PRELIMINARY & FINAL MAJOR SITE PLAN FOR 501-511 LAKE TERRACE BLOCK 7, LOT 2.03 TAX MAP SHEET #1 501-511 LAKE TERRACE

Muni-Block-Lot	Property Owner	Mailing Address	City/State/Zip
308-17-1	WONG WENDY & WINCIE & JEFFREY	83-25 VIETOR AVE-APT 7C	ELMHURST NY 11373
308-17-19	BIANCHI RICHARD T. SR. & PATRICIA	414 PARK PLACE AVE	BRADLEY BEACH N J 07720
.308-17-2	COOPERMAN DANIEL R & LENORE F.	413 NEWARK AVE	BRADLEY BEACH NJ 07720
.308-17-20	SCHENKER KAREN MCCLAIN ET ALS	4 BROOKFIELD COURT	CHESHIRE CT 06410
.308-17-3	O CONNELL KEVIN & TIZIANA NATASHA	411 1/2 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-18-1	HOLLOWAY CANDACE	517 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-18-10	CARREA DOMINIC & PAGNOTTA BEATRICE	501 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-18-11	VELARDI THOMAS & CHRISTINE	2 HOOPER CT	CLARKSBURG NJ 08510
1308-18-12	MULKINS BLAIR & MILLMANN LOUISE	502 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-13	O NEILL CHARLES B. & MARY D.	108 EVERGREEN AVE	BRADLEY BEACH NJ 07720
1308-18-14	IYER GURURAJ & SONEJA PRIYANKA	506 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-15	MAFFIA JAMES A	1202 MARION AVE	OCEAN NJ 07712
1308-18-16	RANDOLPH KENNETH F & CONSTANCE	508 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-17	PREKOP JACQUELINE	508A PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-18	AURIEMMA ARTHUR & SAVINO HOPE	44 OVERLOOK TERRACE	BLOOMFIELD NJ 07003
1308-18-19	MELICK JENNIFER	512 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-2	BARRATT KELLY A & JONATHAN L	515 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-18-20	AGUAM DARYLES & CINDY	514 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-18-21	MCDONOUGH DENNIS P & ROBERTA B	516 PARK PLACE AVENUE	BRADLEY BEACH NJ 07720
1308-18-3	HAHN MICHAEL & RACHEL C.	14 WINDERMERE ROAD	LINCROFT NJ 07738
1308-18-4		949 79TH ST	BROOKLYN NY 11228
1308-18-5	PERAZA LILLIAN	509 1/2 NEWARK AVE	BRADLEY BEACH N J 07720
1308-18-6	CONNOLLY ALICE T. TRUSTEE	223 A N MIDDLETOWN RD	PEARL RIVER NY 10965
1308-18-7	GROSS IRA & JUAREZ JL	507 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-18-8	ALBRECHT TRUST: JEFFREY TRUSTEE	1412 WEST 6 1/2 STREET	AUSTIN TX 78703
1308-18-9	HARTIGAN MARK & ELIZABETH P	64 BROOKFIELD AVE	NUTLEY NJ 07110
1308-19-5	NUTAITIS JULIANN	605 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-19-6	ARIAS ROBERTO	603-1/2 NEWARK AVENUE	BRADLEY BEACH NJ 07720
L308-19-7	DORRIS PETER M & MICHELE M	3 CARNATION COURT	MT. LAUREL NJ 08054
L308-19-8	KOEBLER AMY BLOCK	P.O. BOX 544	NANUET NY 10954
1308-19-9		7681 TIMBER CIRCLE	HUNTINGTON BEACH CA 9264
1308-2-1	OCEAN GROVE CAMPMEETING ASSOCIATION	PO BOX 248	OCEAN GROVE NJ 07756
1308-2-1.01	ROSS JUDITH M	414 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-2-2	OCEAN GROVE CAMPMEETING ASSOCIATION	54 PITMAN AVE	OCEAN GROVE NJ 07756
1308-2-2.01	VANARSDALE THOMAS R III ETAL	412 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-2-3.01	WIECZOREK FRANK C. & GLORIA	410 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-2-4.01	FLIPSE ROBYN	408 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-4.01-1	TRULLO RICHARD	520 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-4.01-10	BALL SHARON	123 POMONA ROAD	POMONA NY 10970
1308-4.01-11	ISAKSEN JUDITH	500 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-4.01-2	SHAH UTPAL & MARITONI	4393 PROVINCE LINE ROAD	PRINCETON NJ 08540
1308-4.01-3	GUERCIO RICHARD & SUSAN	800 FILBERT STREET	ROSELLE PARK NJ 07204
1308-4.01-4	MASELLA RICHARD & JEAN MARIE	514 LAKE TERR	BRADLEY BEACH NJ 07720
1308-4.01-5	BONOMOLO PETER A & PATRICIA	512 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-4.01-6	HURLEY KEVIN J & MARYANN	510 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-4.01-7	JULIAN JUNE	508 LAKE TERR	BRADLEY BEACH NJ 07720
1308-4.01-8	BELLINA CHARLES & NANCY	PO BOX 114	BRADLEY BEACH NJ 07720
1308-4.01-9	GRYSZKA MARLENE A & WILLIAM J	504 LAKE TERR	BRADLEY BEACH NJ 07720
1308-4.02-1	OCEAN GROVE CAMPMEETING ASSOCIATION	PO BOX 248	OCEAN GROVE NJ 07756
1308-4.02-2	STRASSBURGER ALBERT & LINDA	130 INSKIP AVE	OCEAN GROVE N J 07756
1308-4.03-1	BOROUGH OF BRADLEY BEACH	701 MAIN STREET	BRADLEY BEACH NJ 07720
1308-5-1.01	MERIDIAN NURSING & REHABILITATION	1350 CAMPUS PARKWAY	NEPTUNE NJ 07753
1308-7-1	OCEAN GROVE CAMP MEEING ASSC OF THE	PO BOX 248	OCEAN GROVE NJ 07756
1308-7-10	DALRYMPLE JOHN F & CIEMPOLA PAUL S	514 NEWARK AVENUE	BRADLEY BEACH NJ 07720
1308-7-11 1308-7-12	WEST ROBERT JAY & EVA MARIE TRIOLO CHARLES E & ELIZ. RAFTERY	518 NEWARK AVE 520 NEWARK AVENUE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
L308-7-12 L308-7-13		600 1/2 NEWARK AVENUE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
1308-7-13 1308-7-14	SHI SHOU HENG	355 61TH STREET	BROOKLYN NY 11220
L308-7-14 L308-7-15	SCHMIDT PHYLLIS	602 NEWARK AVENUE	BRADLEY BEACH NJ 07720
1308-7-15 1308-7-16	ANDERSON AMY LYN	602 1/2 NEWARK AVENUE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
L308-7-18 L308-7-17	HOFSESS SCOTT & JOANNE	604 NEWARK AVENUE	BRADLEY BEACH NJ 07720
1308-7-17 1308-7-18	RING JOHN P	606 NEWARK AVENUE	BRADLEY BEACH NJ 07720 BRADLEY BEACH NJ 07720
1308-7-18 1308-7-19	TAYLOR ROBERT & INEZ	1024 ARNOLD AVE	RARITAN NJ 08869
L308-7-19 L308-7-2.01	RIBEIRA ERNESTO&BUCKELEW PATRICIA L	601 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-7-2.01	SIRILAN HENEDIA V&LEVINSON STUART J	519 LAKE TERRACE	BRADLEY BEACH NJ 07720
1308-7-2.02	501 LAKE TERR LLC	1412 MAIN STREET	ASBURY PARK NJ 07712
1308-7-2.03	IZRAILEV MARK ALEXANDER	1101 FLETCHER LAKE AVE	BRADLEY BEACH NJ 07720
308-7-4	BUTLER SHANE & JENSEN MELISSA	500 NEWARK AVE	BRADLEY BEACH NJ 07720
L308-7-4 L308-7-5	MERENDA ANTHONY R & MARGARET S	504 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-7-6	YOUNGHANS WALTER & SUSAN	369 PROSPECT ST	SOUTH AMBOY NJ 08879
.308-7-7	HABLITZ ARTHUR JR & CAROLYN	508 NEWARK AVE	BRADLEY BEACH NJ 07720
1308-7-8	MCMAK 510 LLC	206 ROBBINS RD	NEPTUNE NJ 07753
L308-7-8	RAPAPORT ALLEN & JODI	512 NEWARK AVENUE	BRADLEY BEACH NJ 07720
1308-7-9.01	BRADLEY BEACH BORO	701 MAIN ST	BRADLEY BEACH NJ 07720
1308-8-10	MURRAY ANTHONY P & ANNE M	412 NEWARK AVENUE	BRADLEY BEACH NJ 07720
1308-8-10	BAMB REAL ESTATE LLC	6 KNOLLCROFT TERRACE	WARWICK NY 10990
L308-8-11 L308-8-12		416 NEWARK AVENUE	
1308-8-12 1308-8-13	NEVADUNSKY JOS J & SUZANNE ENG VIRGINIA W & YEU LAURA V	12 QUARRY DRIVE	BRADLEY BEACH NJ 07720 WOODLAND PARK NJ 07424
	ENG VIRGINIA W & YEO LAURA V ENG DANIEL D. & MARGARET L.		
1308-8-14	LOBO ALAN & ARKIN HOLLY	27 OAKDENE AVE	TEANECK NJ 07666
L308-8-15		445 WEST 54TH ST. 3B 127 MAGNOLIA AVE	NY NY 10019 SEA GIRT N J 08750
308-8-16 1308-8-8	BURNE MARY L BENDER TYLER & JEFFERIS JENNIFER	3 LAKEVIEW RD	LAMBERTVILLE NJ 08530

UTILITY CONTACTS

N.J. NATURAL GAS CO. 1450 WYCKOFF RD. P.O. BOX 1464 WALL, NJ 07719

N.J. AMERICAN WATER CO. 661 SHREWSBURY AVENUE SHREWSBURY, NJ 07702

MONMOUTH COUNTY PLANNING BOARD 1 EAST MAIN ST. HALL OF RECORDS ANNEX FREEHOLD, NJ 07728

CABLEVISION **1501 EIGHTEENTH AVENUE** P.O. BOX 58 WALL, NJ 07719

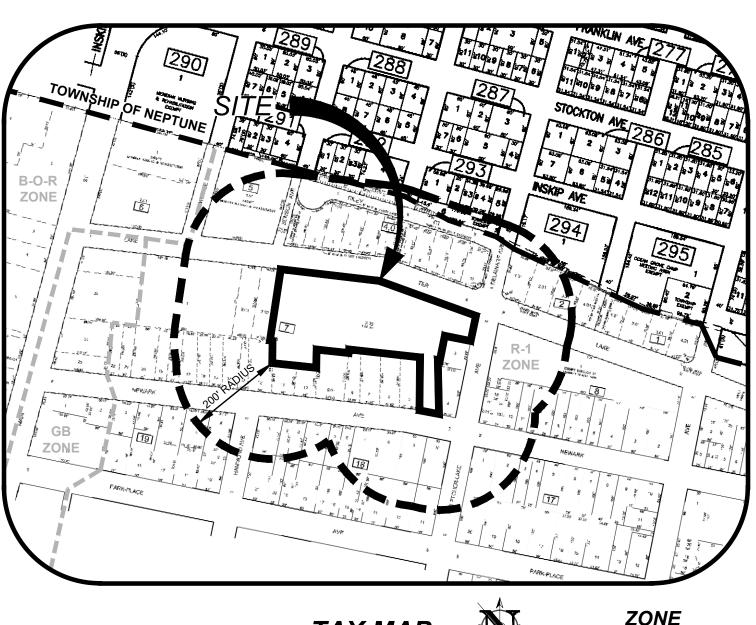
JERSEY CENTRAL POWER & LIGHT 300 MADISON AVENUE MORRISTOWN, NJ 07960

VERIZON NEW JERSEY INC 175 WEST MAIN STREET FREEHOLD, NJ 07728

TO BE NOTIFIED BY CERTIFIED MAIL: DIVISION OF ENGINEERING COUNTY OF MONMOUTH P.O. BOX 1255 FREEHOLD, NJ 07728

STATE OF NEW JERSEY COMMISSIONER OF TRANSPORTATION 1035 PARKWAY AVENUE, CN 600 TRENTON, NJ 08625

BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, NJ



Scale: 1"=200' SITE | SITE EMBURY AVE Ocean Gro **Bradley Beach** Bradley Beach 🔁 B USGS MAP

Scale: 1"=2000'

<u>ZONE</u> R-1: RESIDENTIAL SINGLE FAMILY B-O-R: OFFICE AND RESEARCH GB: GENERAL BUSINESS

Achim (Orthodox)

Bradley Beach LOCATION MA Scale: 1"=1000'

GENERAL NOTES

CENTER SITE COORDINATES 500,812N 627,835E.

- HORIZONTAL DATUM: NAD83
- 4. BASE FLOOD ELEVATION
- ARCHITECTURAL INFORMATION
- VERIFICATION OF UTILITIES
- LATEST EDITION.
- 9. CONSTRUCTION REQUIREMENTS

 - PERMITS PRIOR TO CONSTRUCTION.

- 11. <u>CONSTRUCTION PERMITS/INSPECTIONS</u> CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF
- 13. STORMWATER POLLUTION PREVENTION PLAN
- 14. OVERALL CONSTRUCTION DOCUMENTS

OF THE PROJECT.

ZONING BOARD APPROVAL APPROVED BY THE BOROUGH OF BRADLEY BEACH ZONING BOARD O **BOARD CHAIRPERSON** BOARD SECRETARY BOARD ENGINEER

SUBJECT PROPERTY TAX MAP 1: BLOCK 7, LOT 2.03, BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

PURPOSE OF THIS PLAN SET THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN MUNICIPAL AND AGENCY REVIEW AND DESCRIPTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.

SURVEY DATA SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY OF BLOCK 7, LOT 2.03, 501-511 LAKE TERRACE", BEING DATED 10/08/20. VERTICAL DATUM: NAVD88

ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) " COMMUNITY PANEL 34025C0334E, DATED 9/25/09, THE SITE IS LOCATED IN ZONE X, ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)". COMMUNITY PANEL 34025C0334G. DATED 01/31/14. THE SITE IS LOCATED IN ZONE X. BOTH FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM

ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY MICHAEL SAVARESE ASSOCIATES ENTITLED "COVERED ENTRY FOR: 501 LAKE TERRACE, BRADLEY BEACH, NJ 07712", BEING DATED 10/08/19, LAST REVISED 03/04/20

5. UNDERGROUND UTILITIES NOTIFICATION FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.

THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

8. <u>SPECIFICATIONS</u> UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",

a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL

b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS. e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.

TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE THE BOROUGH OF BRADLEY BEACH, COUNTY OF MONMOUTH, NJ AMERICAN WATER, SEWER COMPANY, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.

 12. ADA COMPLIANCE

 a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS
 FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES: TITLE III. b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.

a. SOIL EROSION PLANS HAVE BEEN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJ6008823 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. b. CONTRACTOR/DEVELOPER MUST PREPARE AND FOLLOW A STORMWATER POLLUTION PREVENTION PLAN FOR THE DURATION

IIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.

ADJUSTMENT				
/ DOOD I MENT				
		INDEX OF SHEETS:		
	SHEET #:	SHEET TITLE:	INITIAL RELEASE:	REV. DATE:
	C100	TITLE SHEET	11/20/20	
	C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	11/20/20	
	C300	SITE LAYOUT PLAN	11/20/20	
DATE	C301	TURNING MOVEMENT PLAN	11/20/20	
DAIL	C400	GRADING AND DRAINAGE PLAN	11/20/20	
	C600	LANDSCAPE PLAN	11/20/20	
	C601	LANDSCAPE DETAILS	11/20/20	
D.175	C602	LIGHTING PLAN AND DETAILS	11/20/20	
DATE	C800	CONSTRUCTION DETAILS	11/20/20	
	C801	CONSTRUCTION DETAILS	11/20/20	
	C802	CONSTRUCTION DETAILS	11/20/20	
	C900	SOIL EROSION & SEDIMENT CONTROL PLAN	11/20/20	
DATE	C901	SESC NOTES & DETAILS	11/20/20	

LA	LAKE				
TERRACE					
PROJECT LOCATION: BLOCK 7, LOT 2.03					
501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH					
MONMOUTH COUNTY, NJ TAX MAP SHEET #1 <u>OWNER:</u>					
501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656					
APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656					
	APPLICANT'S PROFESSIONALS				
FOX ROTHSCHILD, LLF 49 MARKET STREET	<u>ATTORNEY:</u> FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960				
ARCHITECT: MICHAEL SAVARESE A 34 SYCAMORE AVENUE LITTLE SILVER, NJ 0773	E, UNIT #1E				
LANDSCAPE ARCH BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005	<u>IITECT:</u>				
SURVEYOR: INSITE SURVEYING, LL 1955 ROUTE 34, SUITE WALL, NJ 07719	1A				
WALL, NJ 07/19					
	2003 RE YOU DIG!				
(at least 3 days p ELECTRIC	800-272-1000 rior to excavation) RED VELLOW				
GAS / OIL COMMUNICATION / TV WATER SEWER	YELLOW ORANGE BLUE GREEN				
TEMP. SURVEY MARKINGS PROPOSED EXCAVATION	MAGENTA WHITE				
	SITE gineering • Surveying • Planning				
InSite Engir CERTIFICATE OF AUTHO 1955 ROUTE 34, SUIT 732-531-7100 (Ph)	gineering • Surveying • Planning meering, LLC RIZATION: 24GA28083200 TE 1A, WALL, NJ 07719 732-531-7344 (Fax) t www.InSiteEng.net				
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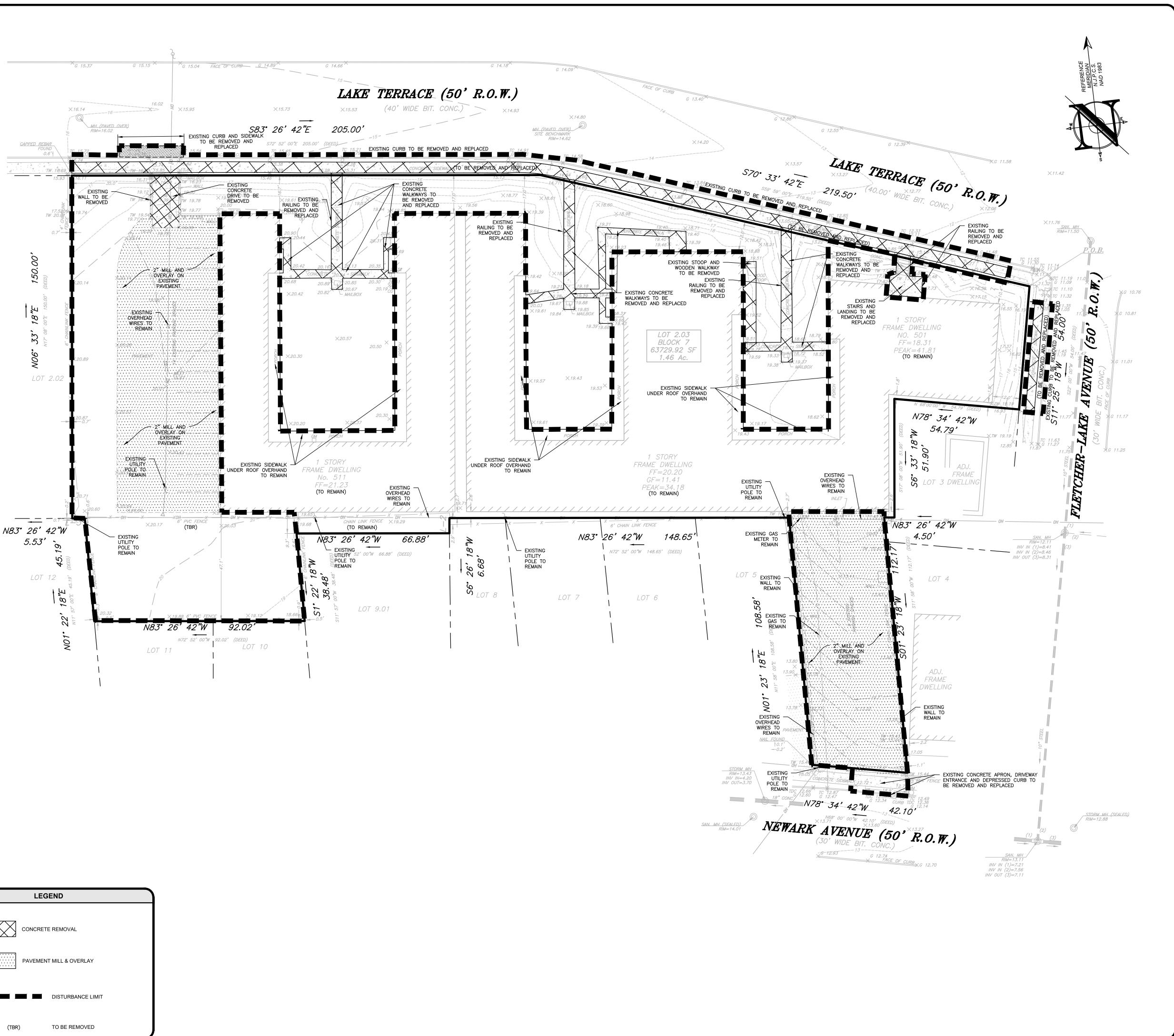
PROJECT INFORMATION

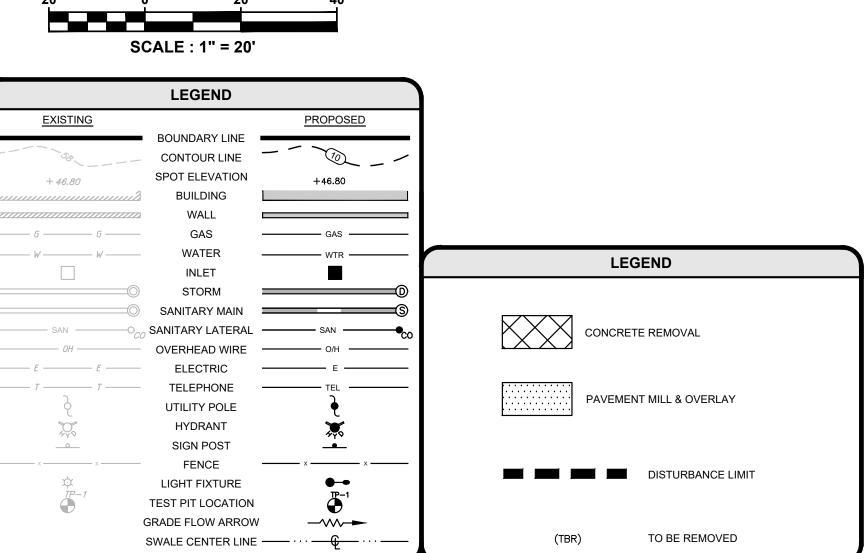
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OJECT NAME:

SITE PREPARATION NOTES

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
- a. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.b. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
- c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
- d. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 e. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE
- EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 f. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- g. A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- h. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
- i. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
- 2. IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
- 3. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 4. USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 5. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 6. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 7. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
- 8. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.





501-511 LAKE TERRACE
DROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1 DWNER: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT'S PROFESSIONALS <u>ATTORNEY:</u> FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960
ARCHITECT: MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739
LANDSCAPE ARCHITECT: BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005 SURVEYOR:
INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719
SINCE 2003
CALL BEFORE YOU DIG! NJ ONE CALL800-272-1000 (at least 3 days prior to excavation)
ELECTRIC RED GAS/OIL YELLOW COMMUNICATION/TV ORANGE WATER BLUE SEWER GREEN TEMP. SURVEY MARKINGS MAGENTA PROPOSED EXCAVATION WHITE
InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net
LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED
ASON L. FICHTER, PE, PP, CFM, CME NJPE 43118 NJPP 6726 PAPE 61968 DEPE 3813 NYPE 802295 CTPE 23291 NCPE 33336 DCPE 900682 COPE 36605 REVISIONS
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JOB #: 20-1472-01 CHECKED BY: JLF
X NOT FOR CONSTRUCTION APPROVED BY: FOR CONSTRUCTION PLAN INFORMATION
DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN
SHEET TITLE: EXISTING CONDITIONS & SITE PREPARATION PLAN

SHEET NO:

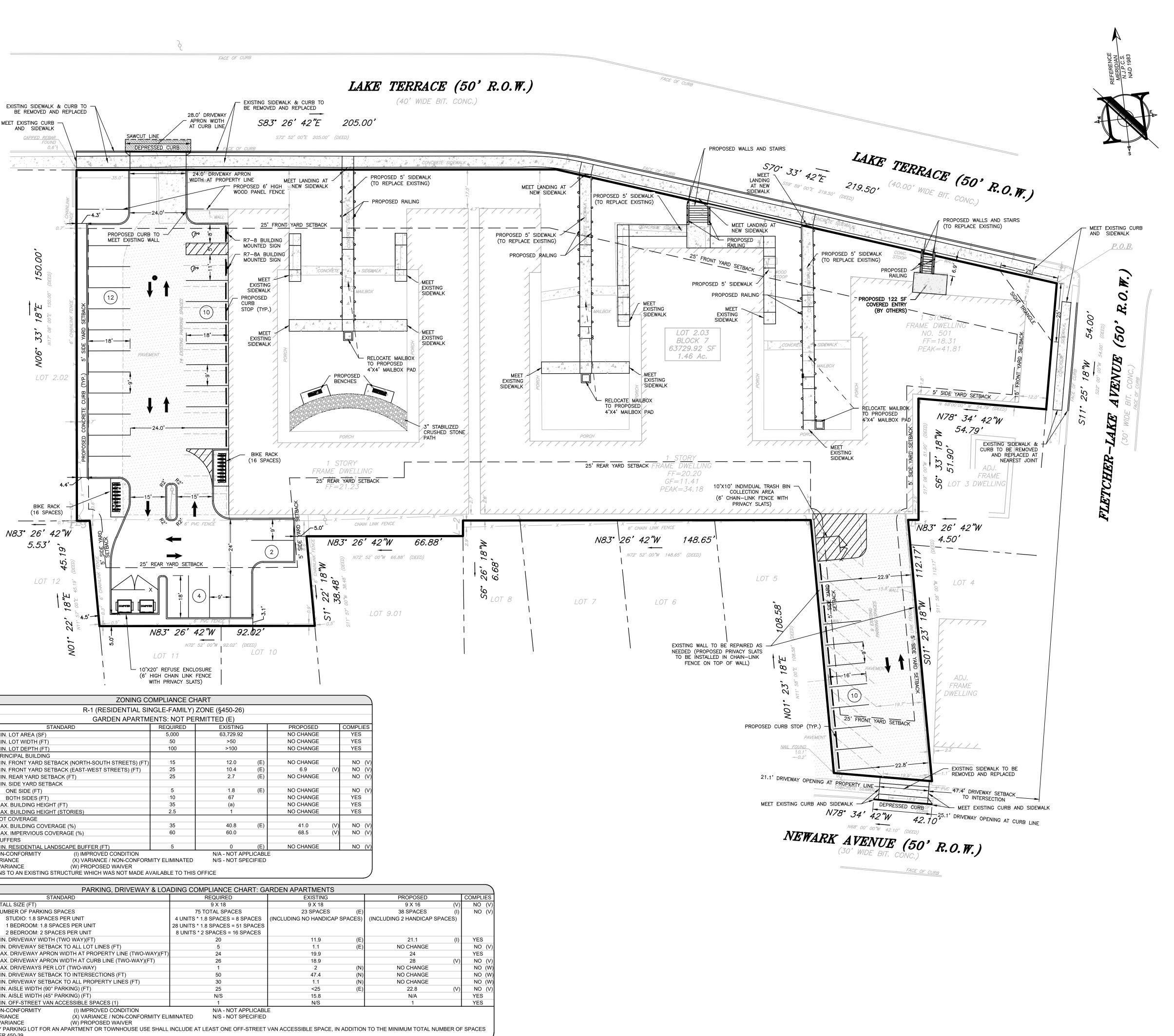
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PROJECT INFORMATION

ROJECT NAME:

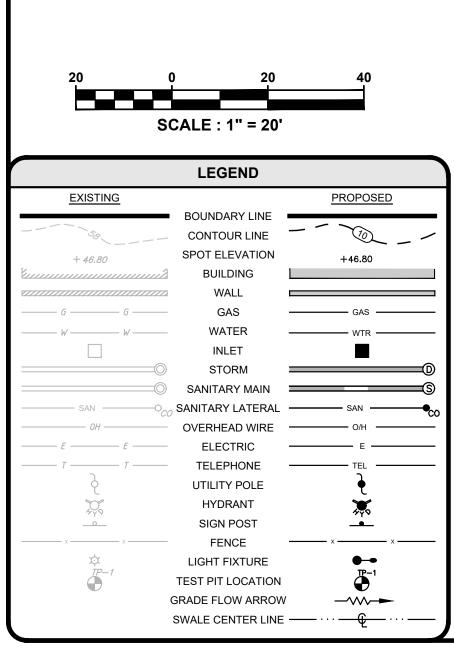
SITE LAYOUT NOTES

- ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.
- ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
- ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
- ALL SIDEWALK RAMPS MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.
- ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
- ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
- SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8".
- SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
- SEE ARCHITECT'S PLANS FOR COVERED BUILDING ENTRYWAY INFORMATION.
- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH NEW JERSEY ADMINISTRATIVE CODE, TITLE 5, CHAPTER 21, "RESIDENTIAL SITE IMPROVEMENT STANDARDS".



	ZONING COMPLIANCE CHART					
	R-1 (RESIDENTIAL SINGLE-FAMILY) ZONE (§450-26)					
	GARDEN APARTMENTS: NOT PERMITTED (E)					
ORD.SECTION	STANDARD	REQUIRED	EXISTING			
SCHEDULE	MIN. LOT AREA (SF)	5,000	63,729.92			
SCHEDULE	MIN. LOT WIDTH (FT)	50	>50			
SCHEDULE	MIN. LOT DEPTH (FT)	100	>100			
	PRINCIPAL BUILDING					
SCHEDULE	DULE MIN. FRONT YARD SETBACK (NORTH-SOUTH STREETS) (FT)		12.0	(E)		
SCHEDULE	MIN. FRONT YARD SETBACK (EAST-WEST STREETS) (FT)	25	10.4	(E)		
SCHEDULE	MIN. REAR YARD SETBACK (FT)	25	2.7	(E)		
SCHEDULE	MIN. SIDE YARD SETBACK					
	ONE SIDE (FT)	5	1.8	(E)		
	BOTH SIDES (FT)	10	67			
SCHEDULE	MAX. BUILDING HEIGHT (FT)	35	(a)			
450-26	MAX. BUILDING HEIGHT (STORIES)	2.5	1			
	LOT COVERAGE					
SCHEDULE	MAX. BUILDING COVERAGE (%)	35	40.8	(E)		
SCHEDULE MAX. IMPERVIOUS COVERAGE (%)		60	60.0			
	BUFFERS					
450-45 MIN. RESIDENTIAL LANDSCAPE BUFFER (FT) 5			0	(E)		
	(N) EXISTING NON-CONFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE					
(E) EXISTING	()	/ITY ELIMINATED	N/S - NOT SPEC	IFIED		
(V) PROPOSEI						
(a) THIS PERT	AINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AV	VAILABLE TO THIS	OFFICE			
/		8 LOADING CO		TICA	DL	

ORD.SECTION	STANDARD	REQUIRED		
450-41(B)	STALL SIZE (FT)	9 X 18		
R.S.I.S.	NUMBER OF PARKING SPACES	75 TOTAL SPACES		
	STUDIO: 1.8 SPACES PER UNIT	4 UNITS * 1.8 SPACES = 8 SPACES	(INC	
	1 BEDROOM: 1.8 SPACES PER UNIT	28 UNITS * 1.8 SPACES = 51 SPACES		
	2 BEDROOM: 2 SPACES PER UNIT	8 UNITS * 2 SPACES = 16 SPACES		
450-41(B)	MIN. DRIVEWAY WIDTH (TWO WAY)(FT)	20		
450-41(B1)	MIN. DRIVEWAY SETBACK TO ALL LOT LINES (FT)	5		
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT PROPERTY LINE (TWO-WAY)(FT)	24		
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT CURB LINE (TWO-WAY)(FT)	26		
450-41(B)	MAX. DRIVEWAYS PER LOT (TWO-WAY)	1		
450-41(B)	MIN. DRIVEWAY SETBACK TO INTERSECTIONS (FT)	50		
450-41(B7)	MIN. DRIVEWAY SETBACK TO ALL PROPERTY LINES (FT)	30		
450-41(B)	MIN. AISLE WIDTH (90° PARKING) (FT)	25		
450-41(B)	MIN. AISLE WIDTH (45° PARKING) (FT)	N/S		
450-41(B)	MIN. OFF-STREET VAN ACCESSIBLE SPACES (1)	1		
(N) EXISTING	NON-CONFORMITY (I) IMPROVED CONDITION	N/A - NOT APPLICABL	Ē	
(E) EXISTING VARIANCE (X) VARIANCE / NON-CONFORMITY ELIMINATED N/S - NOT SPECIFIED				
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER				
	RY PARKING LOT FOR AN APARTMENT OR TOWNHOUSE USE SHALL	INCLUDE AT LEAST ONE OFF-STREET	VAN /	
REQUIRED UN	IDER 450-39.			

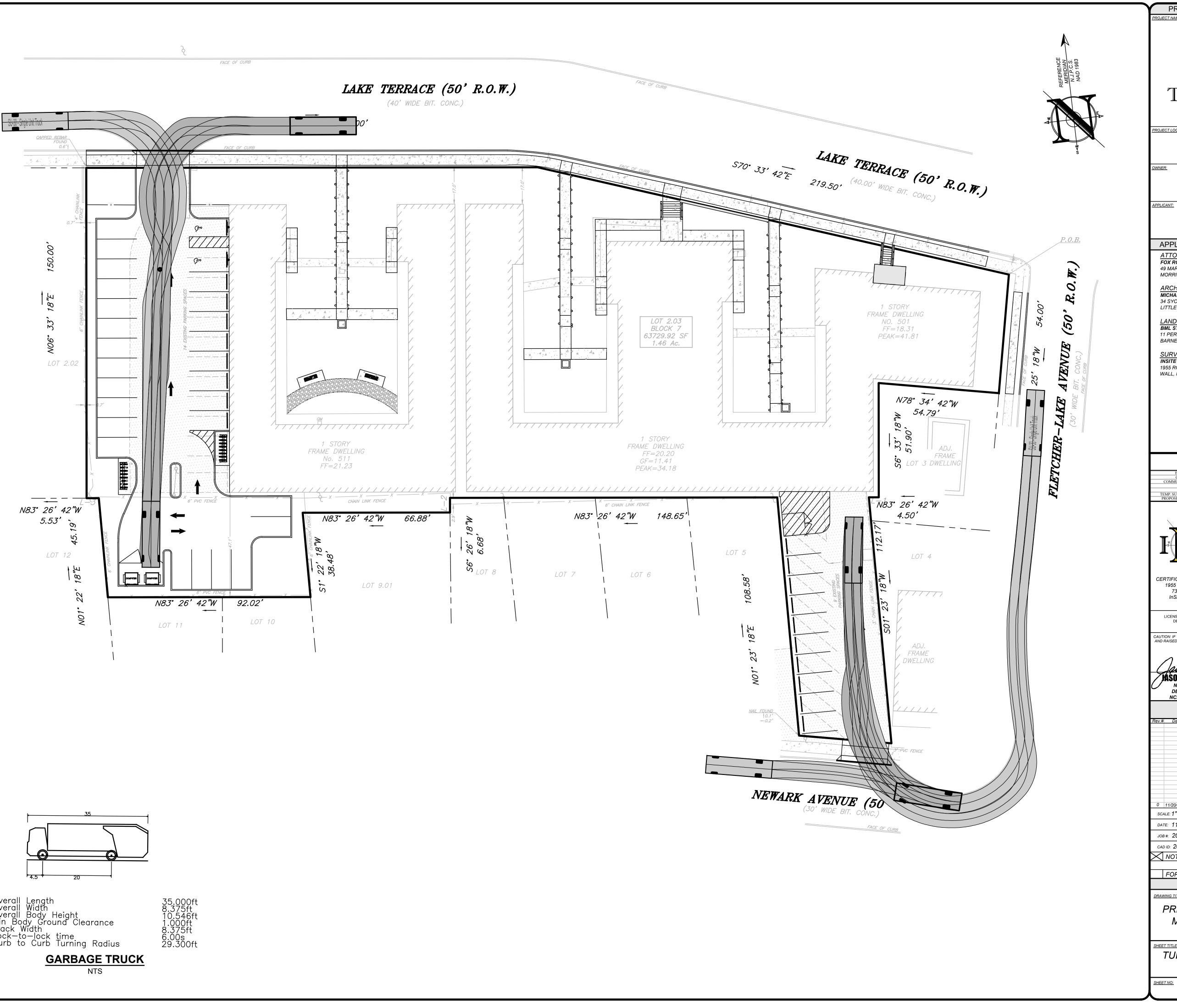


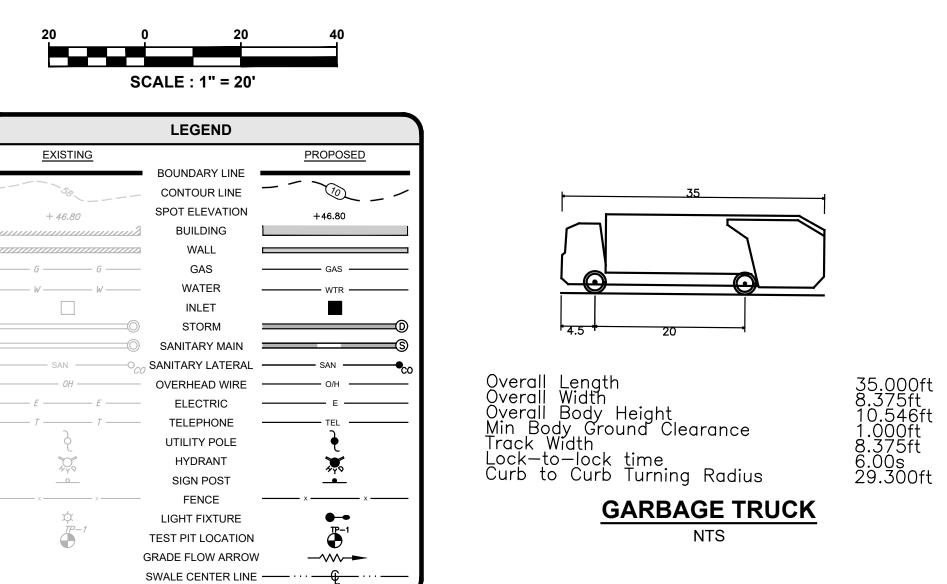
PROJECT NAME:
501-511
LAKE
TERRACE
PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ
TAX MAP SHEET #1 <u>OWNER:</u> 501 LAKE TERRACE, LLC
1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT: 501 LAKE TERRACE, LLC
1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT'S PROFESSIONALS
<u>ATTORNEY:</u> FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960
ARCHITECT:
MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739
LANDSCAPE ARCHITECT: BML STUDIO, LLC
11 PERIWINKLE DRIVE BARNEGAT, NJ 08005
SURVEYOR: INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A WALL, NJ 07719
WALL, NJ 07719
ST AND A FE
SINCE 2003
CALL BEFORE YOU DIG! NJ ONE CALL800-272-1000 (at least 3 days prior to excavation)
ELECTRIC RED GAS / OIL YELLOW COMMUNICATION / TV ORANGE WATER BLUE
SEWER GREEN TEMP. SURVEY MARKINGS MAGENTA PROPOSED EXCAVATION WHITE
I SITE Engineering • Surveying • Planning
InSite Engineering, LLC
InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)
InSite Engineering, LLC InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net
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SHEET NO:

C300

PROJECT INFORMATION



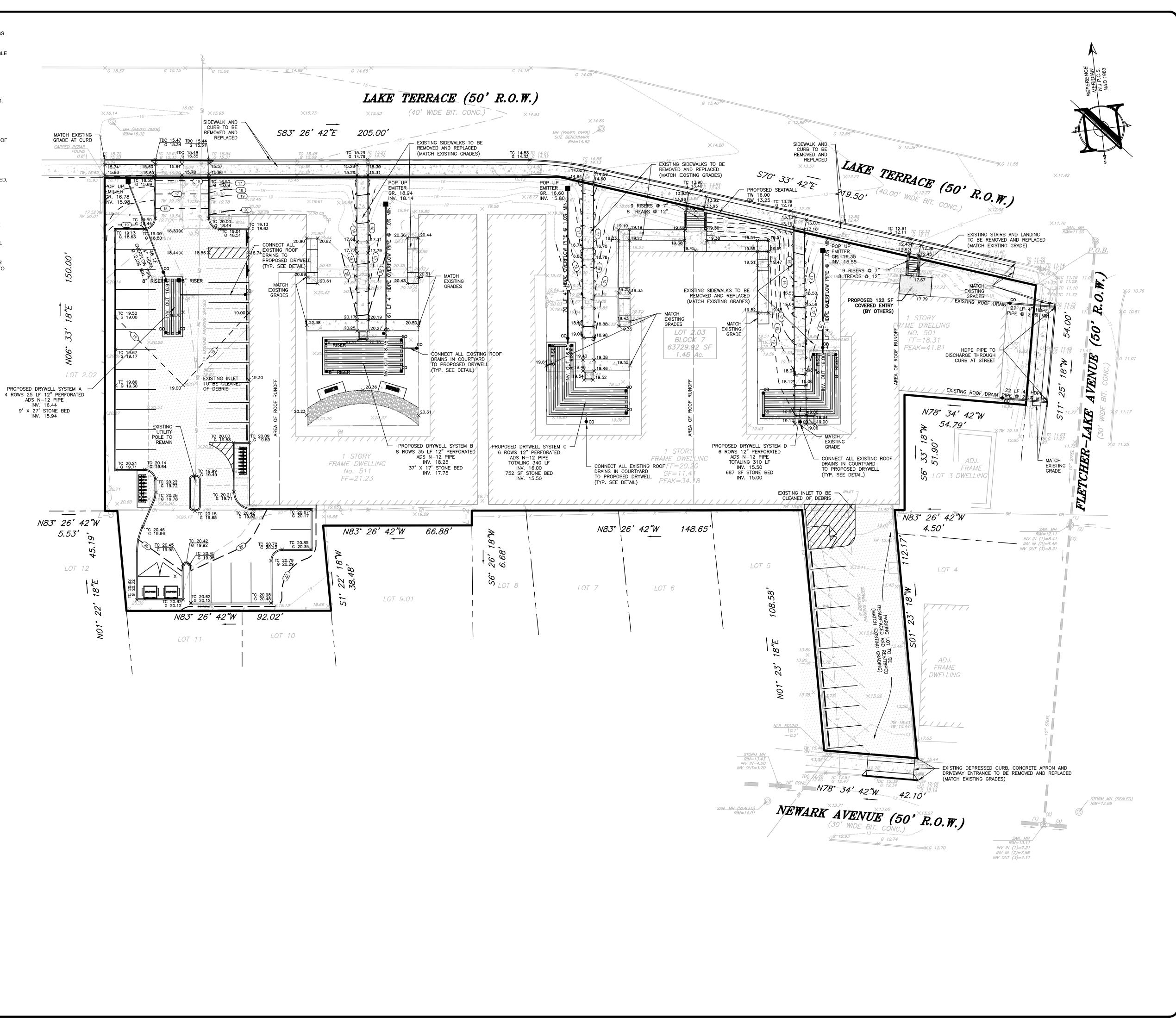


<u>PROJECT NAME:</u>		
5	01-511	
	LAKE	
TT	RRACE	
	NNAUL	
PROJECT LOCATION:		
	BLOCK 7, LOT 2.03 I-511 LAKE TERRACE	
MO	JGH OF BRADLEY BEACH NMOUTH COUNTY, NJ	
OWNER:	TAX MAP SHEET #1	
 501 L	AKE TERRACE, LLC	
	1412 MAIN STREET BURY PARK, NJ 07712 (720) 772 5656	
APPLICANT:	(732) 772-5656	
501 L	AKE TERRACE, LLC	
	1412 MAIN STREET BURY PARK, NJ 07712 (732) 772-5656	
APPLICAN	IT'S PROFESSIONALS	
FOX ROTHSCH 49 MARKET ST	- HILD, LLP	
49 MARKET ST MORRISTOWN		
34 SYCAMORE	ARESE ASSOCIATES E AVENUE, UNIT #1E	
LITTLE SILVER		
LANDSCAP	<u>E ARCHITECT:</u> LLC	
11 PERIWINKL BARNEGAT, N	EDRIVE	
SURVEYOR		
INSITE SURVE	YING, LLC	
1955 ROUTE 3- WALL, NJ 0771	0	
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	SINCE 2003	
-	ALL BEFORE YOU DIG! DNE CALL800-272-1000	
ELECTRIC	(at least 3 days prior to excavation) RED	
GAS / OIL COMMUNICATIO WATER	BLUE	
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Δ		
	HSITE	
	Engineering • Surveying • Planning	
InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200		
1955 ROUTE		
732-531-7	100 (Ph) 732-531-7344 (Fax) iteEng.net www.InSiteEng.net	
732-531-7 InSite@InS	100 (Ph) 732-531-7344 (Fax) iteEng.net www.InSiteEng.net	
732-531-7 InSite@InS LICENSED IN: NE DELAWARE	100 (Ph) 732-531-7344 (Fax) iteEng.net www.InSiteEng.net wyJERSEY, NEW YORK, PENNSYLVANIA CONNECTICUT, NORTH CAROLINA	
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GRADING AND DRAINAGE NOTES

- ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.
- ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
- FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG). a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%). b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS. c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
- d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
- e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
- ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
- POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
- ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.
- ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL IN ACCORDANCE WITH THE NJDEP "ALTERNATIVE AND CLEAN FILL GUIDANCE FOR SRP SITES", LATEST EDITION. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT. ALL IMPORTED MATERIAL REQUIRES APPROVAL BY OWNER PRIOR TO PLACEMENT ONSITE.
- SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL STORM SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
- 10. BUILDING ROOF LEADERS TO CONNECT TO SITE STORM SEWER SYSTEM.



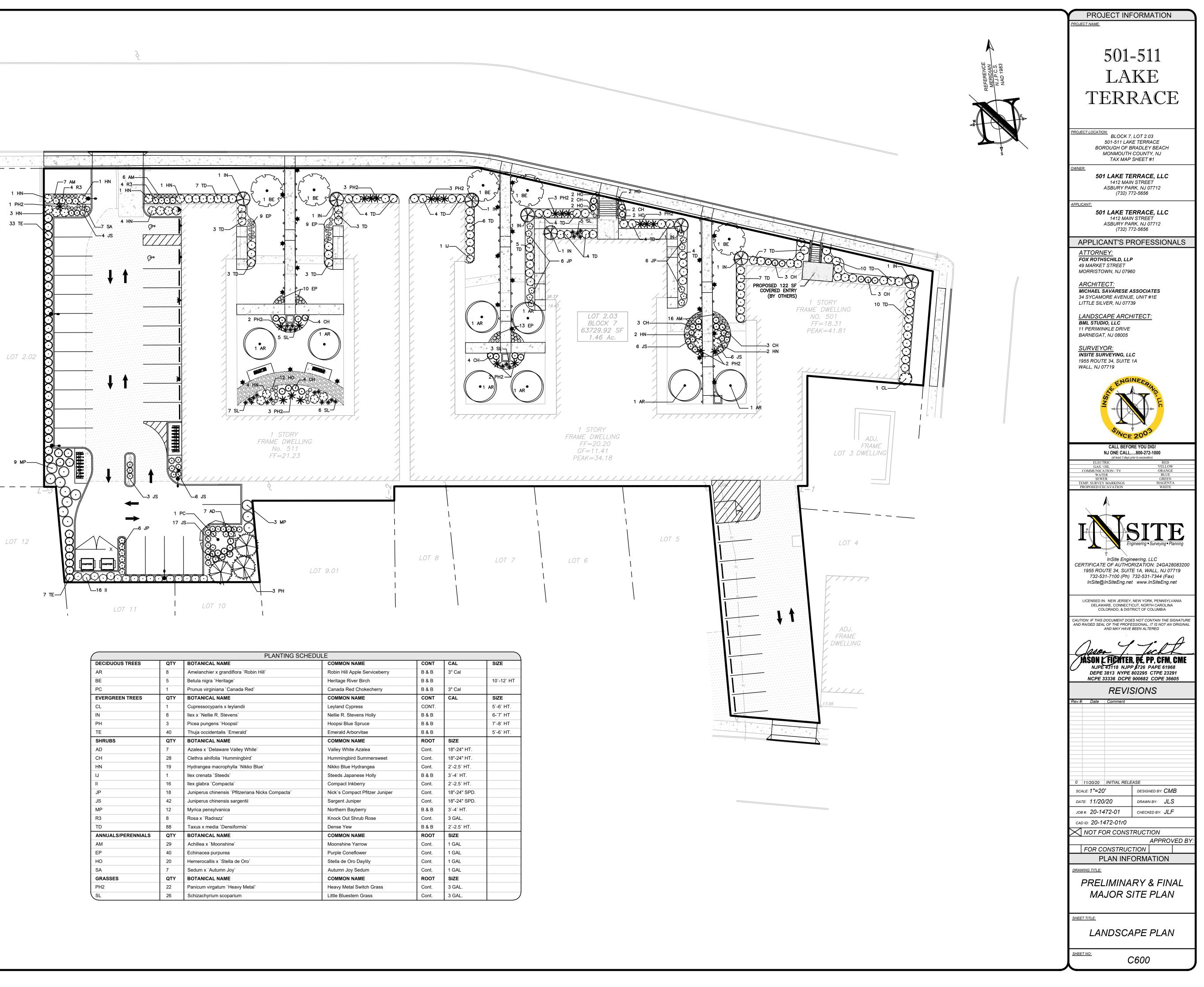


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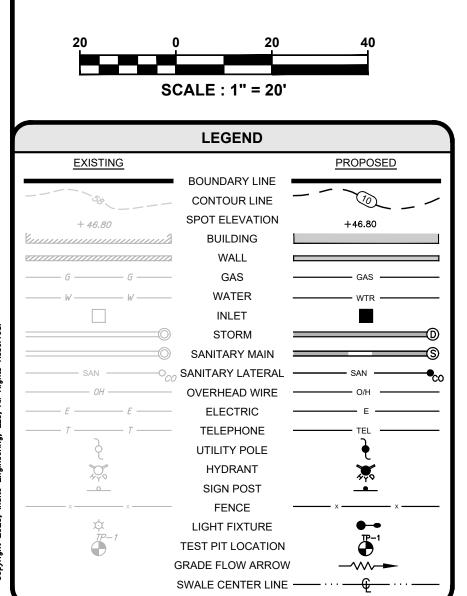
PROJECT INFORMATION
PROJECT NAME:
EN1 E11
501-511
LAKE
TERRACE
PROJECT LOCATION:
BLOCK 7, LOT 2.03 501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ
TAX MAP SHEET #1
<u>OWNER:</u> 501 LAKE TERRACE, LLC
1412 MAIN STREET ASBURY PARK, NJ 07712
(732) 772-5656
APPLICANT:
501 LAKE TERRACE, LLC 1412 MAIN STREET
ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT'S PROFESSIONALS
ATTORNEY:
FOX ROTHSCHILD, LLP 49 MARKET STREET
MORRISTOWN, NJ 07960
ARCHITECT:
MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739
LANDSCAPE ARCHITECT:
BML STUDIO, LLC 11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005
<u>SURVEYOR:</u> INSITE SURVEYING, LLC
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WALL, NJ 07719
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GAS / OIL YELLOW COMMUNICATION / TV ORANGE WATER BLUE
SEWER GREEN TEMP. SURVEY MARKINGS MAGENTA
PROPOSED EXCAVATION WHITE
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INSITE
InSite Engineering, LLC
InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200
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GENERAL LANDSCAPE NOTES

- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF ALL PLANTING AREAS.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY, PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- REFER TO PLANTING DETAILS SHEET FOR ADDITIONAL INFORMATION.
- 13. ALL TURF AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.
- ALL TURF AREAS AND PLANTING AREAS ARE TO IRRIGATED. THE CONTRACTOR IS TO PROVIDE A DETAILED IRRIGATION PLAN AND GAIN TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A 1-YEAR PERIOD FROM THE RELEASE OF THE PERFORMANCE BOND. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARUNTEE PERIOD.
- SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES.



PLANTING SCHEDULE						
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
AR	8	Amelanchier x grandiflora `Robin Hill`	Robin Hill Apple Serviceberry	B & B	3" Cal	
BE	5	Betula nigra `Heritage`	Heritage River Birch	B & B		10`-12` HT
PC	1	Prunus virginiana `Canada Red`	Canada Red Chokecherry	B & B	3" Cal	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CL	1	Cupressocyparis x leylandii	Leyland Cypress	CONT.		5`-6` HT.
IN	8	llex x `Nellie R. Stevens`	Nellie R. Stevens Holly	B & B		6-`7` HT
PH	3	Picea pungens `Hoopsii`	Hoopsi Blue Spruce	B & B		7`-8` HT
TE	40	Thuja occidentalis `Emerald`	Emerald Arborvitae	B & B		5`-6` HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
AD	7	Azalea x `Delaware Valley White`	Valley White Azalea	Cont.	18"-24" HT.	
СН	28	Clethra alnifolia `Hummingbird`	Hummingbird Summersweet	Cont.	18"-24" HT.	
HN	19	Hydrangea macrophylla `Nikko Blue`	Nikko Blue Hydrangea	Cont.	2`-2.5` HT.	
IJ	1	llex crenata `Steeds`	Steeds Japanese Holly	B & B	3`-4` HT.	
II	16	llex glabra `Compacta`	Compact Inkberry	Cont.	2`-2.5` HT.	
JP	18	Juniperus chinensis `Pfitzeriana Nicks Compacta`	Nick`s Compact Pfitzer Juniper	Cont.	18"-24" SPD.	
JS	42	Juniperus chinensis sargentii	Sargent Juniper	Cont.	18"-24" SPD.	
MP	12	Myrica pensylvanica	Northern Bayberry	B & B	3`-4` HT.	
R3	8	Rosa x `Radrazz`	Knock Out Shrub Rose	Cont.	3 GAL.	
TD	88	Taxus x media `Densiformis`	Dense Yew	B & B	2`-2.5` HT.	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
AM	29	Achillea x `Moonshine`	Moonshine Yarrow	Cont.	1 GAL	
EP	40	Echinacea purpurea	Purple Coneflower	Cont.	1 GAL	
НО	20	Hemerocallis x `Stella de Oro`	Stella de Oro Daylily	Cont.	1 GAL	
SA	7	Sedum x `Autumn Joy`	Autumn Joy Sedum	Cont.	1 GAL	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
PH2	22	Panicum virgatum `Heavy Metal`	Heavy Metal Switch Grass	Cont.	3 GAL.	
SL	26	Schizachyrium scoparium	Little Bluestem Grass	Cont.	3 GAL.	



GENERAL SITE PLANTING

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS. FOLLOWING APPROVAL FROM THE UNDERSIGNED.

- WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES) REMOVE ALL EXISTING WEEDS FROM SURFACE AND DISPOSE OFFSITE
- IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS
- REPORT 4. WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID EROSION. 5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.
- OPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.
- SOIL PREPARATION & FINAL GRADING
- ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE. ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING
- PLAN. FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
- SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS, ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH., SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB. REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.

D. <u>PLANTING</u> PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. GROUND COVER - FLATS AND/OR CUTTINGS:

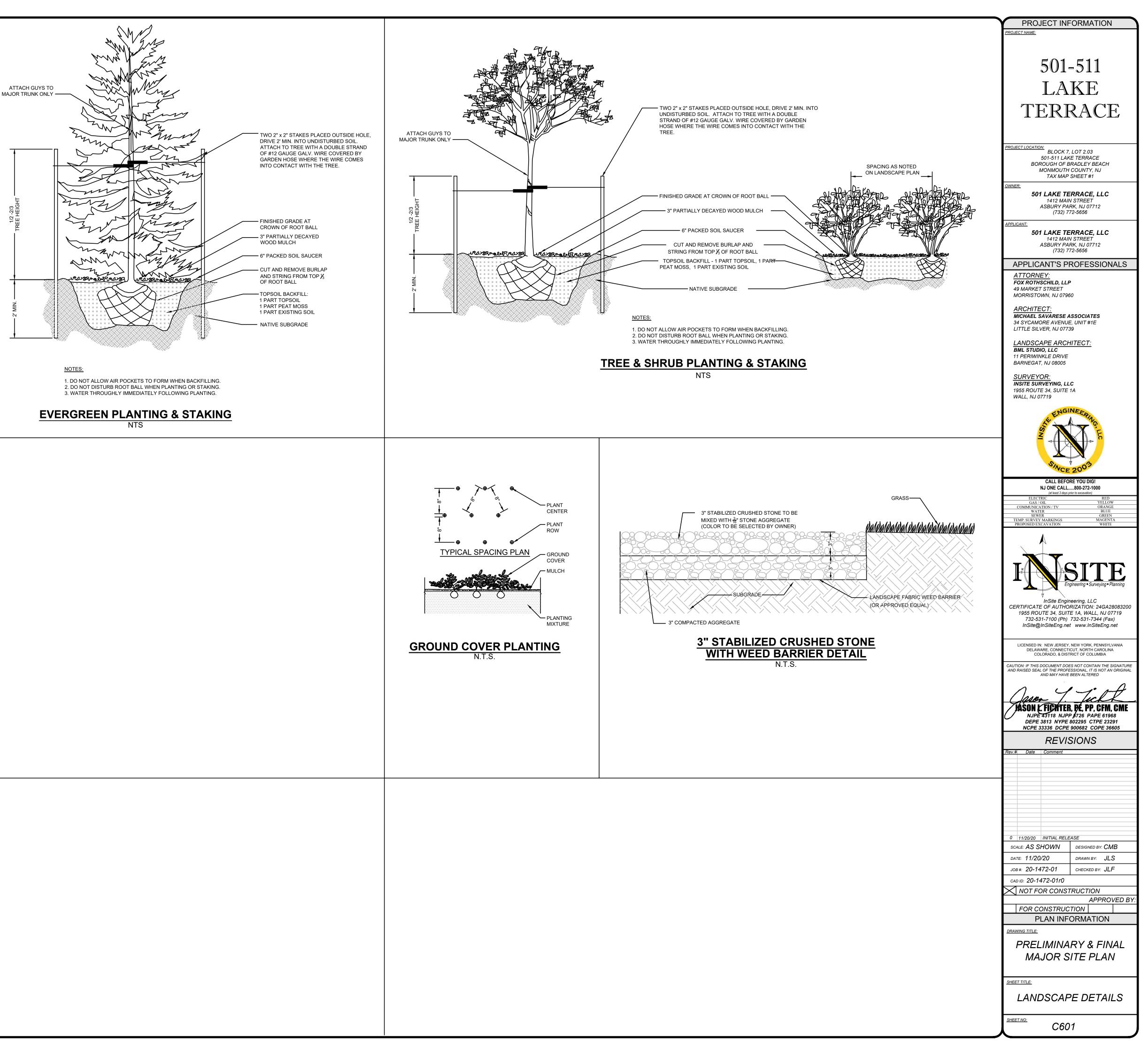
- ALL PLANT MATERIALS SPECIFIED AS PLUGS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS, PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY. SHRUBS:
- PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN. TRFFS
- ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 ½) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING/ EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON. 4 TOP DRESSING:
- TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING PLAN.
- AREAS SHALL HAVE A SMOOTH CONTINUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS. ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE. APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6".
- SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY.
- 4. UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE JOINTS AND EDGES.
- FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED SOIL. 6. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 9" WIDE SHALL NOT BE USED.
- NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED

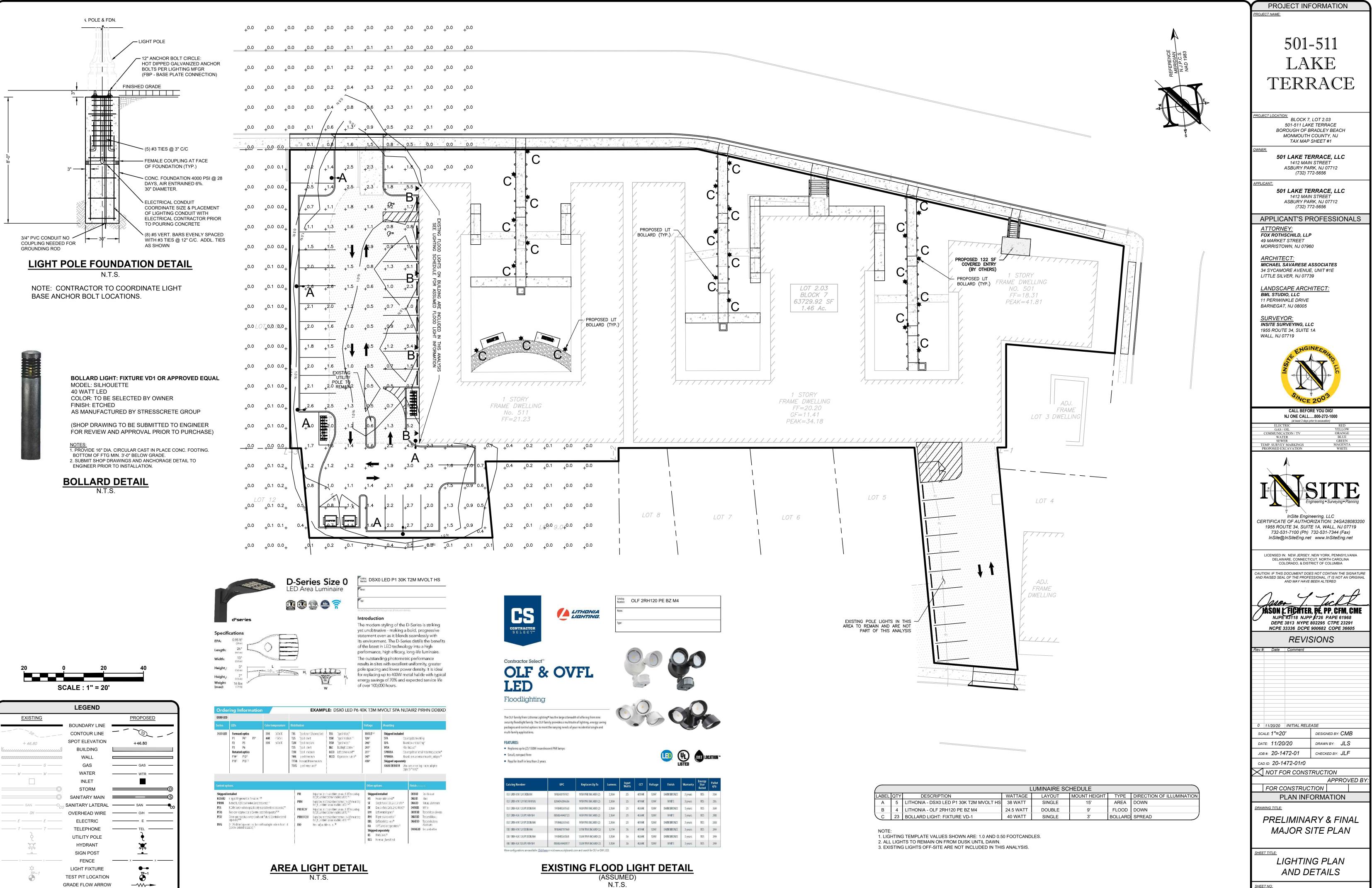
GENERAL SLOPE PLANTING

- SLOPE TEXTURING
- a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS. b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
- WEED ERADICATION
- a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE. b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS. c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS
- d. IF PERENNIAL WEEDS APPEAR. DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS. THEN APPLY RECOMMENDED HERBICIDE BY LICENSED APPLICATOR IF ANNUAL WEEDS APPEAR, USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER. e. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD.
- f. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.RO g. REMOVE ALL DESICCATED WEEDS FROM SLOPES.
- PLANTING PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS.

GENERAL LANDSCAPING NOTES

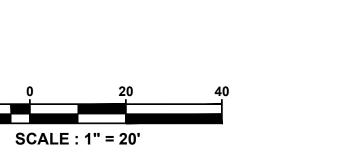
- AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.
- MAINTENANCI DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED. PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS, SHRUBS, VINES AND TREES, EDGING AND MOWING LAWNS, FERTILIZING, CONTROL OF PESTS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL
- BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS.
- KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY. RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL
- SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL I EVELED AND REPLANTED
- THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).
- AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOILS REPORT.
- THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.
- ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED.
- INSPECTION DURING CONSTRUCTION OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:
- a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING. b. WHEN TREES ARE SPOTTED FOR PLANTING, BUT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED. c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.
- VERIFICATION OF DIMENSIONS ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATIONS OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.
- CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.



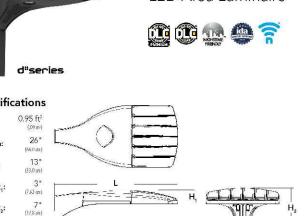


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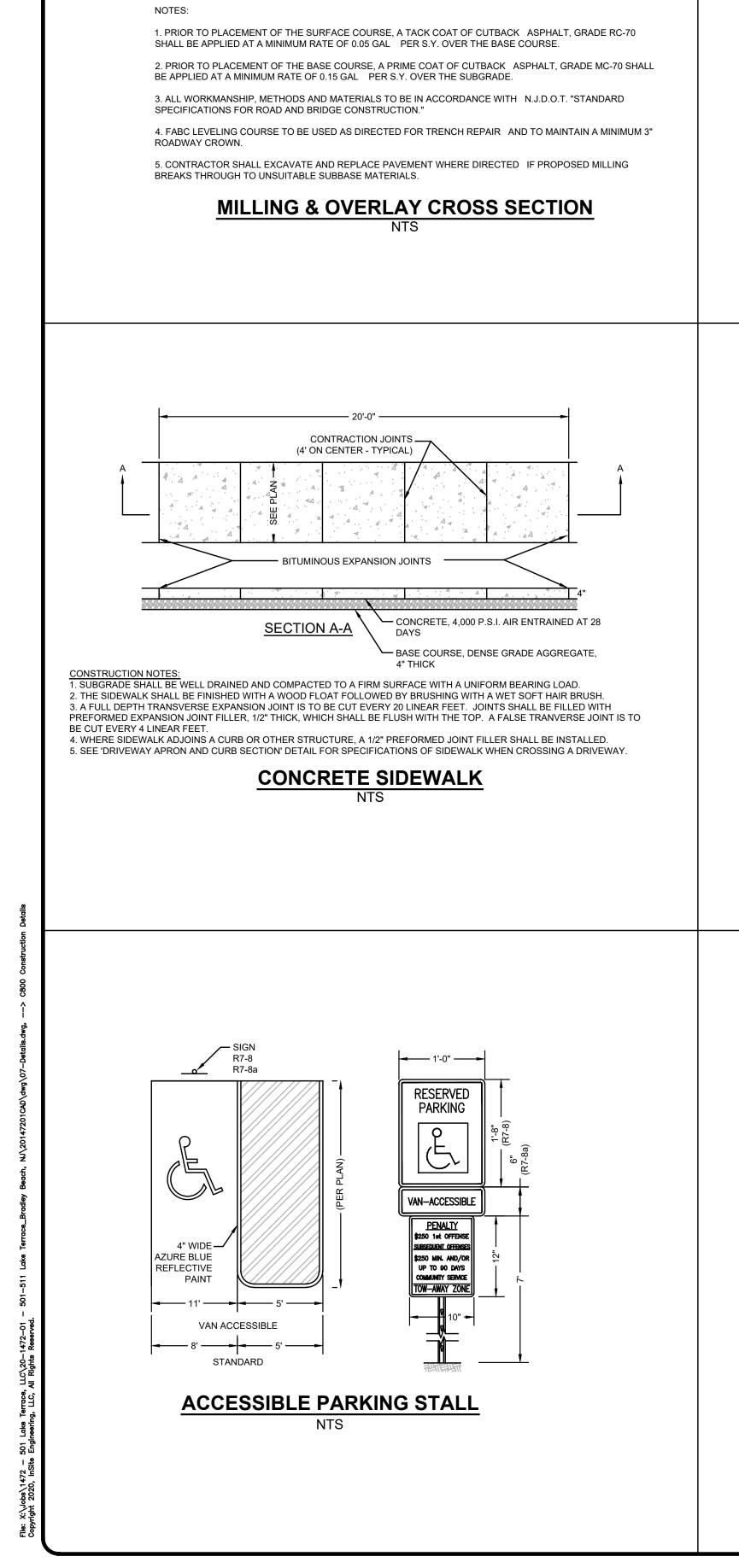
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-OVERLAY W/1-1/2" FABC

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- EXISTING SURFACE

MATCH EXISTING-

PROPOSED -

GUTTER LINE

MAX. x 6' WIDE.

MILLING 2"

**GUTTER PROFILE** 

WITH OVERLAY

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MATCH EXISTING

GUTTER PROFILE

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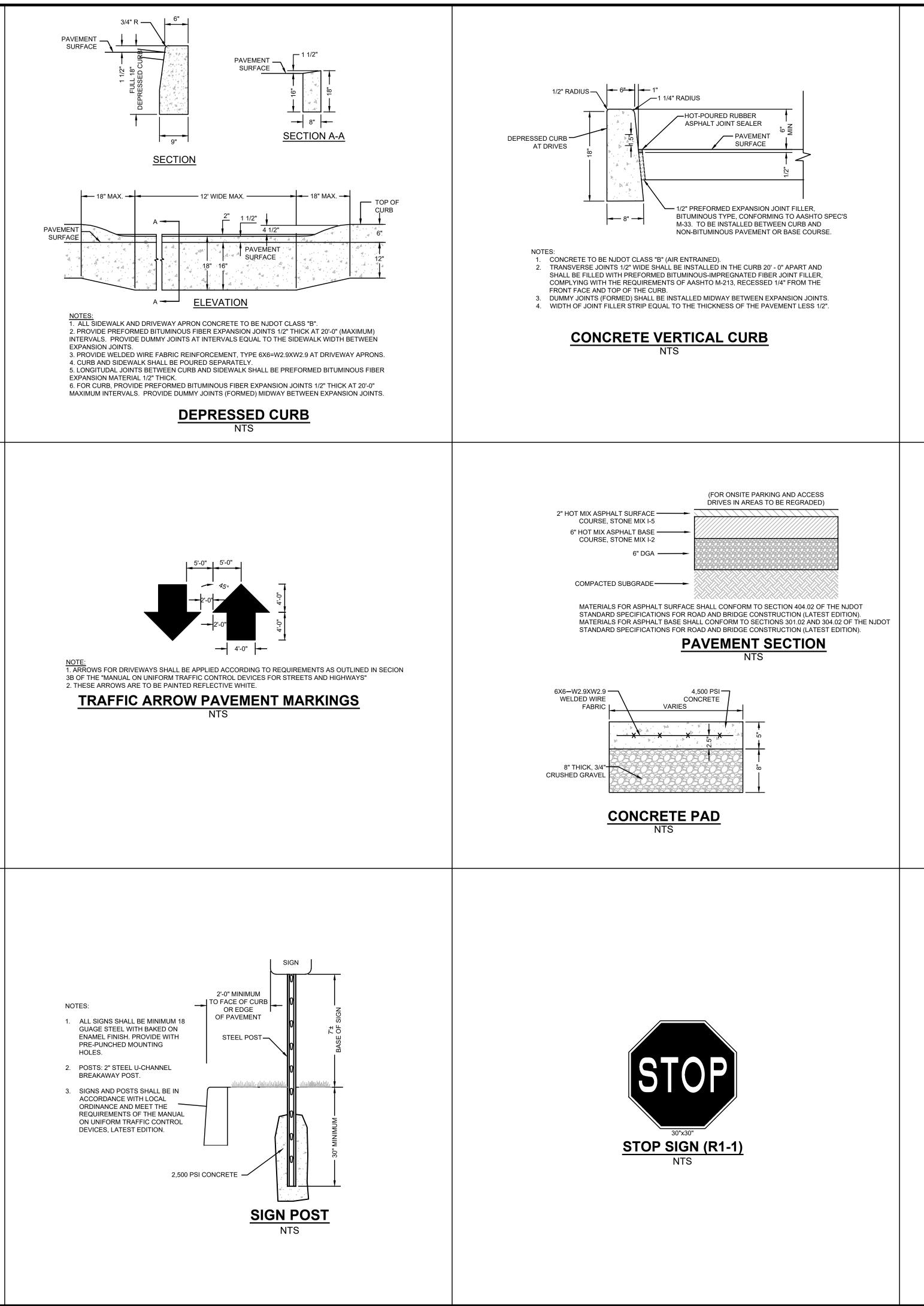
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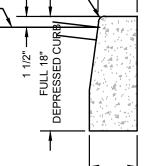
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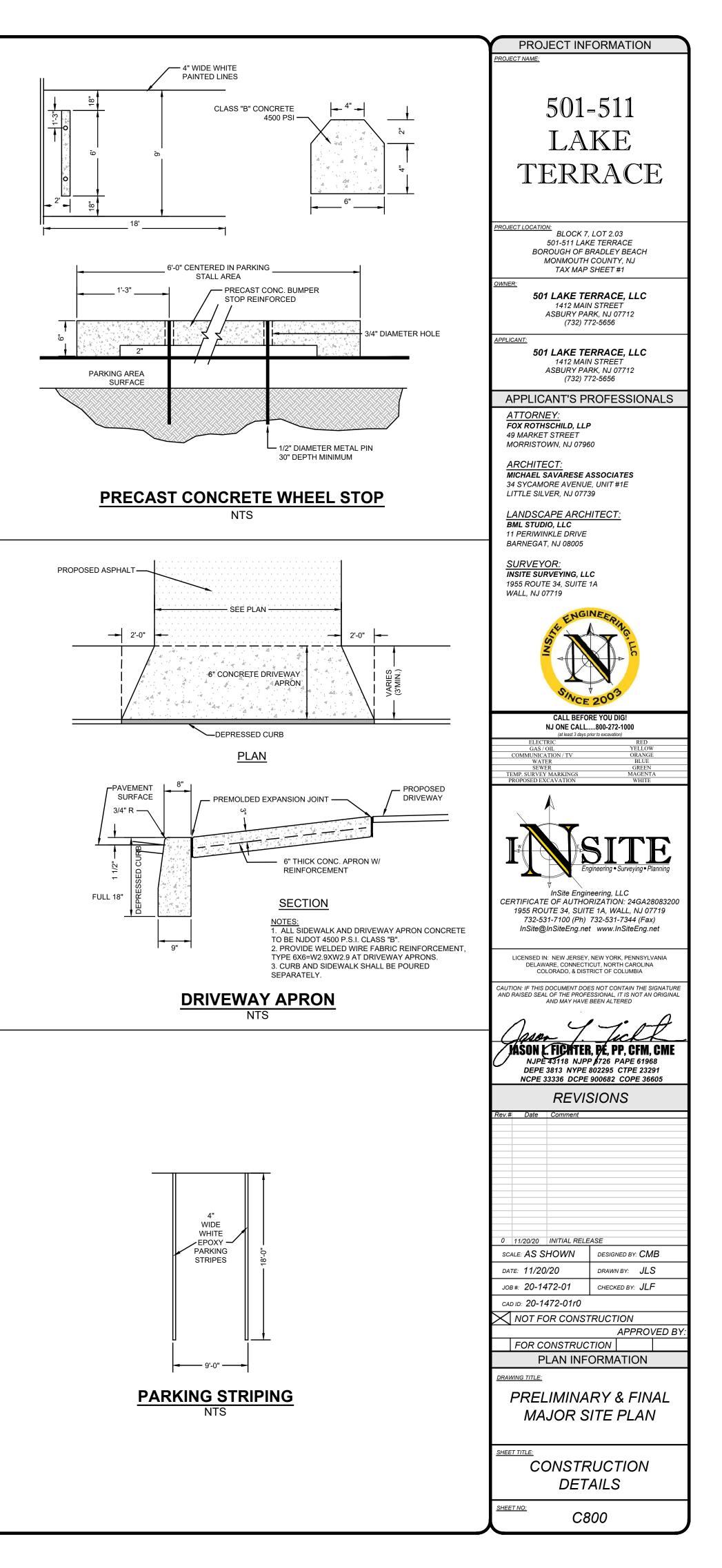
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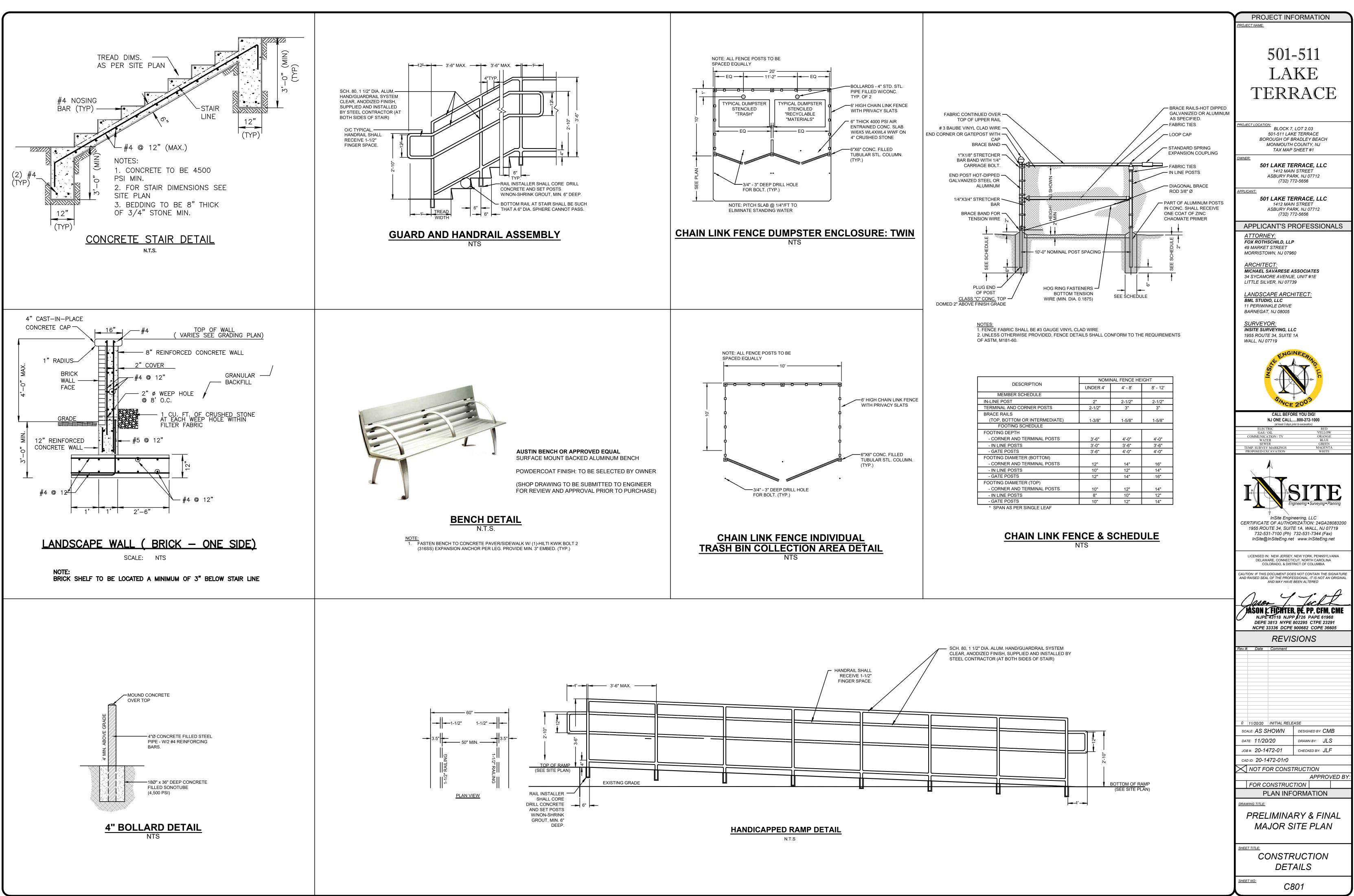
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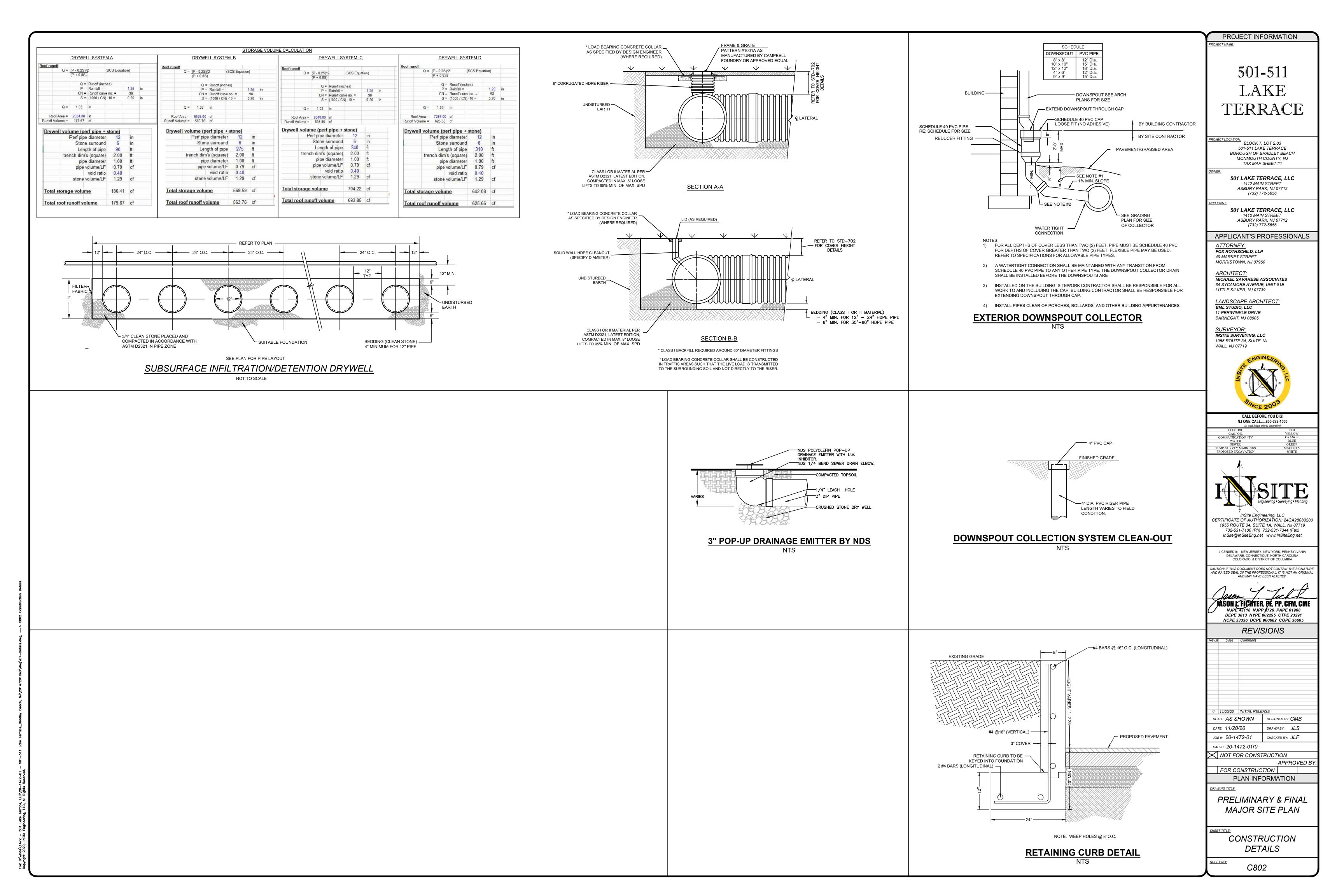
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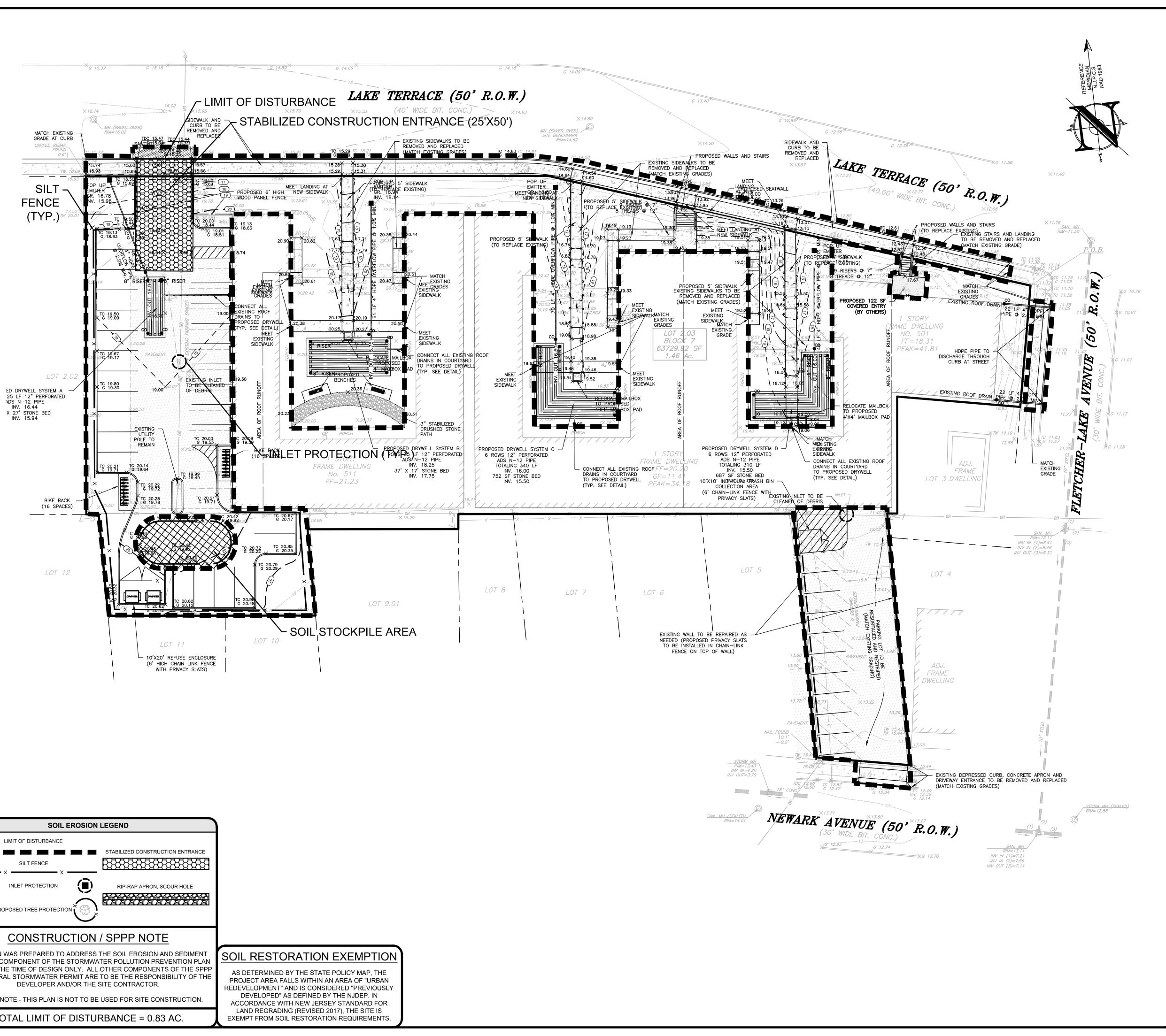


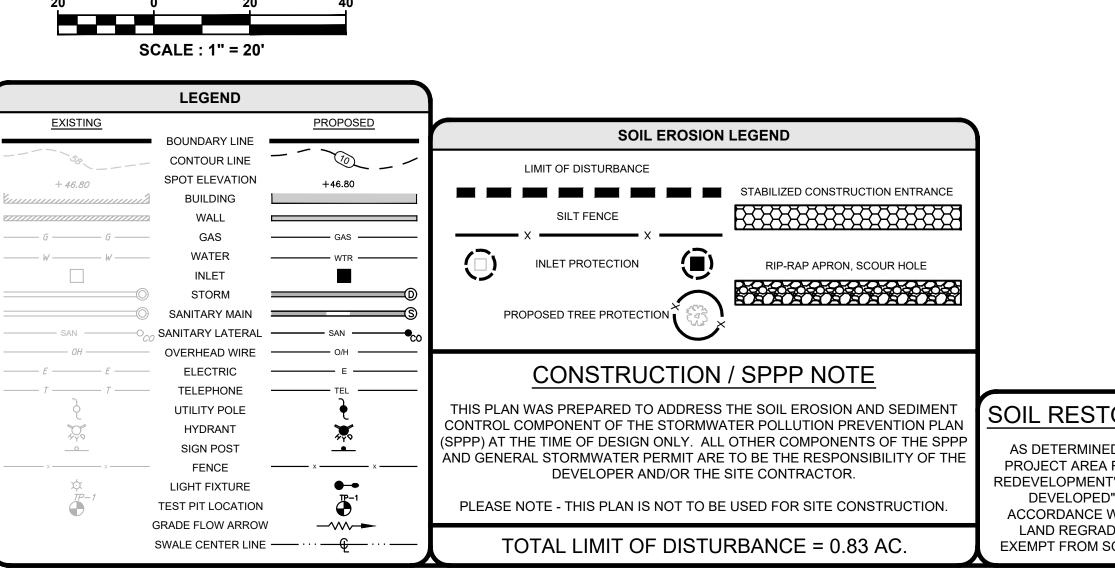




### SOIL EROSION AND SEDIMENT CONTROL NOTES

- TRACKING PADS TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED SESC PLAN. A MINIMUM OF 1 TRACKING PAD MUST BE IN OPERATION AT ALL TIMES. ADDITIONAL TRACKING PADS, CONFORMING TO SESC STANDARDS MAY BE ADDED AS THE CONTRACTOR DEEMS NECESSARY.
- SOIL STOCKPILES TO BE PLACED AS REQUIRED WITHIN THE PROJECT SITE AND SILT FENCE LIMITS WITH SILT FENCE PLACED AROUND THE PERIMETER IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DETAILS.
- SHOULD ADDITIONAL STOCKPILE AREA BE NEEDED, THE CONTRACTOR SHALL CONFORM TO THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THIS PLAN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJG0088323 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.
- THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION





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### SOIL EROSION AND SEDIMENT CONTROL NOTES

- CT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING 2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS. N.J.S.A 4:24-39 ET, SEQ, REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A
- PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 ½ TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING. ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES.
- STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE
- STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS
- REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY. 10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- 1. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS ANY SOIL HAVING A PH OF 4 OR LESS OR
- CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE. (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING
- **OPERATIONAL** 14 UNFILTERED DEWATERING IS NOT PERMITTED INFCESSARY PRECALITIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO
- MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING. 15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A
- REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5.000 SQUARE FEET IS DISTURBED. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

### TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS. GRADE STABILIZATION STRUCTURES. CHANNEL STABILIZATION MEASURES. SEDIMENT BASINS, AND WATERWAYS, SEE STANDARDS 11 THROUGH 42.
- C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

### 2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1 000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE, LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED
- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
- D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1. 3. SEEDING

### A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.

- *SEEDING DATES: 2/15-5/1 AND 8/15-10/15
- B CONVENTIONAL SEEDING APPLY SEED UNIFORMLY BY HAND CYCLONE (CENTRIFUGAL) SEEDER DROP SEEDER DRUL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED. WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED, SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC
- D. AFTER SEEDING. FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

### 4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT

- A. STRAW OR HAY. UNNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WFFD SFFD
- APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
- 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED
- 3 CRIMPER (MULCH ANCHORING TOOL) A TRACTOR-DRAWN IMPLEMENT SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS. MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE. b. USE ONE OF THE FOLLOWING:
- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH. DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS
- NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS. B. WOOD-FIBER OR PAPER-FIBER MULCH. SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR
- GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 PONDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FAL
- C. PELLETIZED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS, THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORMA MULCH MAT. PELLETIZED MULCH SHALL BE APPLIES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEE FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.
- APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

### PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

### 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.

D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS

### . SEEDBED PREPARATION

- TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES, IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED MIXTURE HARD FESCUE AND/OR STRONG CREEPING RED FESCUE

### PERENNIAL RYEGRASS KENTUCKY BLUEGRASS

- *ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14** OPTIMAL SEEDING DATES: 8/15-10/30 SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED
- 1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION, UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED **/IXTURE FOR THE SEEDED AREA AND MOWED ONCE**
- 2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
- 3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 850F. MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3. MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.
- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING, DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

### 4. MULCHING

- BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
- APPLICATION SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS. DEPENDING UPON THE SIZE OF THE AREA. STEEPNESS OF SLOPES. AND COSTS.
- 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER (MULCH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW. ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH. a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- b. USE ONE OF THE FOLLOWING:
- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. <u>MULCH SHALL NOT BEMIXEDIN THE TANK WITH SEED</u>. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C.PELLETIZED MULCH-COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAYECTI CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO AW SEEDED AREA AND WATERED, FORM A MULCHMAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1.000 SQUARE FEET AND ACTIVATED WITH 0.2 TO0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIERAGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE ULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

### 5.IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

### 6.TOP DRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED NSECTION 2A-SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

### 7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR THE TIMING OF SEEDING. PREPARING THE SEEDBED APPLYING NUTRIENTS. MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCEIS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT TION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

CONSTRUCTION SEQUENCE

## A UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED. ACCORDING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL

PHASE DURATION					
PH	IASE	DURATION			
1.	INSTALL TEMPORARY SOIL EROSION FACILITIES (CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE)	IMMEDIATELY			
2.	SITE DEMOLITION	1 WEEK			
3.	ROUGH CLEARING AND GRADING	2 WEEKS			
4.	TEMPORARY SEEDING	IMMEDIATELY			
5.	DRYWELL INSTALLATION	1 WEEK			
6.	INSTALL INLET PROTECTION	IMMEDIATELY			
7.	CURB AND SIDEWALK CONSTRUCTION	1 WEEK			
8.	PAVEMENT SUB-BASE	1 WEEK			
9.	MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSLY			
10.	PRELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK			
11.	FINAL PAVEMENT COURSE	1 WEEK			
12.	FINAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK			

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT

CONSTRUCTION WILL COMMENCE IN THE SPRING OF 2021 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE

REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS

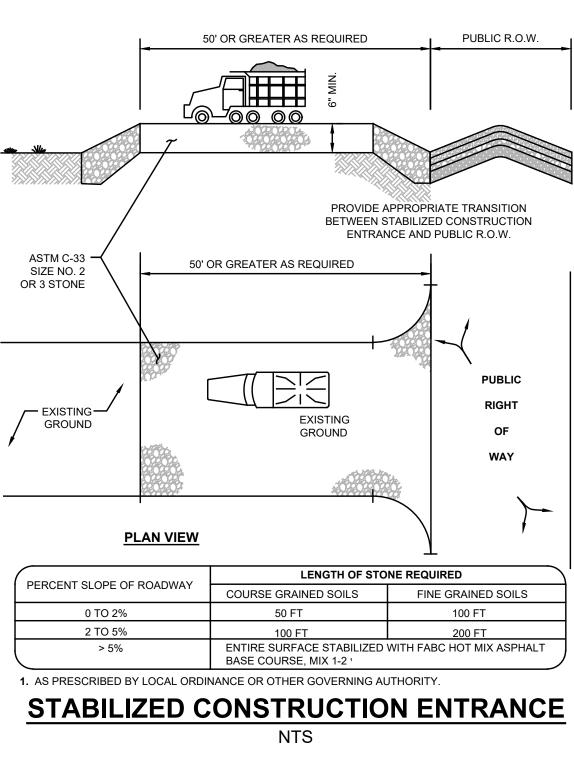
*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE NO. 1 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON

THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM

STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.) ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.



NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

### REMOVAL FROM INLET (REBAR NOT INCLUDED)

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