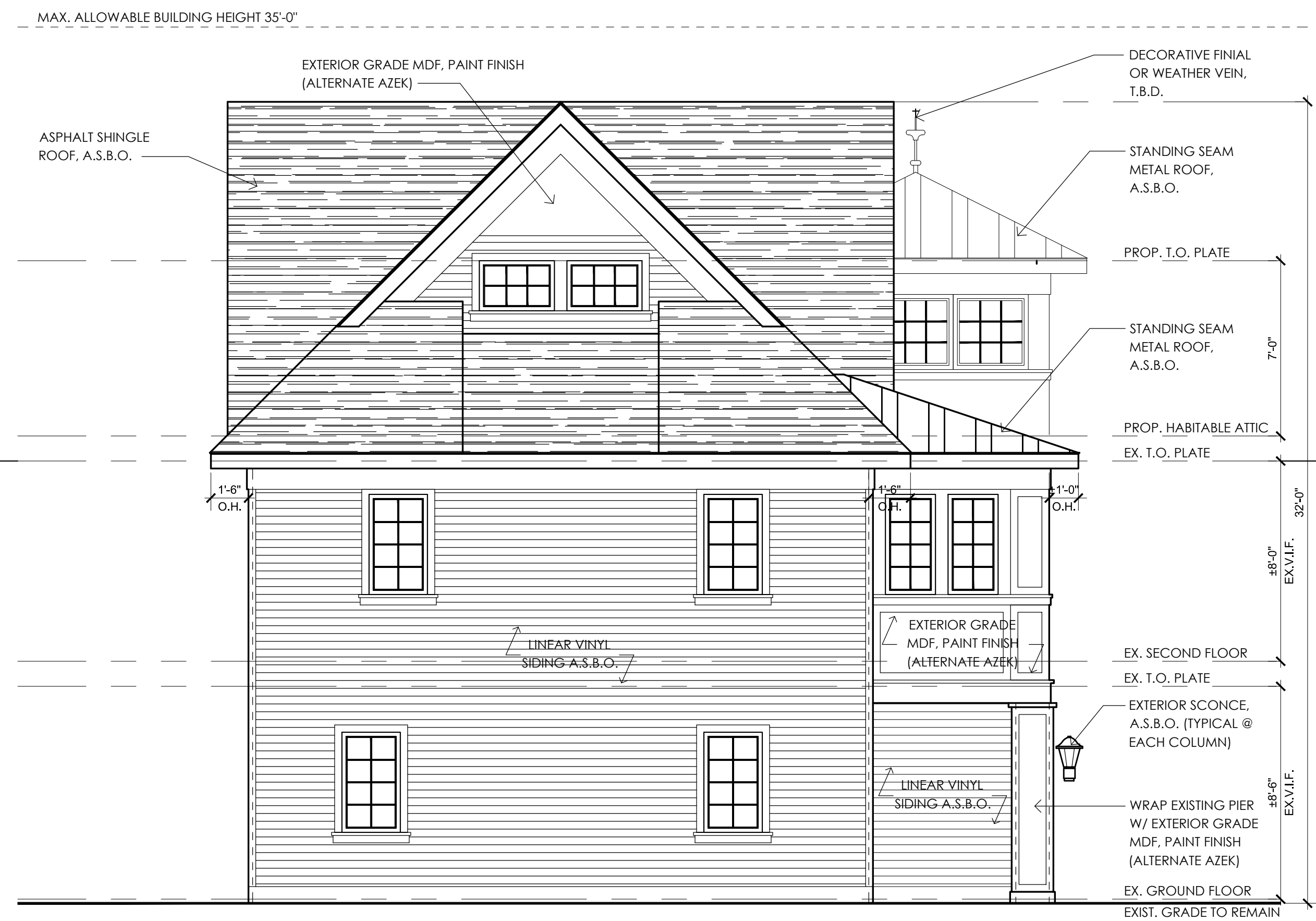
**1** EXISTING FRONT (SOUTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING LEFT (NORTH WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED FRONT (SOUTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** PROPOSED LEFT (NORTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"

X  
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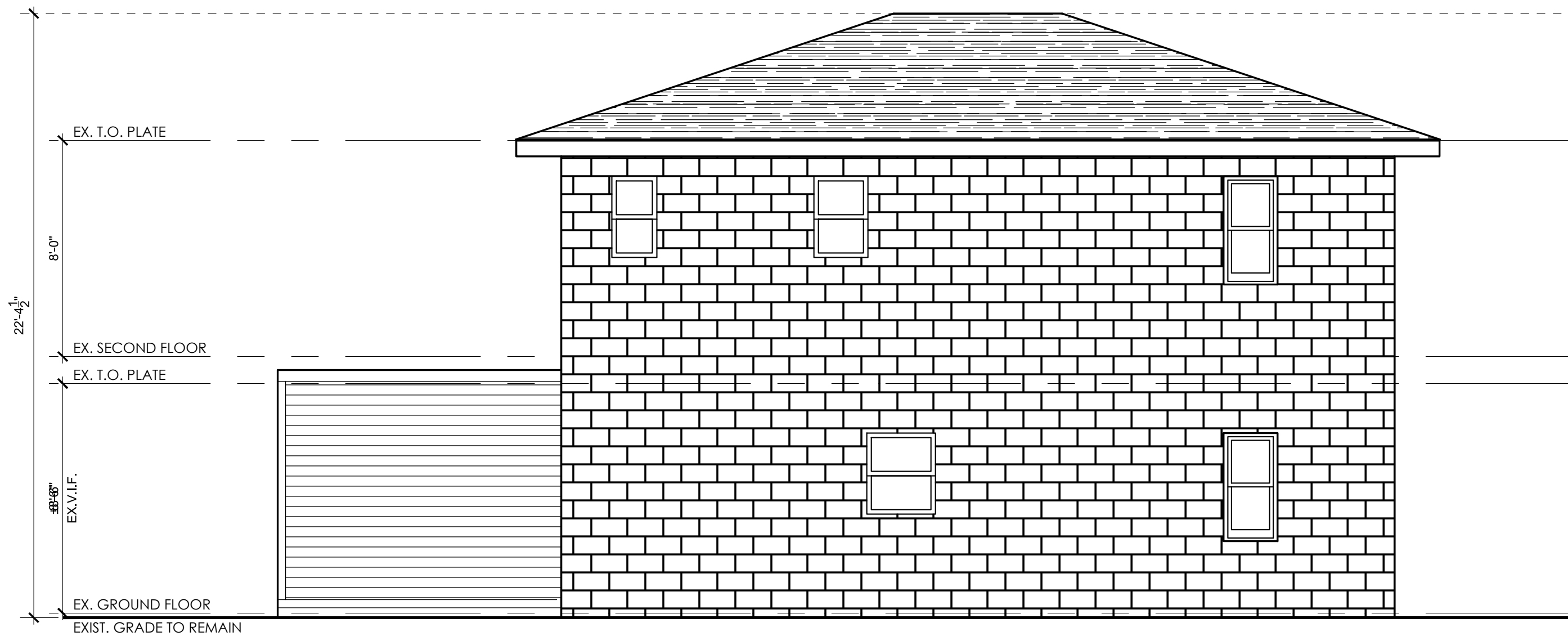
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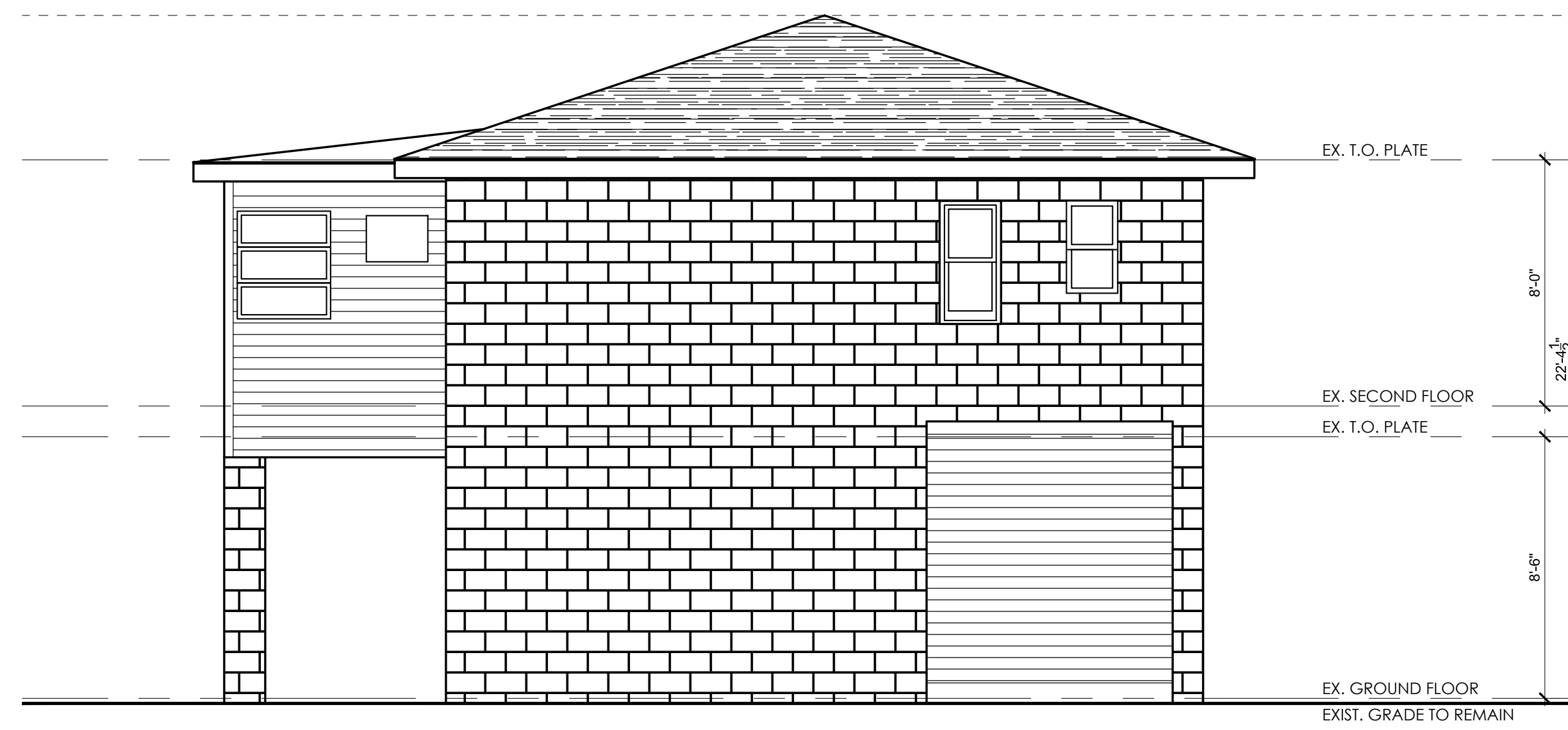
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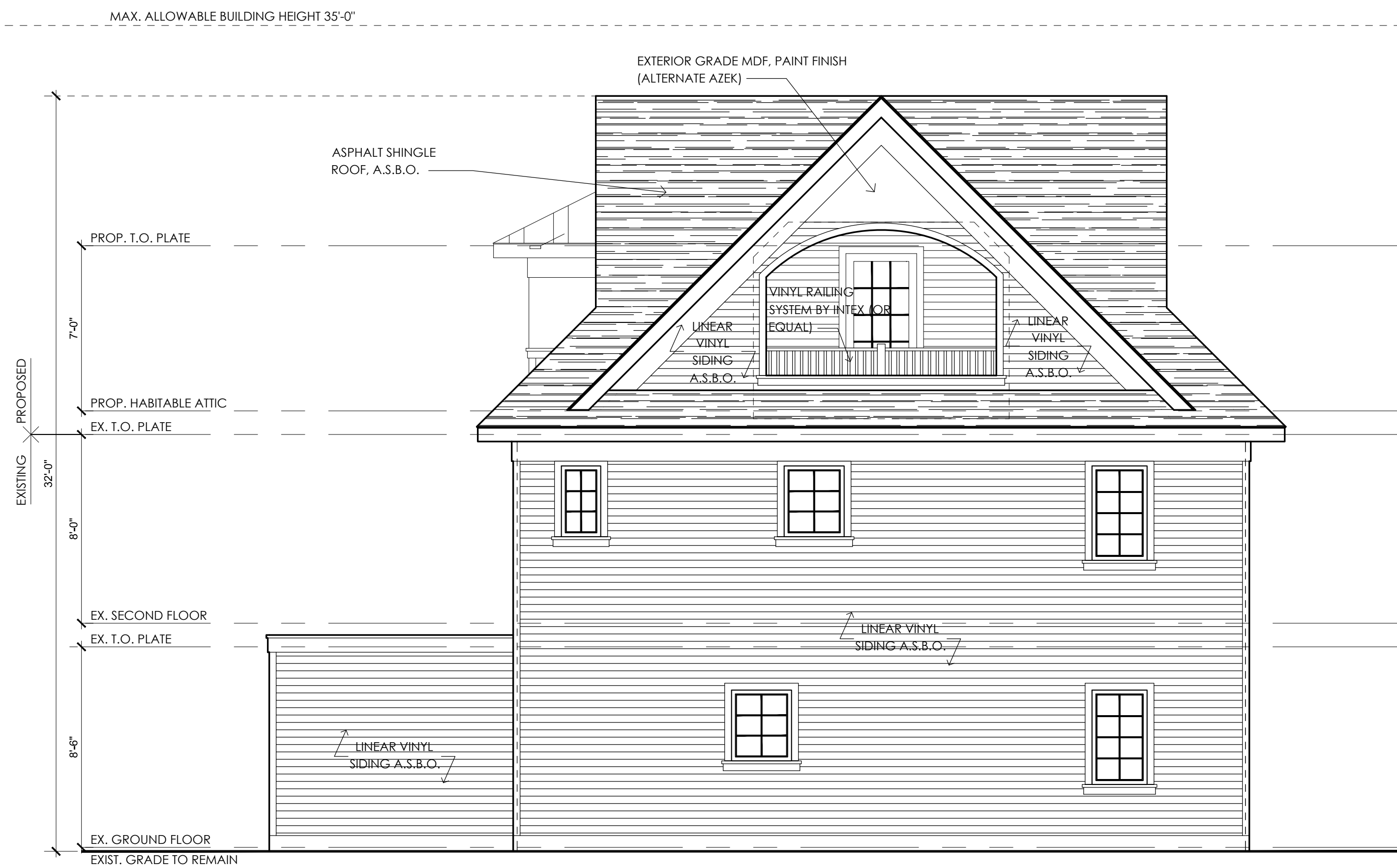
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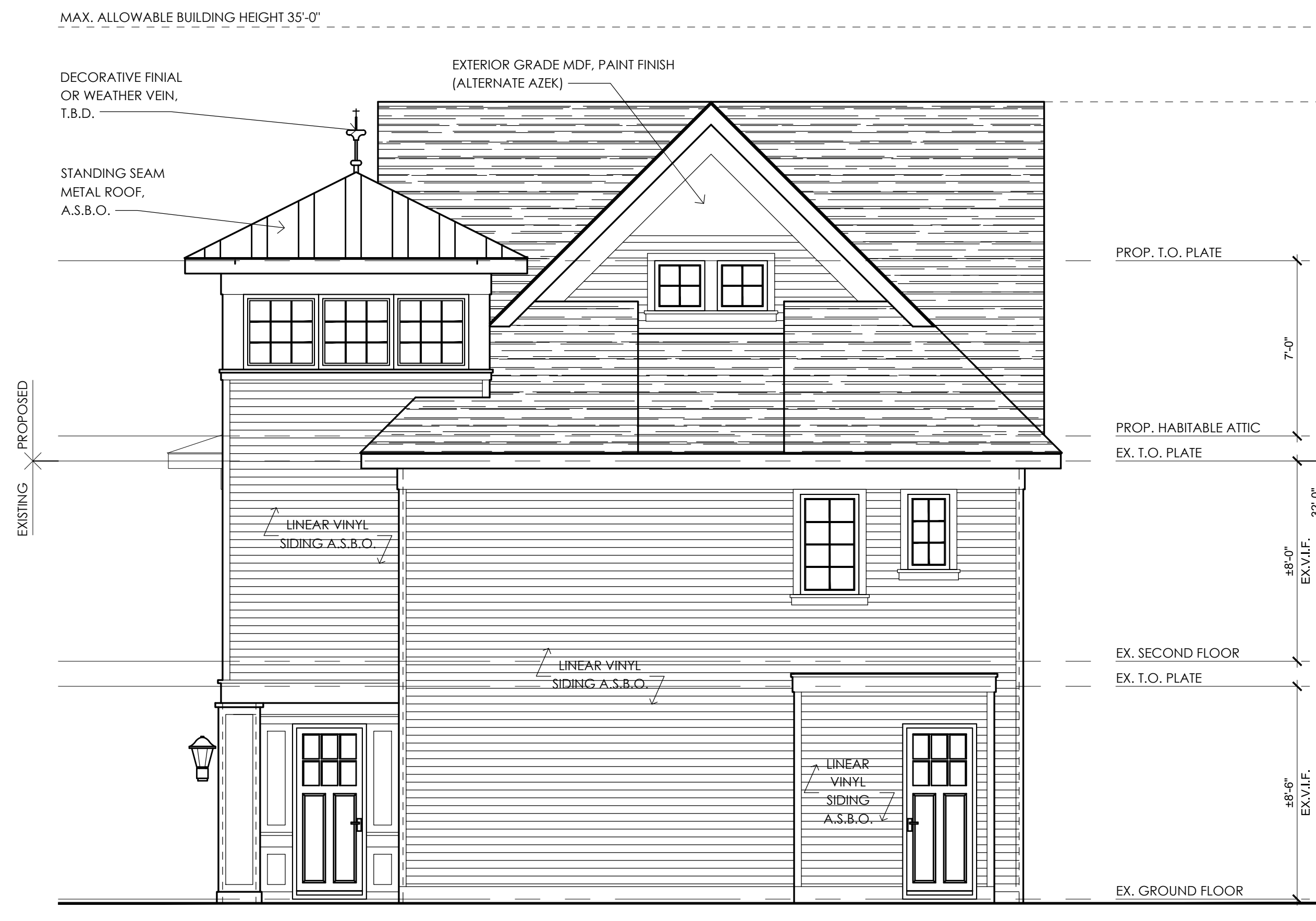
1 EXISTING REAR (NORTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING RIGHT (SOUTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR (NORTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



4 PROPOSED RIGHT (SOUTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"

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