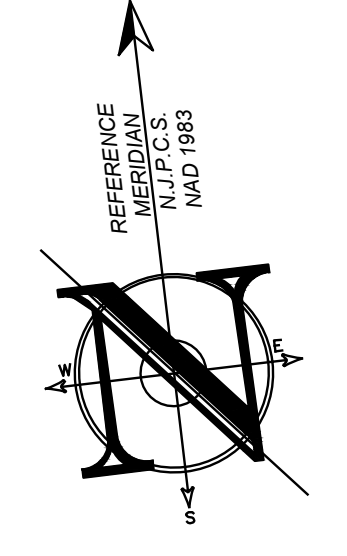
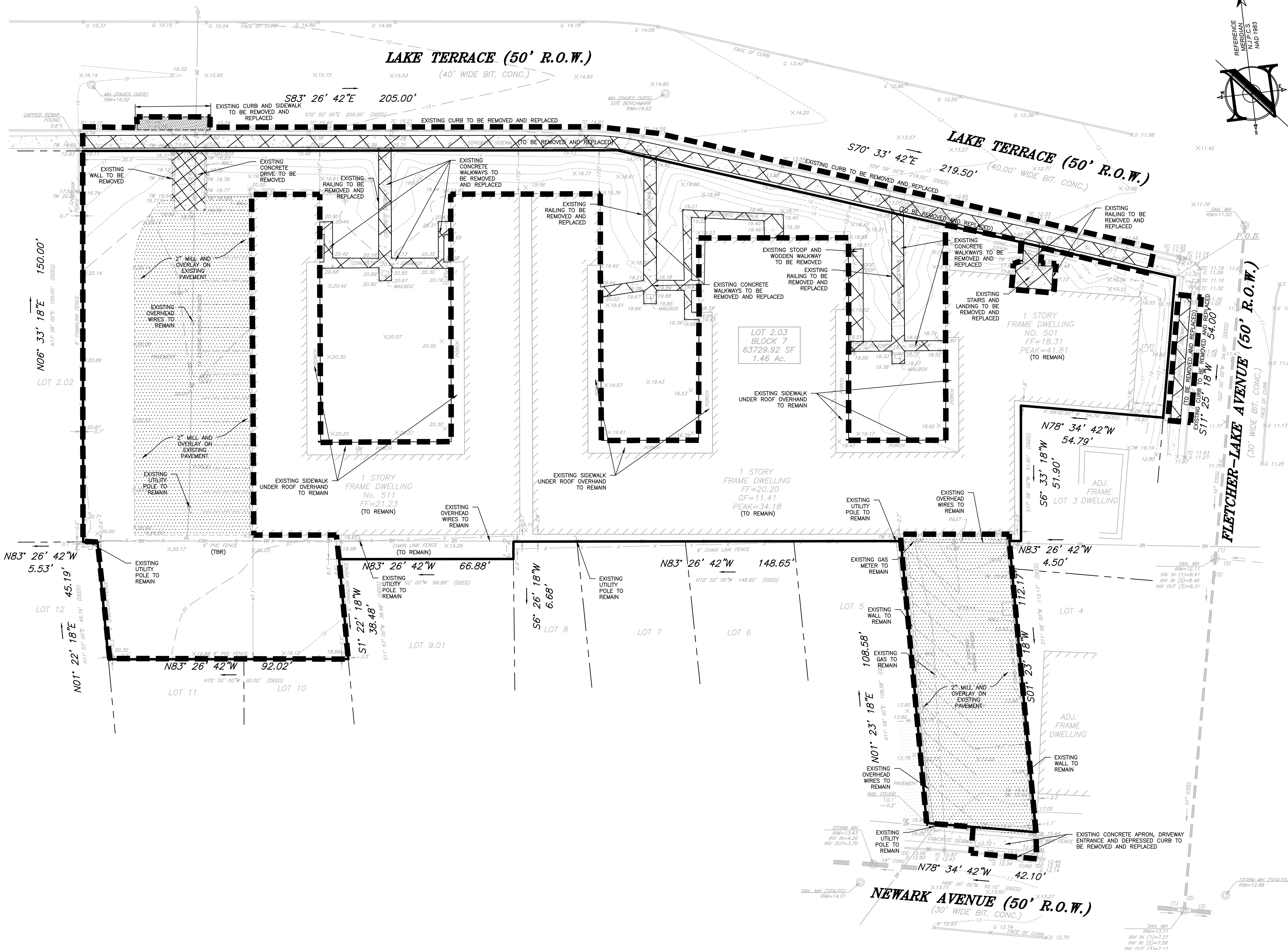


SITE PREPARATION NOTES

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
 - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
 - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
 - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
 - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
 - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
- IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.



EXISTING	PROPOSED

LEGEND	
	CONCRETE REMOVAL
	PAVEMENT MILL & OVERLAY
	DISTURBANCE LIMIT
	(TBR) TO BE REMOVED

PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: **501 LAKE TERRACE, LLC**
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: **501 LAKE TERRACE, LLC**
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: **FOX ROTHCHILD, LLP**
49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT: **MICHAEL SAVARESE ASSOCIATES**
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: **BML STUDIO, LLC**
11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: **INSITE SURVEYING, LLC**
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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ELECTRIC	BLUE
GAS	YELLOW
COMMUNICATION/TV	ORANGE
SEWER	GREEN
WATER	PURPLE
TEMP. SENSING	MAGENTA
PROPOSED EXCAVATION	WHITE

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Jason K. Fichter, PE, PP, CFM, CME
JASON K. FICHTER, PE, PP, CFM, CME
NJPE #3718 NJPP #726 PAPE #1968
DCPE #313 NYPE #02285 CPEE #2391
NCPE #3336 DCPE #00682 COPE #6605

REVISIONS

Rev #	Date	Comment
0	11/20/20	INITIAL RELEASE
		SCALE: 1"=20'
		DESIGNED BY: CMB
		DRAWN BY: JLS
		CHECKED BY: JLF
		CAD ID: 20-1472-01/0
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		PLAN INFORMATION

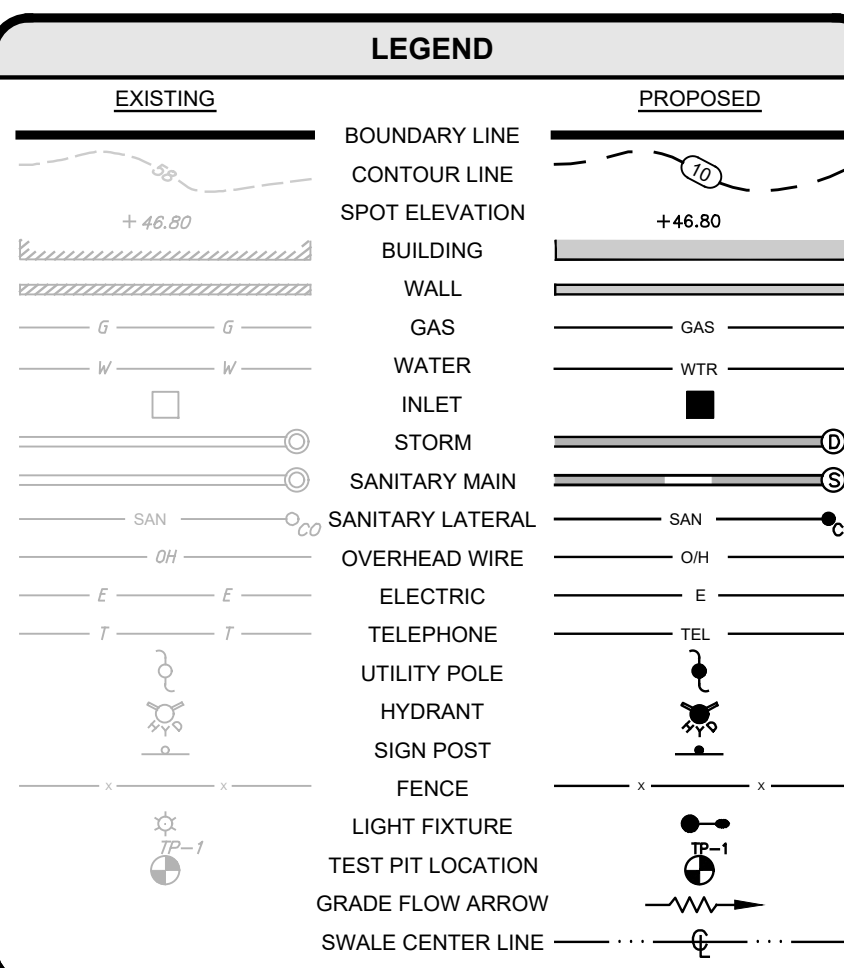
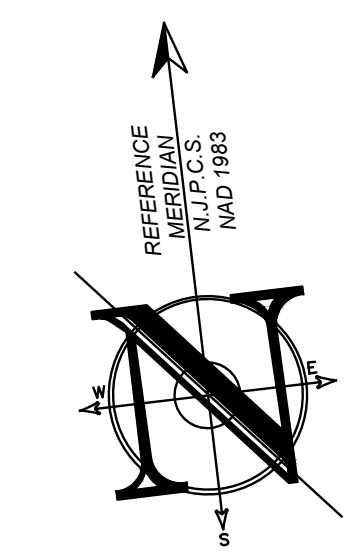
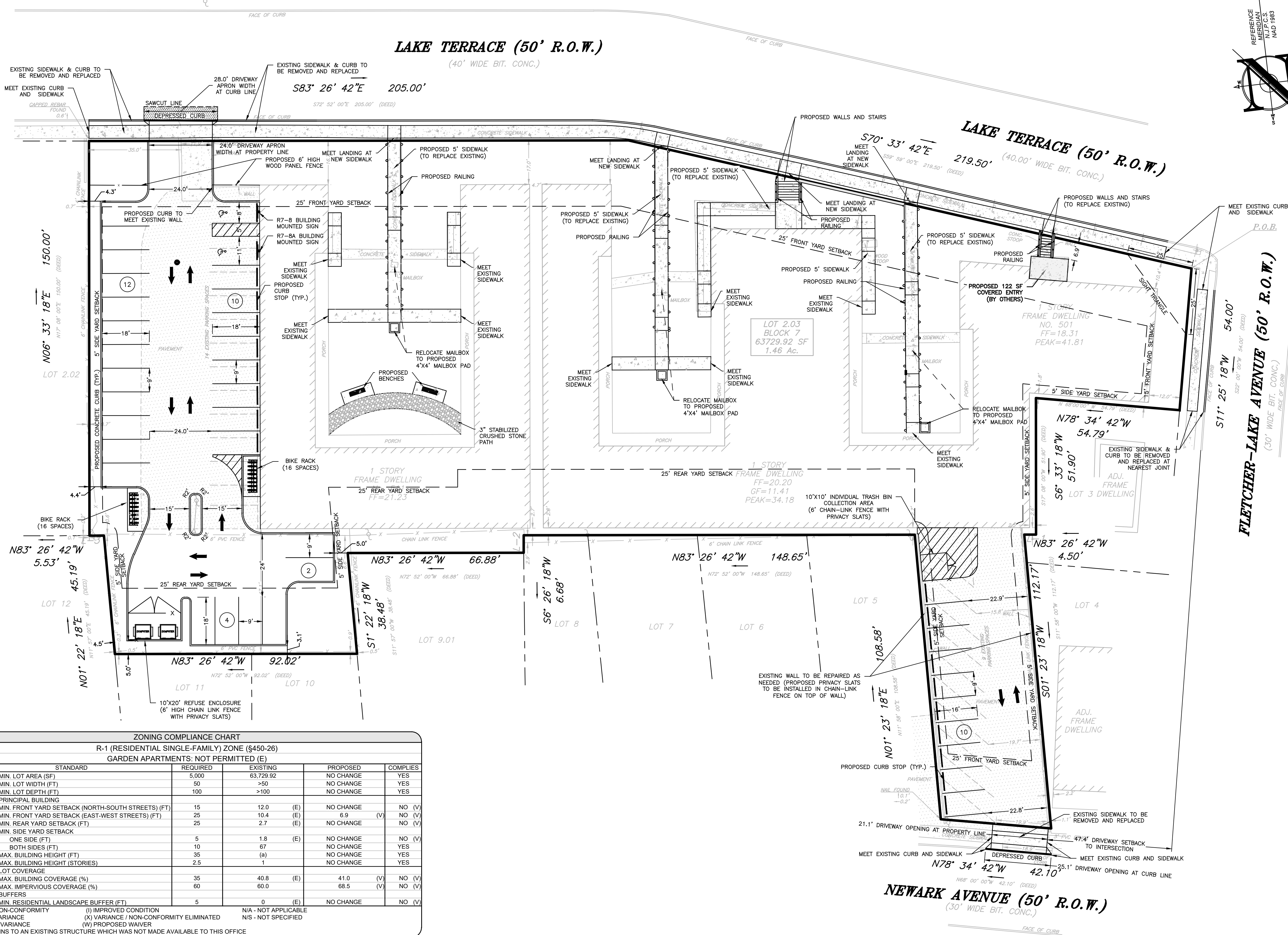
DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
EXISTING CONDITIONS & SITE PREPARATION PLAN

SHEET NO.:
C200

SITE LAYOUT NOTES

- ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.
- ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
- ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
- ALL SIDEWALK RAMP MARKING HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.
- ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
- ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
- SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8".
- SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
- SEE ARCHITECT'S PLANS FOR COVERED BUILDING ENTRYWAY INFORMATION.
- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH NEW JERSEY ADMINISTRATIVE CODE, TITLE 5, CHAPTER 21, "RESIDENTIAL SITE IMPROVEMENT STANDARDS".



ZONING COMPLIANCE CHART
R-1 (RESIDENTIAL SINGLE-FAMILY) ZONE (§450-26)
GARDEN APARTMENTS: NOT PERMITTED (E)

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHEDULE	MIN. LOT AREA (SF)	5,000	63,729.92	NO CHANGE	YES
SCHEDULE	MIN. LOT WIDTH (FT)	50	>50	NO CHANGE	YES
SCHEDULE	MIN. LOT DEPTH (FT)	100	>100	NO CHANGE	YES
SCHEDULE	PRINCIPAL BUILDING				
SCHEDULE	MIN. FRONT YARD SETBACK (NORTH-SOUTH STREETS) (FT)	15	12.0 (E)	NO CHANGE	NO (V)
SCHEDULE	MIN. FRONT YARD SETBACK (EAST-WEST STREETS) (FT)	25	10.4 (E)	6.9 (V)	NO (V)
SCHEDULE	MIN. REAR YARD SETBACK (FT)	25	2.7 (E)	NO CHANGE	NO (V)
SCHEDULE	MIN. SIDE YARD SETBACK				
SCHEDULE	ONE SIDE (FT)	5	1.8 (E)	NO CHANGE	NO (V)
SCHEDULE	BOTH SIDES (FT)	10	67	NO CHANGE	YES
SCHEDULE	MAX. BUILDING HEIGHT (FT)	35	(a)	NO CHANGE	YES
450-26	MAX. BUILDING HEIGHT (STORIES)	2.5	1	NO CHANGE	YES
SCHEDULE	LOT COVERAGE				
SCHEDULE	MAX. BUILDING COVERAGE (%)	35	40.8 (E)	41.0 (V)	NO (V)
SCHEDULE	MAX. IMPERVIOUS COVERAGE (%)	60	60.0	68.5 (V)	NO (V)
450-45	MIN. RESIDENTIAL LANDSCAPE BUFFER (FT)	5	0 (E)	NO CHANGE	NO (V)

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED N/S - NOT SPECIFIED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER

(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART: GARDEN APARTMENTS

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
450-41(B)	STALL SIZE (FT)	9 X 18	9 X 18	9 X 16 (V)	NO (V)
R.S.1.S.	NUMBER OF PARKING SPACES	75 TOTAL SPACES	23 SPACES (E)	38 SPACES (I)	NO (V)
	STUDIO: 1.8 SPACES PER UNIT	4 UNITS * 1.8 SPACES = 8 SPACES	(INCLUDING NO HANDICAP SPACES)	(INCLUDING 2 HANDICAP SPACES)	
	1 BEDROOM: 1.8 SPACES PER UNIT	28 UNITS * 1.8 SPACES = 51 SPACES			
	2 BEDROOM: 2 SPACES PER UNIT	8 UNITS * 2 SPACES = 16 SPACES			
450-41(B)	MIN. DRIVEWAY WIDTH (TWO-WAY)(FT)	20	11.9 (E)	21.1 (I)	YES
450-41(B)	MIN. DRIVEWAY SETBACK TO ALL LOT LINES (FT)	5	1.1 (E)	NO CHANGE	NO (V)
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT PROPERTY LINE (TWO-WAY)(FT)	24	19.9 (E)	24	YES
450-41(B)	MAX. DRIVEWAY APRON WIDTH AT CURB LINE (TWO-WAY)(FT)	26	18.9 (E)	28 (V)	NO (V)
450-41(B)	MAX. DRIVEWAYS PER LOT (TWO-WAY)	1	2 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. DRIVEWAY SETBACK TO INTERSECTIONS (FT)	50	47.4 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. DRIVEWAY SETBACK TO ALL PROPERTY LINES (FT)	30	1.1 (N)	NO CHANGE	NO (W)
450-41(B)	MIN. AISLE WIDTH (90° PARKING) (FT)	25	<25 (E)	22.8 (V)	NO (V)
450-41(B)	MIN. AISLE WIDTH (45° PARKING) (FT)	N/S	15.8	N/A	YES
450-41(B)	MIN. OFF-STREET VAN ACCESSIBLE SPACES (1)	1	N/S	1	YES

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED N/S - NOT SPECIFIED
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER

(1) 450-41 EVERY PARKING LOT FOR AN APARTMENT OR TOWNHOUSE USE SHALL INCLUDE AT LEAST ONE OFF-STREET VAN ACCESSIBLE SPACE, IN ADDITION TO THE MINIMUM TOTAL NUMBER OF SPACES REQUIRED UNDER 450-39.

PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03
 501-511 LAKE TERRACE
 BOROUGH OF BRADLEY BEACH
 MONMOUTH COUNTY, NJ
 TAX MAP SHEET #1

OWNER: **501 LAKE TERRACE, LLC**
 1412 MAIN STREET
 ASBURY PARK, NJ 07712
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APPLICANT: **501 LAKE TERRACE, LLC**
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 (732) 772-5656

APPLICANT'S PROFESSIONALS
 ATTORNEY: **FOX ROTHSCHILD, LLP**
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ARCHITECT: **MICHAEL SAVARESE ASSOCIATES**
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 LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: **BML STUDIO, LLC**
 11 PERWINKLE DRIVE
 BARNEGAT, NJ 08005

SURVEYOR: **INSITE SURVEYING, LLC**
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 WALL, NJ 07719



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WATER	GREEN
SEWER	RED
TRIP SURVEY MARKINGS	MAGENTA
PROMISED EXCAVATION	WHITE

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InSite Engineering, LLC
 CERTIFICATE OF AUTHORIZATION: 24GA28083200
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 NJPE #3118 NJPP #726 PAPE #1988
 DEPE #3112 NYPE #02285 CPEPE #21991
 NCPPE #3336 DCPPE #00682 CCOPE #36605

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0	11/20/20	INITIAL RELEASE
1	11/20/20	DESIGNED BY: CMB
2	11/20/20	DRAWN BY: JLS
3	20-1472-01	CHECKED BY: JLF
4	20-1472-01/0	

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DRAWING TITLE:
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SHEET TITLE:
SITE LAYOUT PLAN

SHEET NO.: **C300**

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PROJECT INFORMATION

501-511 LAKE TERRACE

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 BLOCK 7, LOT 2.03
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 BOROUGH OF BRADLEY BEACH
 MONMOUTH COUNTY, NJ
 TAX MAP SHEET #1

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 ASBURY PARK, NJ 07712
 (732) 772-5656

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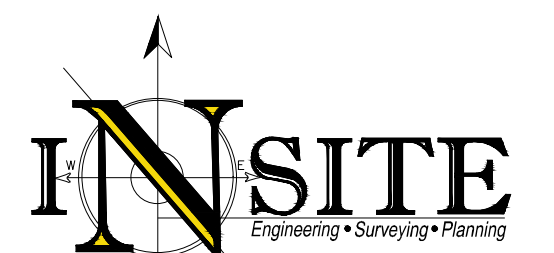
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 1955 ROUTE 34, SUITE 1A
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GAS	YELLOW	SEWER	GREEN
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YEAR SURVEY MARKINGS	MAGENTA		



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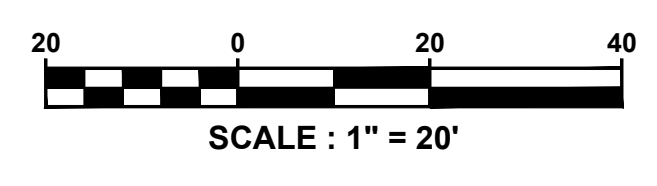
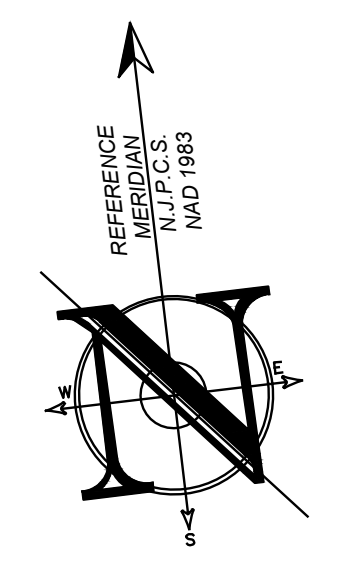
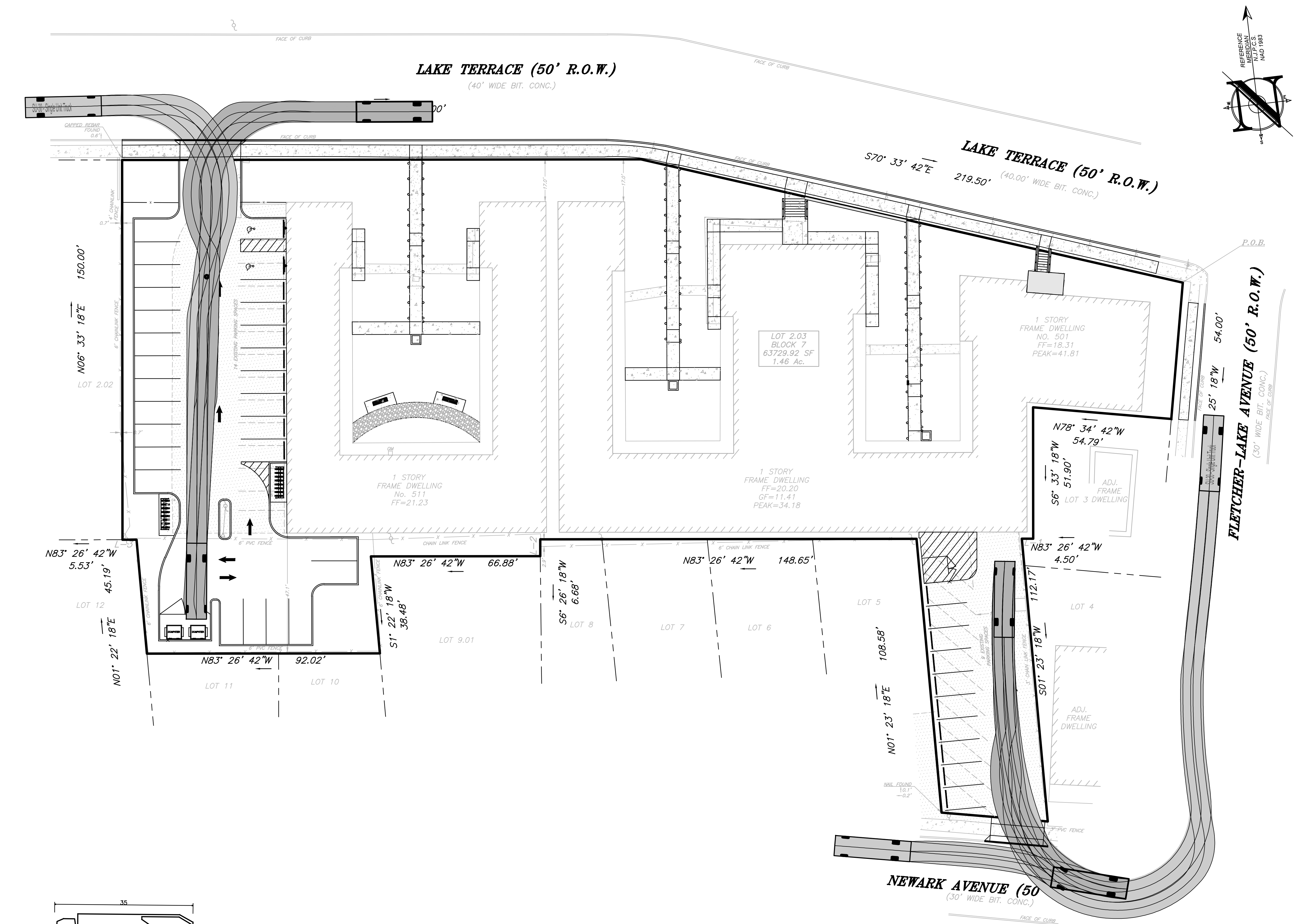
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PLAN INFORMATION

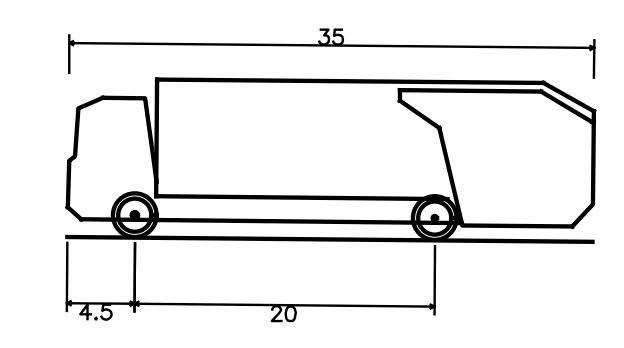
PRELIMINARY & FINAL MAJOR SITE PLAN

TURNING MOVEMENT PLAN

SHEET NO. C301



LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE



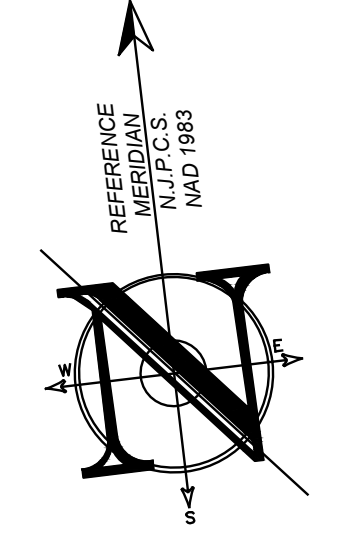
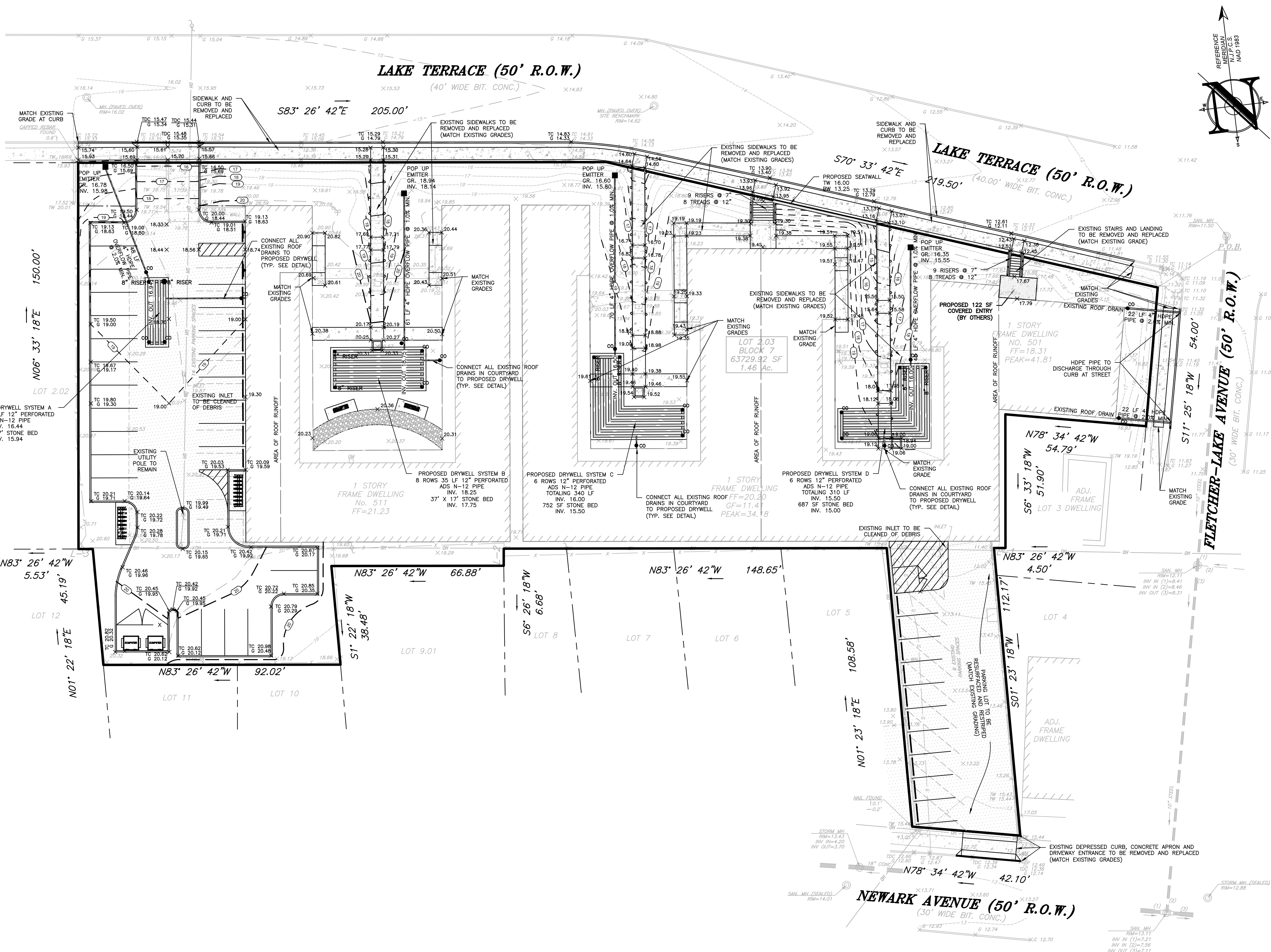
Overall Length 35.000ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min. Body Ground Clearance 1.000ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft

GARBAGE TRUCK
 NTS

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GRADING AND DRAINAGE NOTES

- 1. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.
2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
3. FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).



LEGEND table with columns for EXISTING and PROPOSED symbols. Includes symbols for Boundary Line, Contour Line, Spot Elevation, Building, Wall, Gas, Water, Inlet, Storm, Sanitary Main, Sanitary Lateral, Overhead Wire, Electric, Telephone, Utility Pole, Hydrant, Sign Post, Fence, Light Fixture, Test Pit Location, Grade Flow Arrow, and Swale Center Line.

PROJECT INFORMATION

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PROJECT LOCATION: BLOCK 7, LOT 2.03
OWNER: 501 LAKE TERRACE, LLC
APPLICANT: 501 LAKE TERRACE, LLC
APPLICANT'S PROFESSIONALS: ATTORNEY: FOX ROTHCHILD LLP, ARCHITECT: MICHAEL SAVARESE ASSOCIATES, LANDSCAPE ARCHITECT: BML STUDIO, LLC, SURVEYOR: INSITE SURVEYING, LLC



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Table listing utility services: ELECTRIC, GAS, TELEVISION, COMMUNICATIONS, WATER, SEWER, TRAP SERVICE MARKINGS, PROPOSED EXCAVATION.

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Signature of Jason K. Richter, PE, P.P., CFM, CME. License numbers: NJPE 43718, NJPP #726, PAPE 61968, DEPE 3819, NYPE 802285, CPEE 23291, NCPE 33336, DCPPE 900682, COPE 36605.

REVISIONS

Table with columns for Rev #, Date, and Comment. Includes revision 0 dated 11/20/20 for 'INITIAL RELEASE' and revision 1 dated 11/20/20 for 'DESIGNED BY: CMB'.

SHEET NO. C400

File: S:\Jobs\1472 - 501 Lake Terrace, LLC\03-1472-01 - 501-511 Lake Terrace\Drawings\Arch\201417201DAD\New 04-Site Plan.dwg --> 1400 - 00 Copyright 2020, InSite Engineering, LLC. All Rights Reserved.

GENERAL LANDSCAPE NOTES

1. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
2. AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF ALL PLANTING AREAS.
3. QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
4. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
5. ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
6. ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
7. TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
8. TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREET LIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
9. ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
10. GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
11. MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
12. REFER TO PLANTING DETAILS SHEET FOR ADDITIONAL INFORMATION.
13. ALL TURF AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.
14. ALL TURF AREAS AND PLANTING AREAS ARE TO BE IRRIGATED. THE CONTRACTOR IS TO PROVIDE A DETAILED IRRIGATION PLAN AND GAIN TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A 1-YEAR PERIOD FROM THE RELEASE OF THE PERFORMANCE BOND. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEE PERIOD.
16. SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES.

PROJECT INFORMATION

501-511 LAKE TERRACE

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APPLICANT:
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APPLICANT'S PROFESSIONALS

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ELECTRIC	RED
GAS	YELLOW
COMMUNICATIONS	ORANGE
SEWER	BLUE
WATER	GREEN
YEAR	MARSHING
PROPOSED EXCAVATION	WHITE

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Jason K. Richter, PE, PP, CFM, CME

NJPE #3118 NJPP #726 PAPE #1968
 DCPE #313 NYPE #02295 CCPE #23391
 NCPE #3336 DCPPE #00682 CCOPE #6605

REVISIONS

Rev #	Date	Comment

0 11/20/20 INITIAL RELEASE

SCALE: 1"=20' DESIGNED BY: CMB

DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF

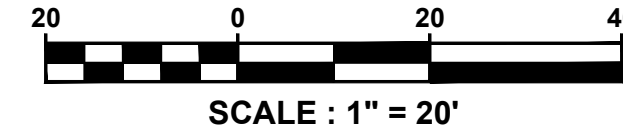
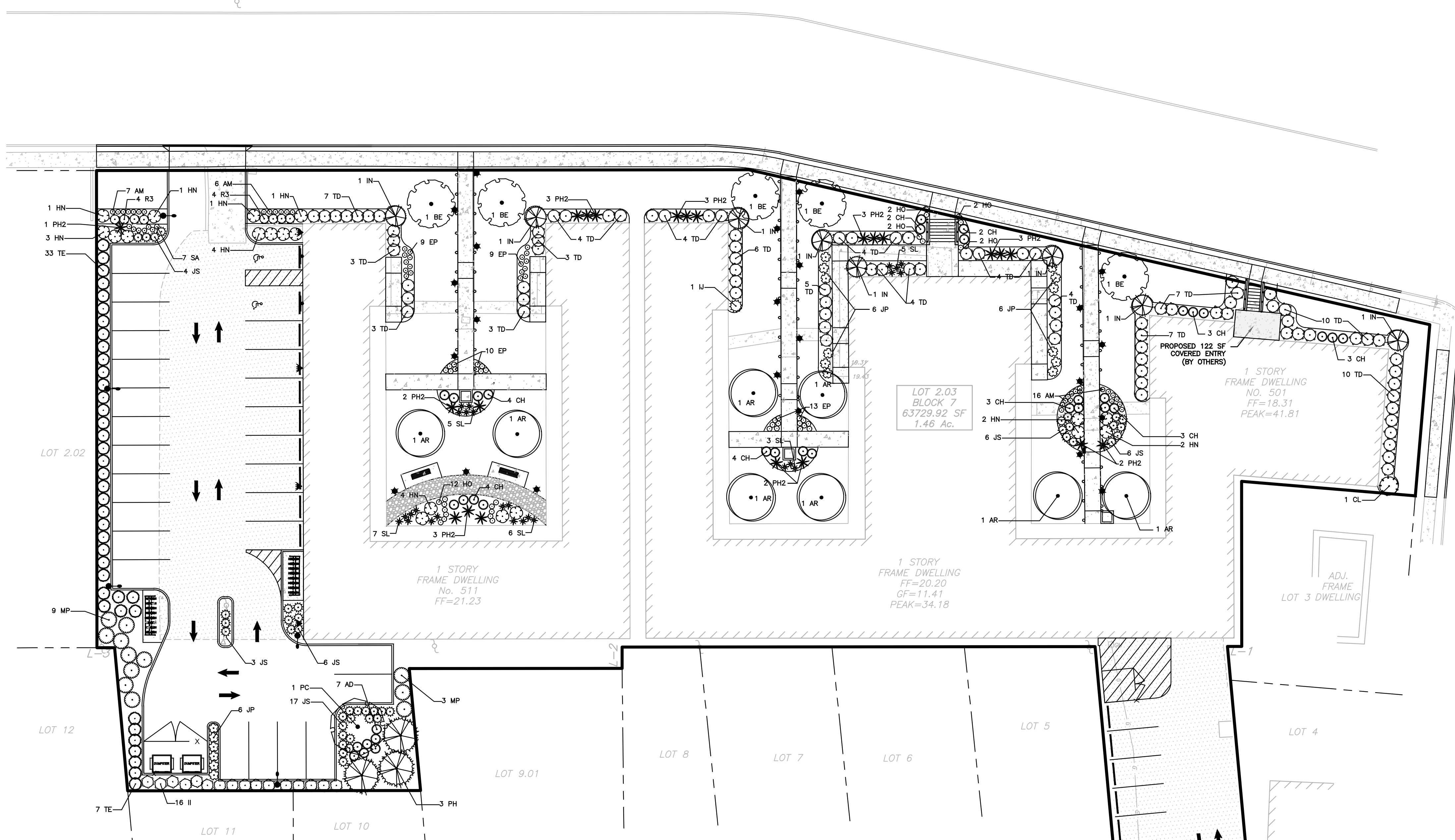
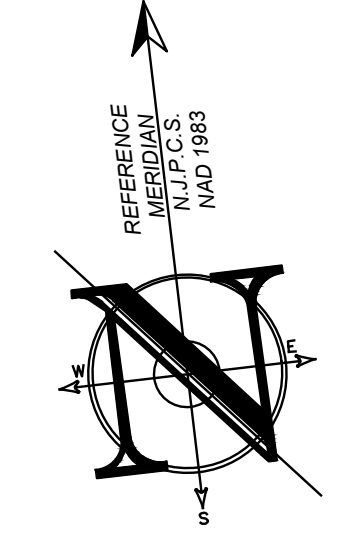
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NOT FOR CONSTRUCTION APPROVED BY:

PRELIMINARY & FINAL MAJOR SITE PLAN

LANDSCAPE PLAN

SHEET NO: C600



LEGEND

EXISTING	BOUNDARY LINE	PROPOSED
(Dashed line)	(Solid line)	(Dashed line)
(Dotted line)	(Dotted line)	(Dotted line)
(Elevation symbol)	(Elevation symbol)	(Elevation symbol)
(Thick grey bar)	(Thick grey bar)	(Thick grey bar)
(Thin grey bar)	(Thin grey bar)	(Thin grey bar)
(Blue line)	(Blue line)	(Blue line)
(Black line)	(Black line)	(Black line)
(Circle with 'W')	(Circle with 'W')	(Circle with 'W')
(Circle with 'I')	(Circle with 'I')	(Circle with 'I')
(Circle with 'S')	(Circle with 'S')	(Circle with 'S')
(Circle with 'OH')	(Circle with 'OH')	(Circle with 'OH')
(Circle with 'E')	(Circle with 'E')	(Circle with 'E')
(Circle with 'T')	(Circle with 'T')	(Circle with 'T')
(Circle with 'F')	(Circle with 'F')	(Circle with 'F')
(Circle with 'L')	(Circle with 'L')	(Circle with 'L')
(Circle with 'H')	(Circle with 'H')	(Circle with 'H')
(Circle with 'S')	(Circle with 'S')	(Circle with 'S')
(Circle with 'T')	(Circle with 'T')	(Circle with 'T')
(Circle with 'G')	(Circle with 'G')	(Circle with 'G')
(Circle with 'A')	(Circle with 'A')	(Circle with 'A')
(Circle with 'S')	(Circle with 'S')	(Circle with 'S')

PLANTING SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
AR	8	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Apple Serviceberry	B & B	3" Cal	
BE	5	Betula nigra 'Heritage'	Heritage River Birch	B & B		10'-12' HT
PC	1	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	B & B	3" Cal	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
CL	1	Cupressocyparis x leylandii	Leyland Cypress	CONT.		5'-6' HT.
IN	8	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B		6'-7' HT
PH	3	Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	B & B		7'-8' HT
TE	40	Thuja occidentalis 'Emerald'	Emerald Arborvitae	B & B		5'-6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
AD	7	Azalea x 'Delaware Valley White'	Valley White Azalea	Cont.	18"-24" HT.	
CH	28	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18"-24" HT.	
HN	19	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	Cont.	2'-2.5' HT.	
IJ	1	Ilex crenata 'Steeds'	Steeds Japanese Holly	B & B	3'-4' HT.	
II	16	Ilex glabra 'Compacta'	Compact Inkberry	Cont.	2'-2.5' HT.	
JP	18	Juniperus chinensis 'Pfitzeriana Nicks Compacta'	Nick's Compact Pfitzer Juniper	Cont.	18"-24" SPD.	
JS	42	Juniperus chinensis sargentii	Sargent Juniper	Cont.	18"-24" SPD.	
MP	12	Myrica pensylvanica	Northern Bayberry	B & B	3'-4' HT.	
R3	8	Rosa x 'Radrazz'	Knock Out Shrub Rose	Cont.	3 GAL.	
TD	88	Taxus x media 'Densiformis'	Dense Yew	B & B	2'-2.5' HT.	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
AM	29	Achillea x 'Moonshine'	Moonshine Yarrow	Cont.	1 GAL.	
EP	40	Echinacea purpurea	Purple Coneflower	Cont.	1 GAL.	
HO	20	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	Cont.	1 GAL.	
SA	7	Sedum x 'Autumn Joy'	Autumn Joy Sedum	Cont.	1 GAL.	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
PH2	22	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	Cont.	3 GAL.	
SL	26	Schizachyrium scoparium	Little Bluestem Grass	Cont.	3 GAL.	

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GENERAL SITE PLANTING

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.

- A. WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)
1. REMOVE ALL EXISTING WEEDS FROM SURFACE AND DISPOSE OFFSITE.
2. IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS.
3. FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS REPORT.
4. WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID EROSION.
5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.

- B. TOPSOIL PRESERVATION
TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.

- C. SOIL PREPARATION & FINAL GRADING
1. ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
2. ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING PLAN.
3. FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
4. SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS. ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH, SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB. REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.

- D. PLANTING
PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET.
1. GROUND COVER - FLATS AND/OR CUTTINGS
ALL PLANT MATERIALS SPECIFIED AS FLATS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.
2. SHRUBS
PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.
3. TREES
ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 1/2) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON.

- E. SOD
1. AREAS SHALL HAVE A SMOOTH CONTIGUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS, ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE.
2. APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6".
3. SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY.
4. UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE JOINTS AND EDGES.
5. FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED SOIL.
6. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 9" WIDE SHALL NOT BE USED.
7. NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED.

GENERAL SLOPE PLANTING

- A. PLANTING PREPARATION
1. SLOPE TEXTURING
a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
2. WEED ERADICATION
a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE.
b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS.
c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS.
d. IF PERENNIAL WEEDS APPEAR, DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY RECOMMENDED HERBICIDE BY LICENSED APPLICATOR. IF ANNUAL WEEDS APPEAR, USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER.
e. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD.
f. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.
g. REMOVE ALL DESICCATED WEEDS FROM SLOPES.

- B. PLANTING
PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS.

GENERAL LANDSCAPING NOTES

- A. CLEANUP
AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RITS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.

- B. MAINTENANCE
1. DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED. PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS, SHRUBS, VINES AND TREES, EDGING AND MOWING LAWNS, FERTILIZING, CONTROL OF PESTS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS.
3. KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY.
4. RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER.
5. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL, LEVELED AND REPLANTED.
6. THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).
7. AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOILS REPORT.
8. THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.

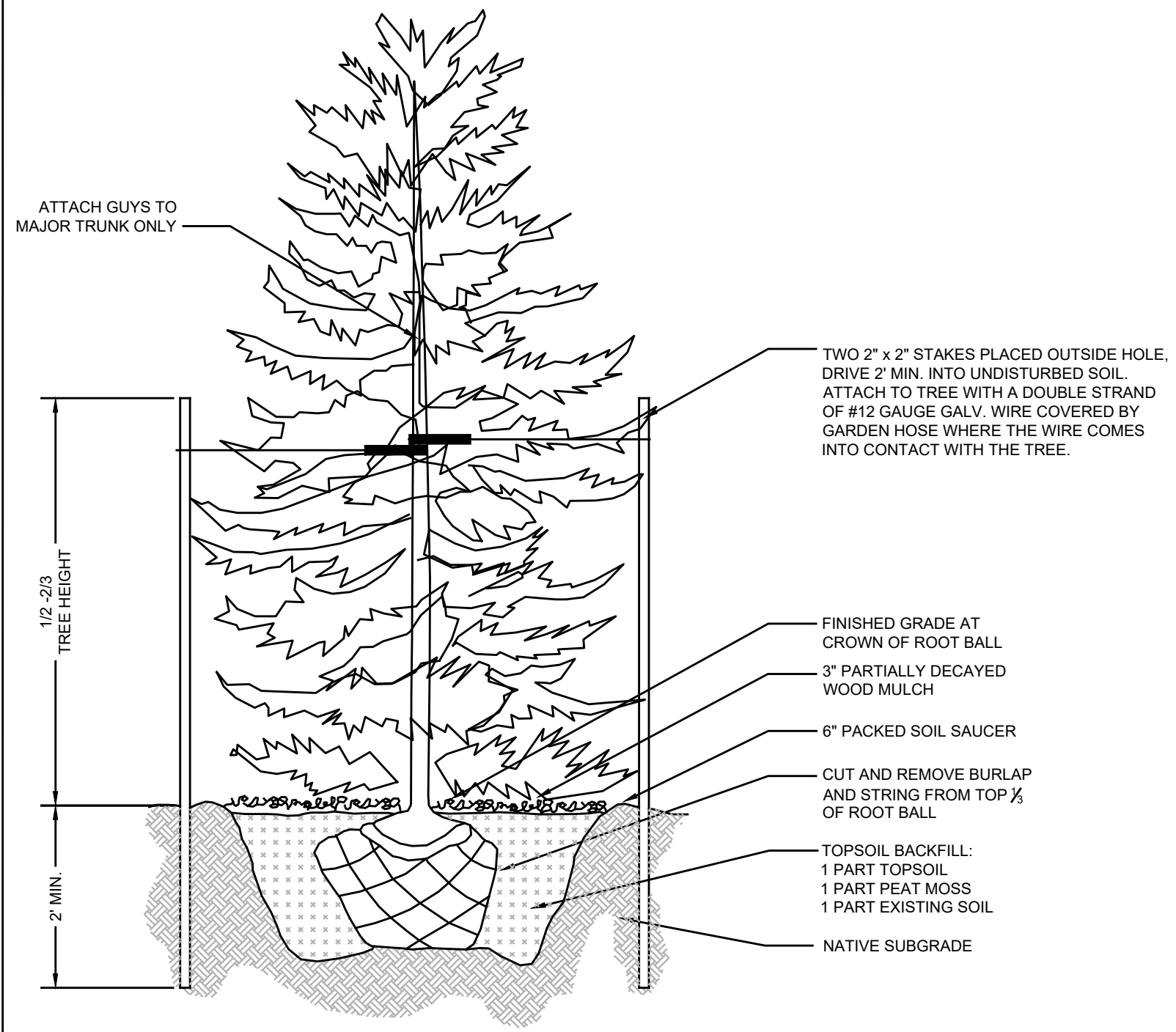
- C. GUARANTEE
ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED.

- D. INSPECTION DURING CONSTRUCTION
1. OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:
a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING.
b. WHEN TREES ARE SPOTTED FOR PLANTING, BUT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED.
c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.

- E. VERIFICATION OF DIMENSIONS
ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.

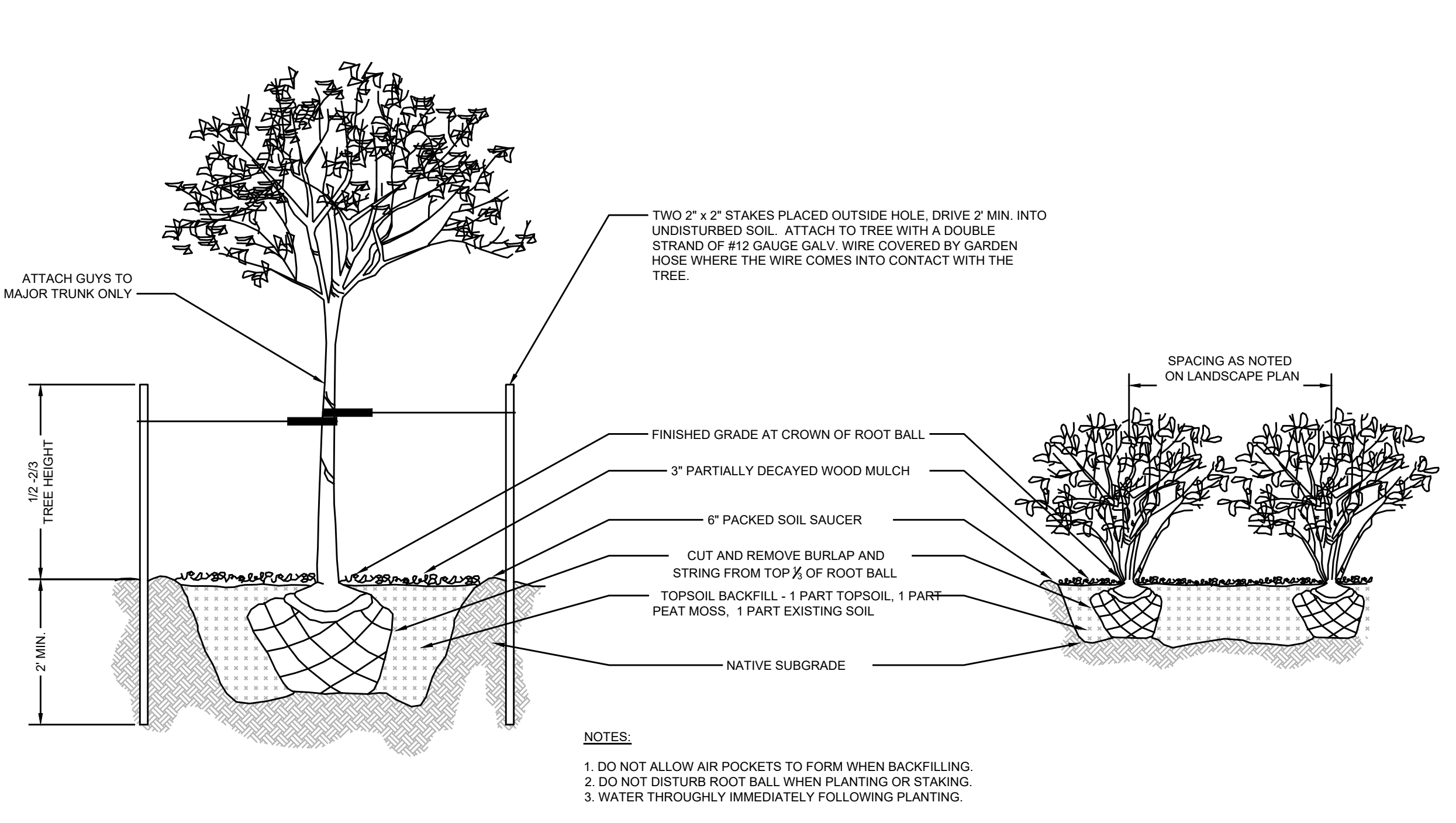
- F. UTILITIES
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATIONS OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

- G. EXISTING TREES
CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.



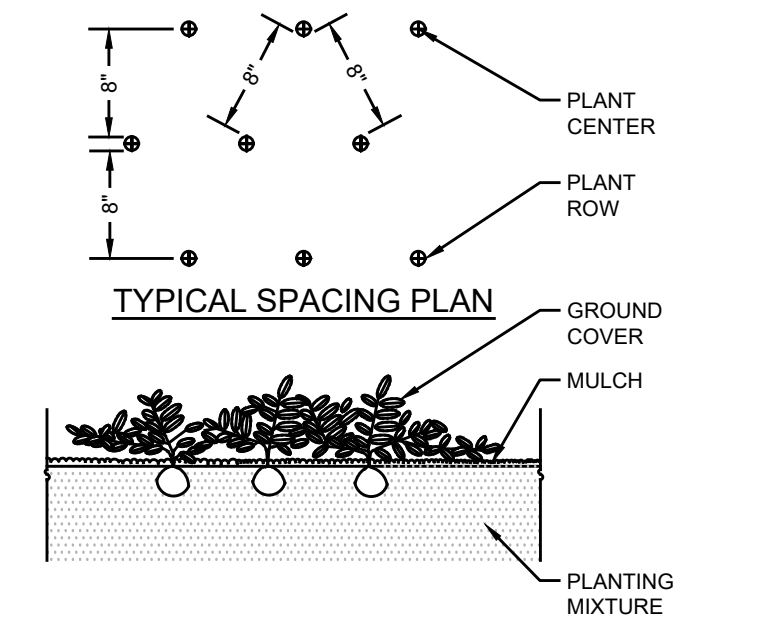
NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
3. WATER THOROUGHLY IMMEDIATELY FOLLOWING PLANTING.

EVERGREEN PLANTING & STAKING N.T.S.

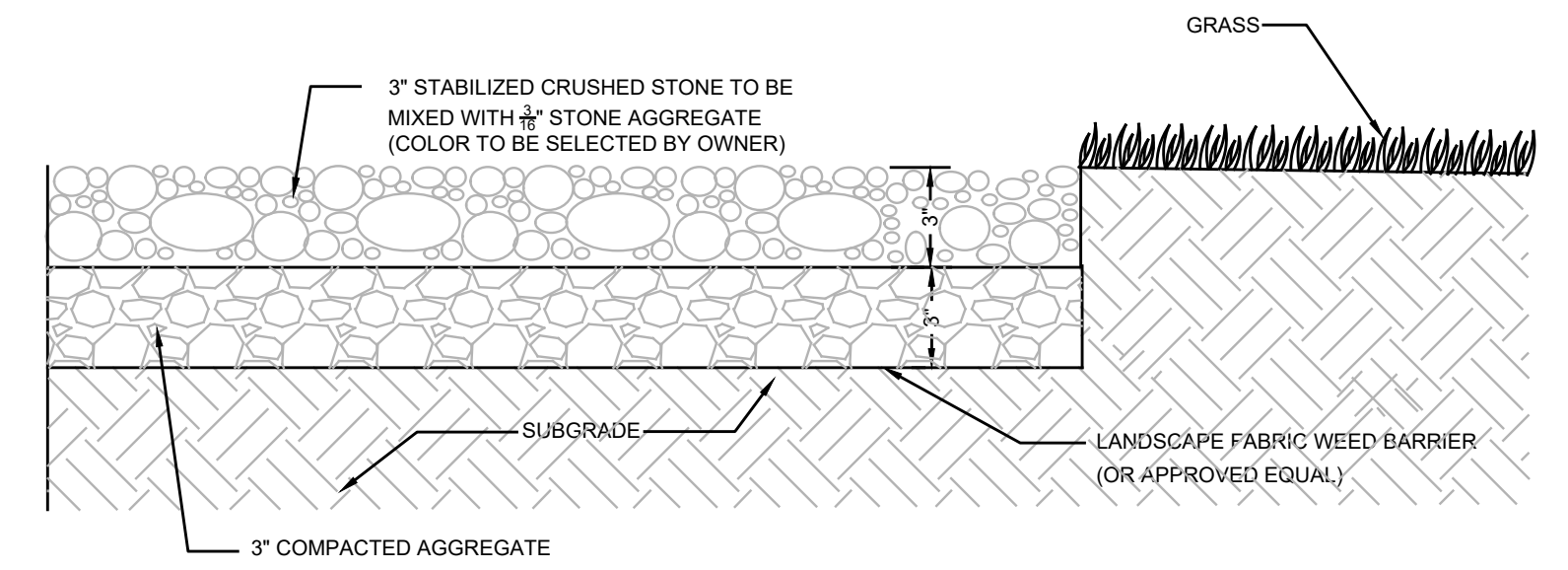


NOTES:
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2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
3. WATER THOROUGHLY IMMEDIATELY FOLLOWING PLANTING.

TREE & SHRUB PLANTING & STAKING N.T.S.



GROUND COVER PLANTING N.T.S.



3" STABILIZED CRUSHED STONE WITH WEED BARRIER DETAIL N.T.S.

PROJECT INFORMATION

PROJECT NAME:

501-511 LAKE TERRACE

PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739

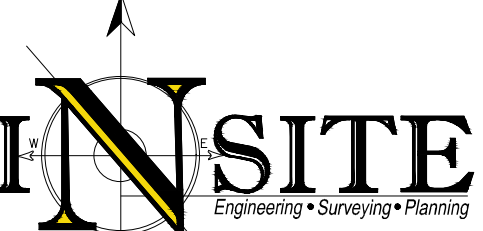
LANDSCAPE ARCHITECT: BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719



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Table with utility services: ELECTRIC, GAS, WATER, COMMUNICATION, TV, CABLE, SEWER, TELEPHONE, PROPOSED EXCAVATION.



InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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Signature of Jason E. Fichter, PE, PPE, CFM, CME. NJPE #3118, NJPP #726, PAPE #1968, DEPE #313, NYPE #02265, CPEE #2391, NCFPE #3336, DCFPE #00682, CCFPE #36605.

REVISIONS

Table with columns: Rev. #, Date, Comment. Row 0: 11/20/20 INITIAL RELEASE.

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DATE: 11/20/20 DRAWN BY: JLS

JOB #: 20-1472-01 CHECKED BY: JLF

CAD ID: 20-1472-01/0

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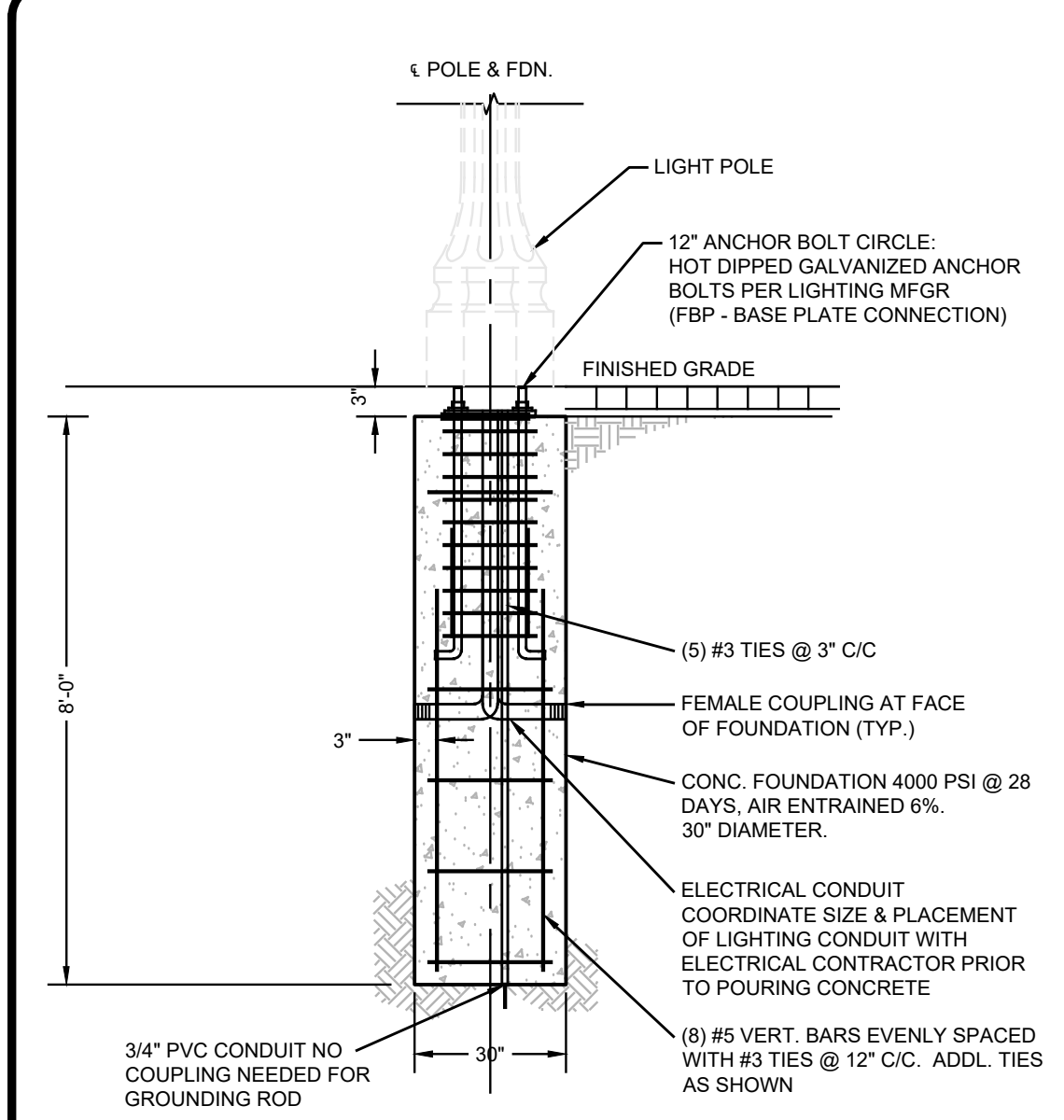
FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: LANDSCAPE DETAILS

SHEET NO.: C601

File: X:\shaha\1472 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace - Bradley Beach, NJ\20-1472\01\CD\1907-2020\1907-2020.dwg -> C601 Landscape Details Copyright 2020, InSite Engineering, LLC. All Rights Reserved.



LIGHT POLE FOUNDATION DETAIL

N.T.S.

NOTE: CONTRACTOR TO COORDINATE LIGHT BASE ANCHOR BOLT LOCATIONS.

12" ANCHOR BOLT CIRCLE
HOT DIPPED GALVANIZED ANCHOR BOLTS PER LIGHTING MFGR (FBP - BASE PLATE CONNECTION)

FINISHED GRADE

(5) #3 TIES @ 3" C/C

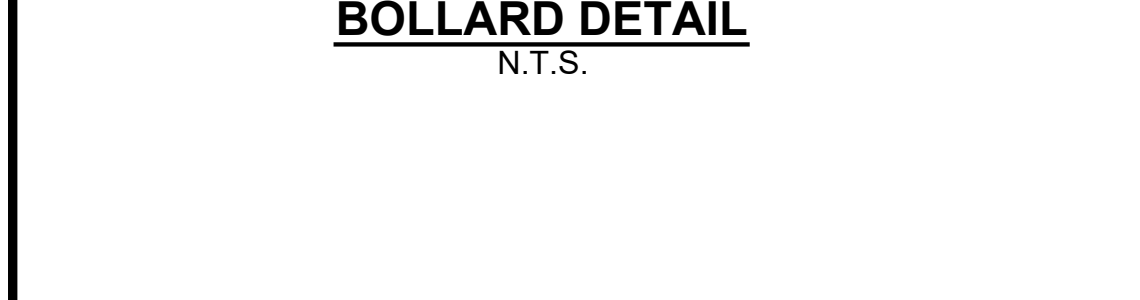
FEMALE COUPLING AT FACE OF FOUNDATION (TYP.)

CONC. FOUNDATION 4000 PSI @ 28 DAYS, AIR ENTRAINED 6%, 30" DIAMETER

ELECTRICAL CONDUIT COORDINATE SIZE & PLACEMENT OF LIGHTING CONDUIT WITH ELECTRICAL CONTRACTOR PRIOR TO POURING CONCRETE

(8) #5 VERT. BARS EVENLY SPACED WITH #3 TIES @ 12" C/C. ADDL. TIES AS SHOWN

3/4" PVC CONDUIT NO COUPLING NEEDED FOR GROUNDING ROD



BOLLARD LIGHT: FIXTURE VD1 OR APPROVED EQUAL

MODEL: SILHOUETTE

40 WATT LED

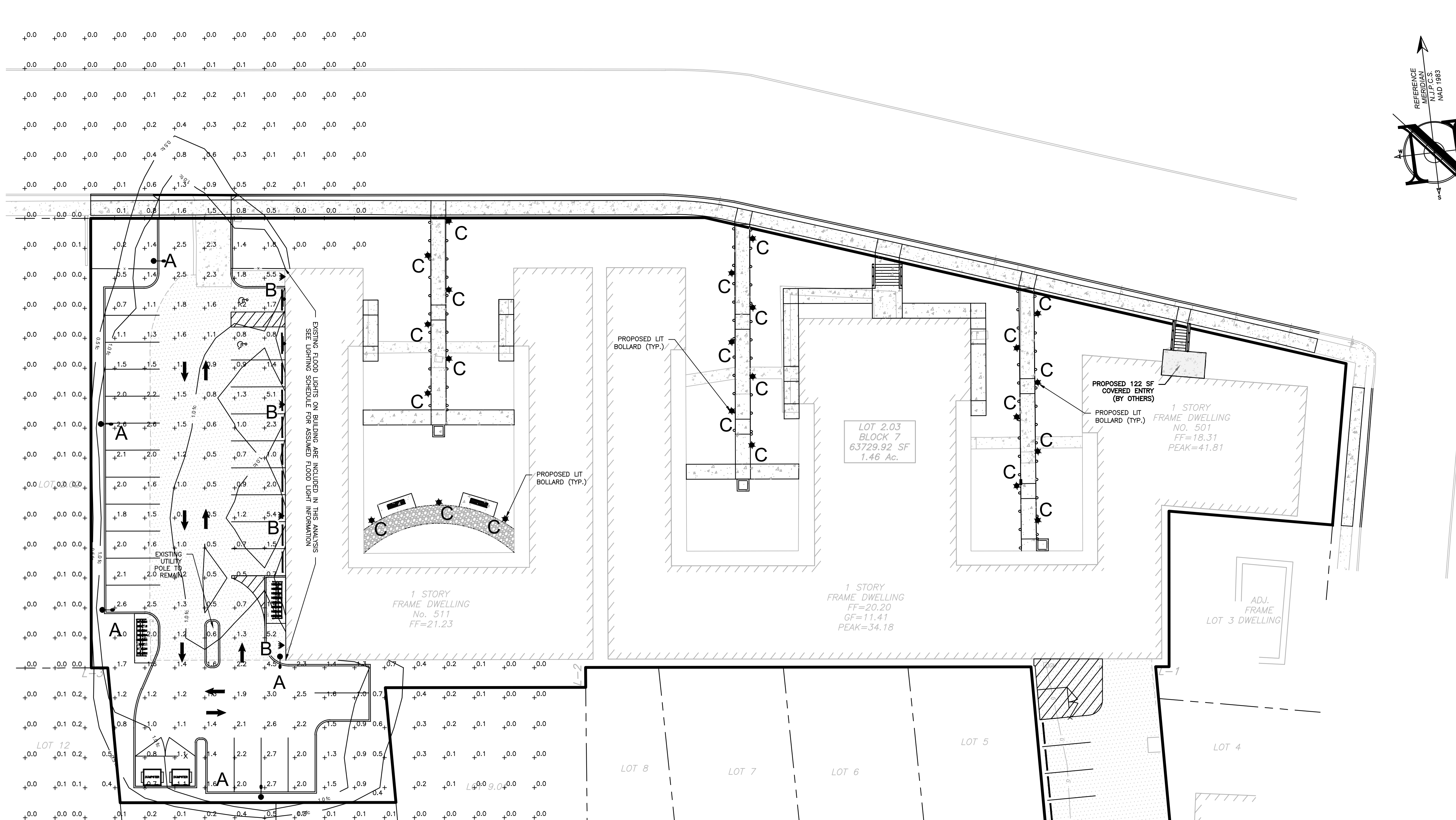
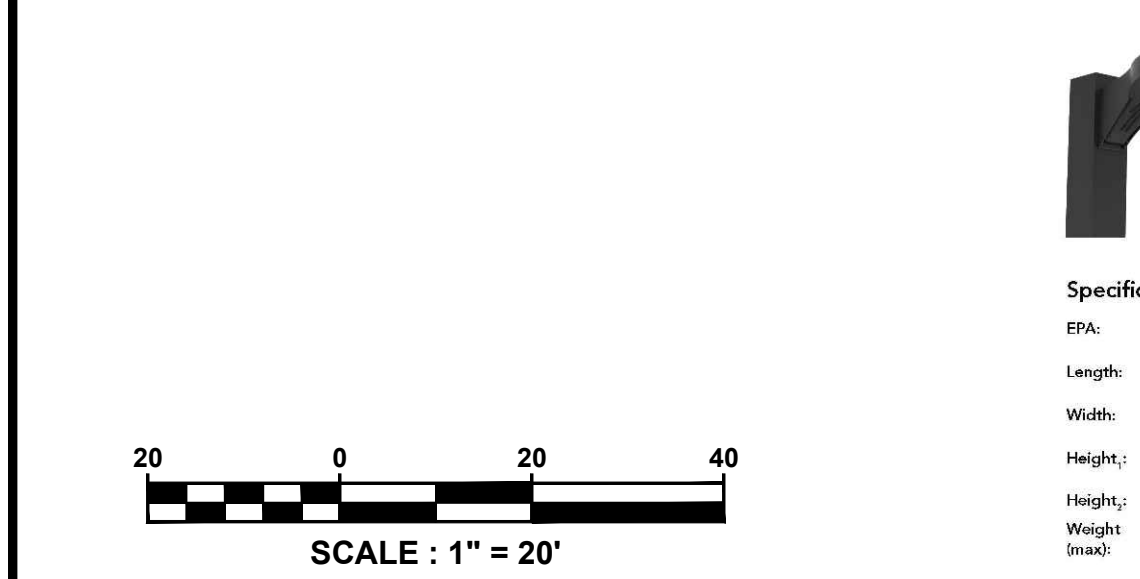
COLOR: TO BE SELECTED BY OWNER

FINISH: ETCHED

AS MANUFACTURED BY STRESSCRETE GROUP

(SHOP DRAWING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE)

NOTES:
1. PROVIDE 16" DIA. CIRCULAR CAST IN PLACE CONC. FOOTING. BOTTOM OF FTG MIN. 3'-0" BELOW GRADE.
2. SUBMIT SHOP DRAWINGS AND ANCHORAGE DETAIL TO ENGINEER PRIOR TO INSTALLATION.



AREA LIGHT DETAIL

N.T.S.

D-Series Size 0 LED Area Luminaire

DSX0 LED P1 30K T2M MVOLT HS

Specifications
 EPA: 100 lm/W
 Length: 28" (710mm)
 Width: 13" (330mm)
 Height: 9" (229mm)
 Weight: 17.7lb (8.0kg)

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series details the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Contractor Select™ OLF & OVFL LED Floodlighting

Example: DSX0 LED P5 40K T3M VOLT SPA NLAIRZ PIRHN DDBXD

Quantity	Description	Manufacturer	Notes
1	LITHONIA - DSX0 LED P1 30K T2M MVOLT HS	LITHONIA	
1	LITHONIA - OLF 2RH120 PE BZ M4	LITHONIA	

Ordering Information

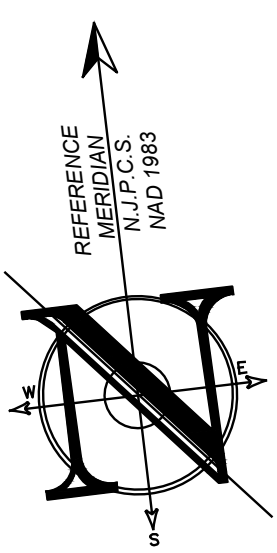
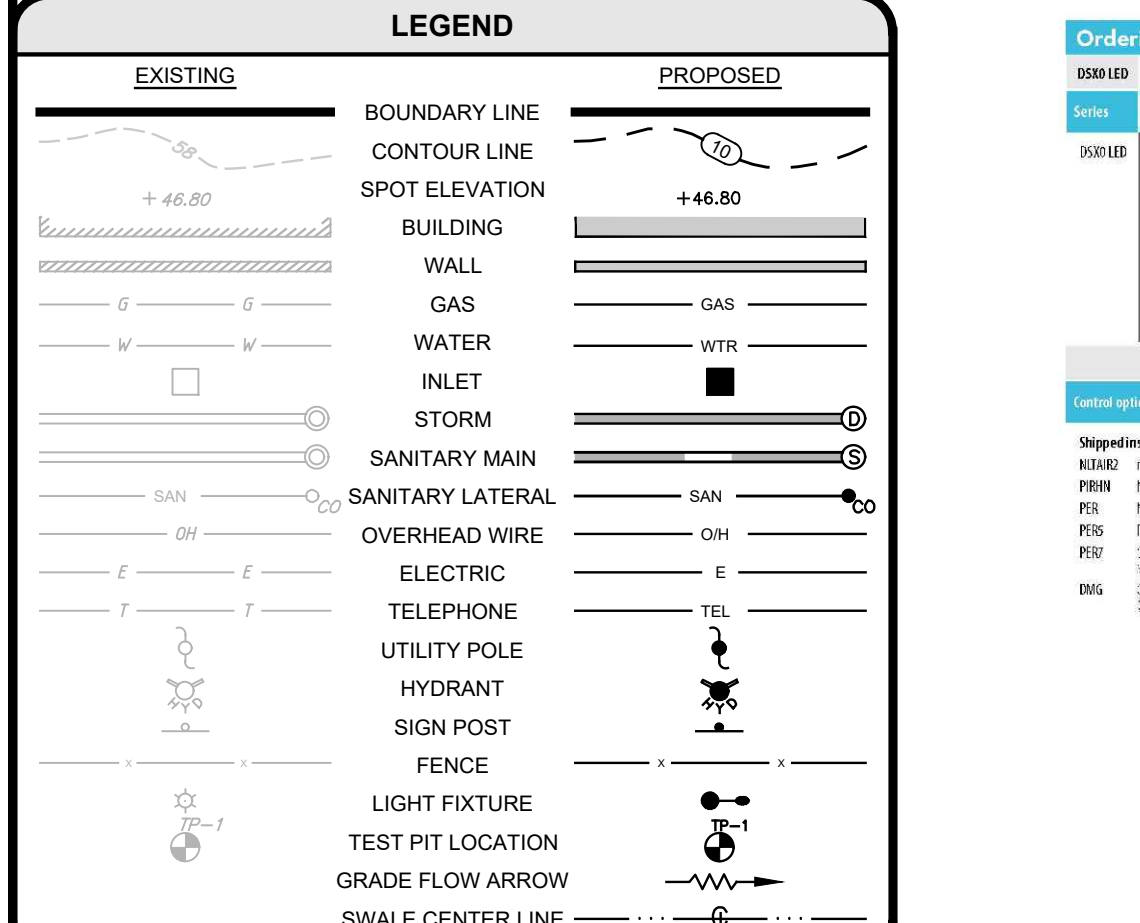
EXAMPLE: DSX0 LED P5 40K T3M VOLT SPA NLAIRZ PIRHN DDBXD

Code	LED	Color Temperature	Beam Angle	Wattage	Mounting
DSX0	LED	4000K	120°	30W	Spot
OLF	OLF	4000K	120°	24.5W	Double

LUMINAIRE SCHEDULE

LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	TYPE	DIRECTION OF ILLUMINATION
A	5	LITHONIA - DSX0 LED P1 30K T2M MVOLT HS	38 WATT	SINGLE	15'	AREA	DOWN
B	4	LITHONIA - OLF 2RH120 PE BZ M4	24.5 WATT	DOUBLE	9'	FLOOD	DOWN
C	23	BOLLARD LIGHT: FIXTURE VD-1	40 WATT	SINGLE	3'	BOLLARD	SPREAD

NOTE:
 1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOTCANDLES.
 2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.
 3. EXISTING LIGHTS OFF-SITE ARE NOT INCLUDED IN THIS ANALYSIS.



501-511 LAKE TERRACE

PROJECT INFORMATION

PROJECT NAME: 501-511 LAKE TERRACE
 BLOCK 7, LOT 2.03
 BOROUGH OF BRADLEY BEACH
 MONMOUTH COUNTY, NJ
 TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC
 1412 MAIN STREET
 ASBURY PARK, NJ 07712
 (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC
 1412 MAIN STREET
 ASBURY PARK, NJ 07712
 (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP
 49 MARKET STREET
 MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES
 34 SYCAMORE AVENUE, UNIT #1E
 LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BML STUDIO, LLC
 11 PERWINKLE DRIVE
 BARNEGAT, NJ 08005

SURVEYOR: INSITE SURVEYING, LLC
 1955 ROUTE 34, SUITE 1A
 WALL, NJ 07719

INSITE ENGINEERING, LLC
 SINCE 2003

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 NJ ONE CALL: 800-272-1000

UTILITY	COLOR
ELECTRIC	RED
GAS	YELLOW
COMMUNICATION/TV	ORANGE
WATER	BLUE
SEWER	GREEN
TELEPHONE	PURPLE
PROPOSED EXCAVATION	WHITE

INSITE ENGINEERING, LLC
 Engineering • Surveying • Planning

InSite Engineering, LLC
 CERTIFICATE OF AUTHORIZATION: 24GA28083200
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
 732-531-7100 (Ph) 732-531-7344 (Fax)
 InSite@InSiteEng.net www.InSiteEng.net

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Jason E. Teller
JASON E. TELLER, PE, PP, CFM, CME
 NJPE #3118 NJPP #726 PAPE #1998
 DEPE #3113 NYPE #02295 CPEE #2391
 NCPE #3336 DCPE #90682 COPE #6605

REVISIONS

Rev #	Date	Comment
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 JOB #: 20-1472-01 CHECKED BY: JLF
 CAD ID: 20-1472-010

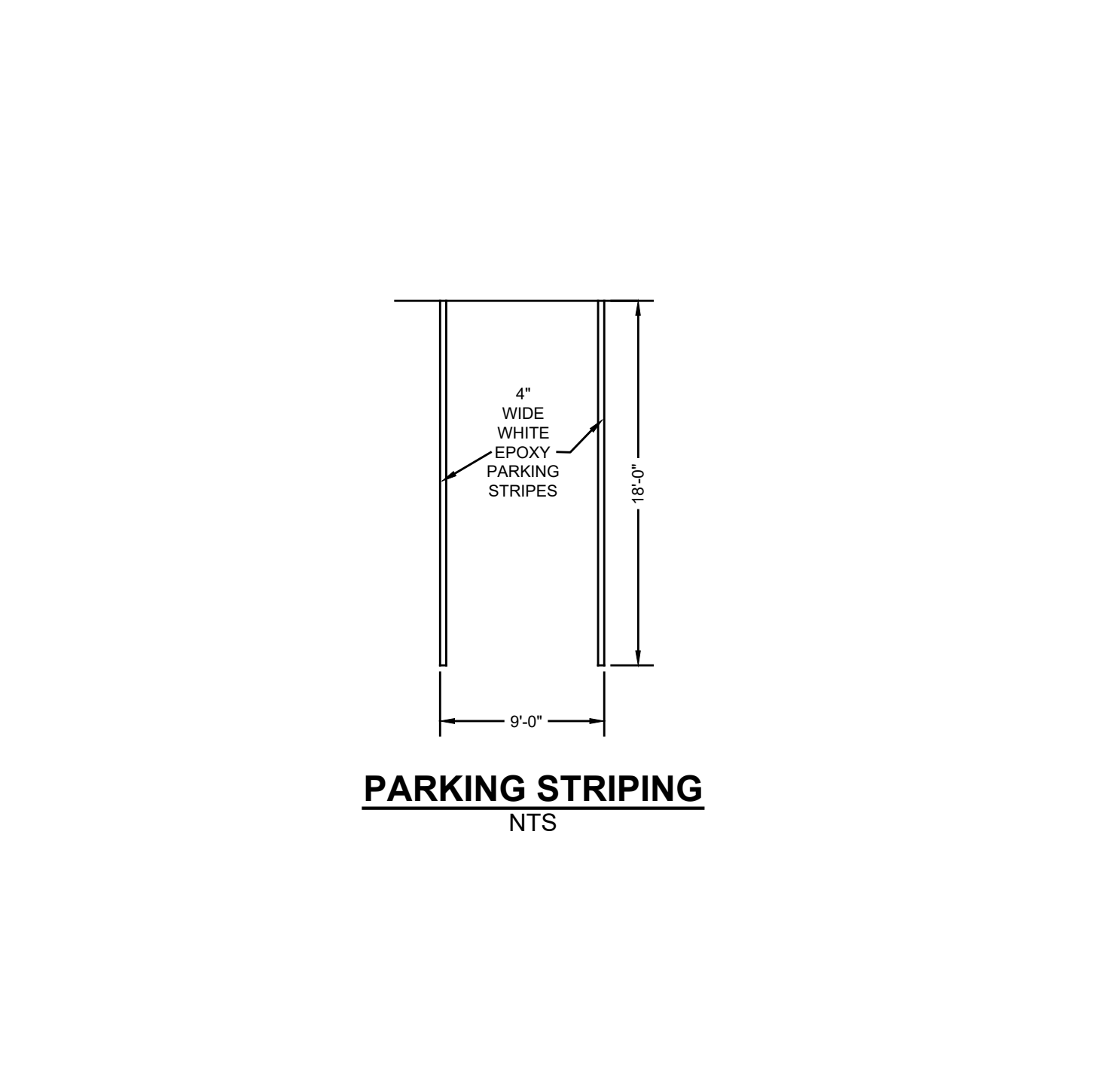
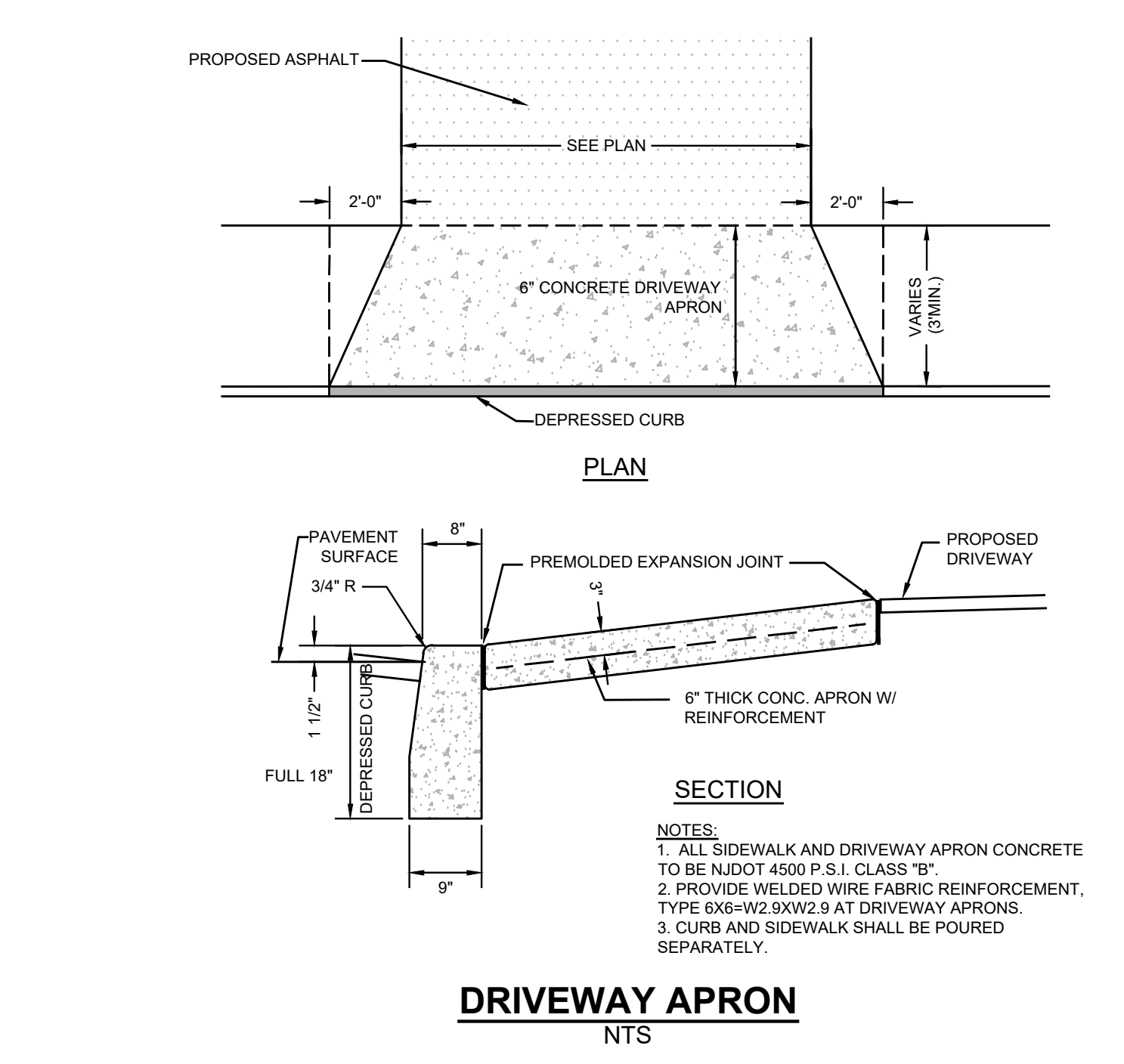
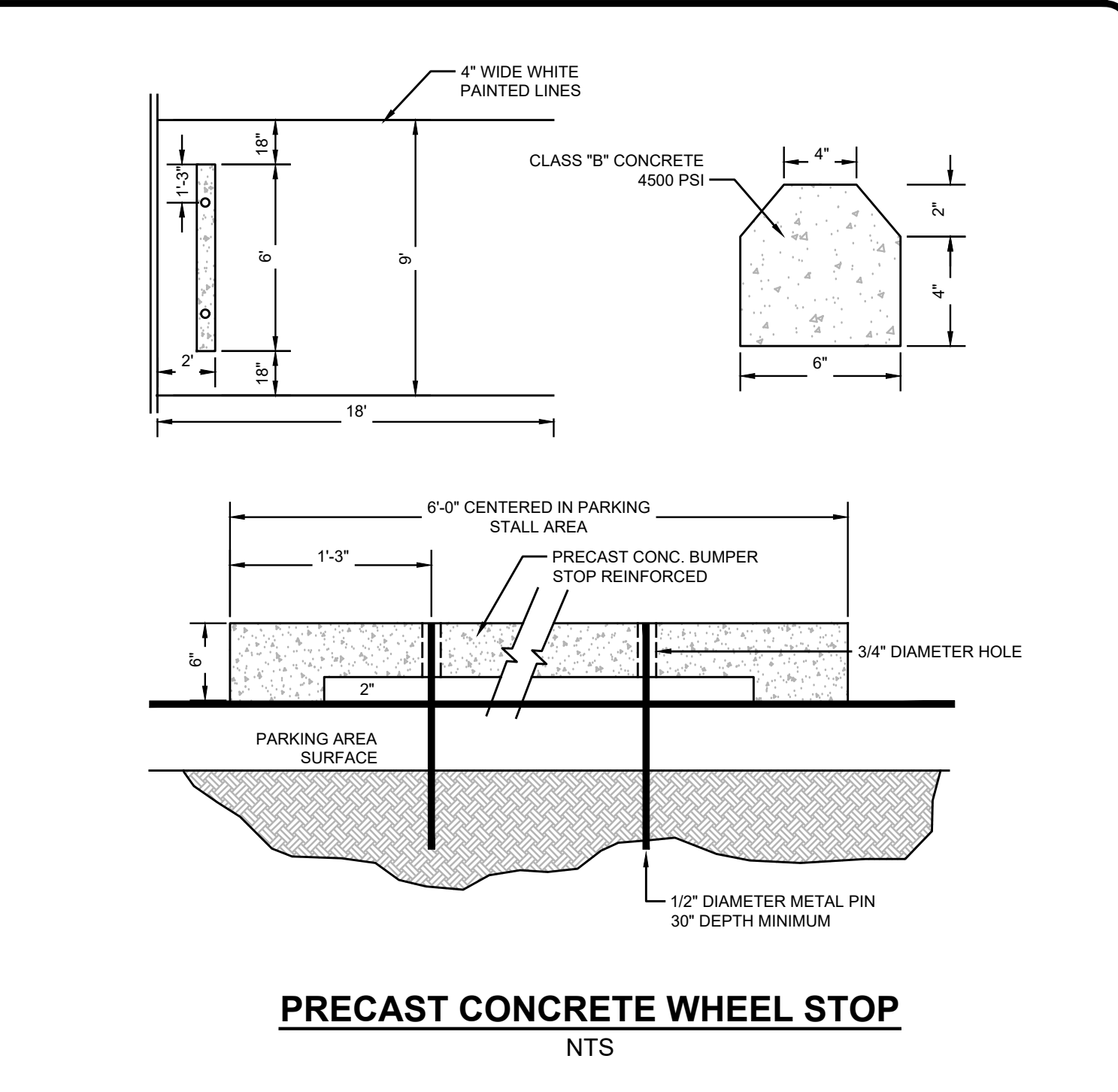
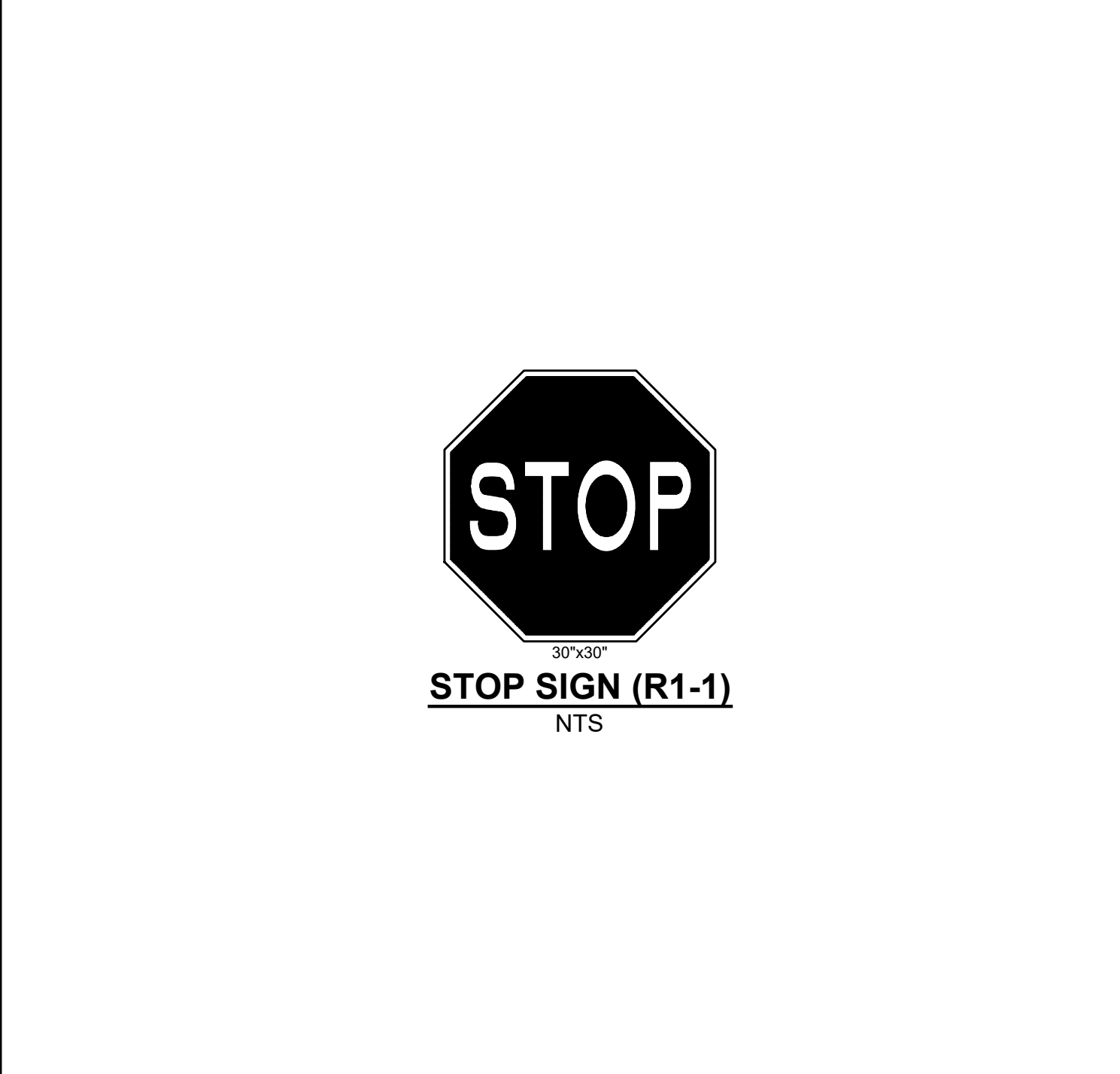
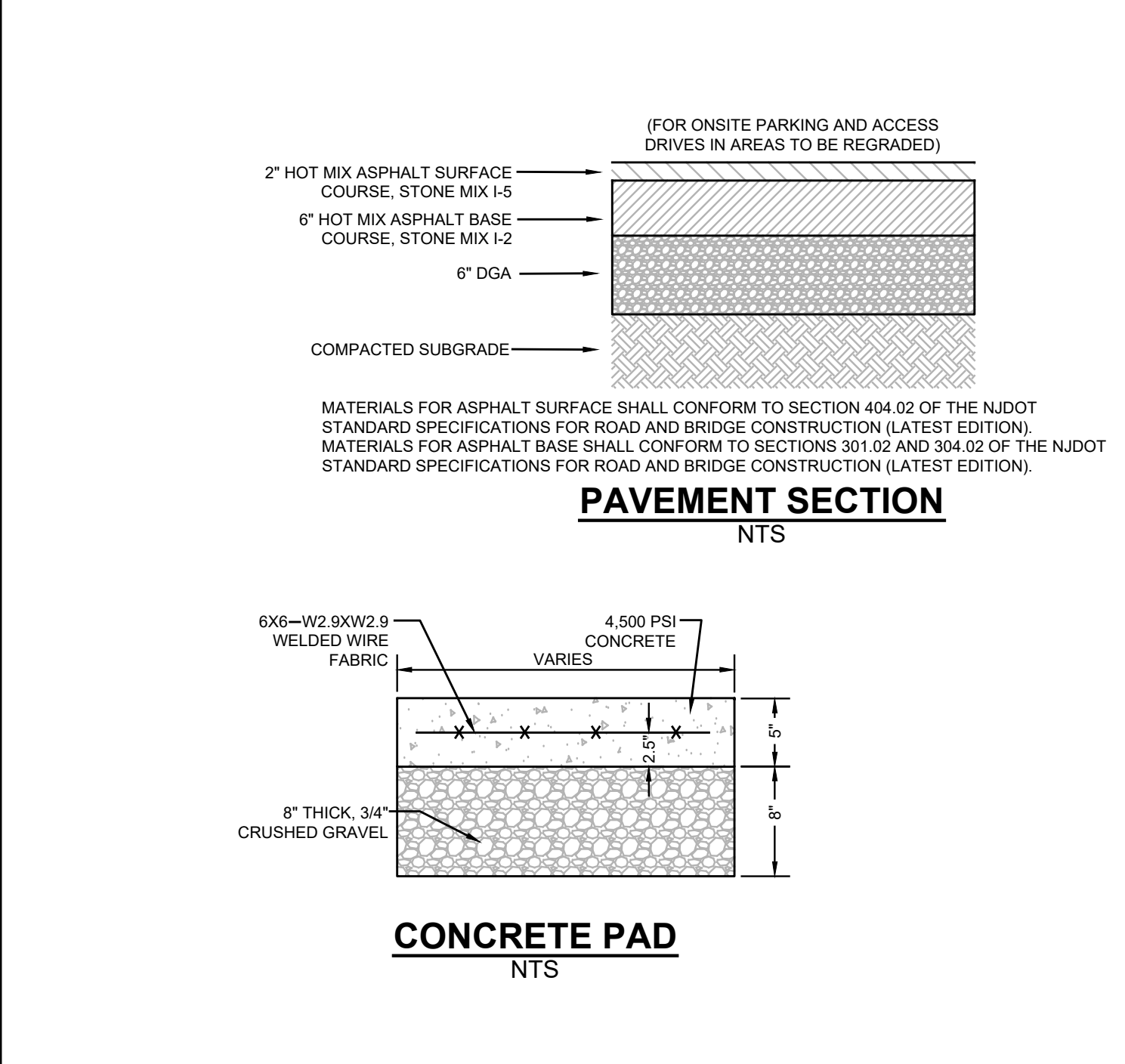
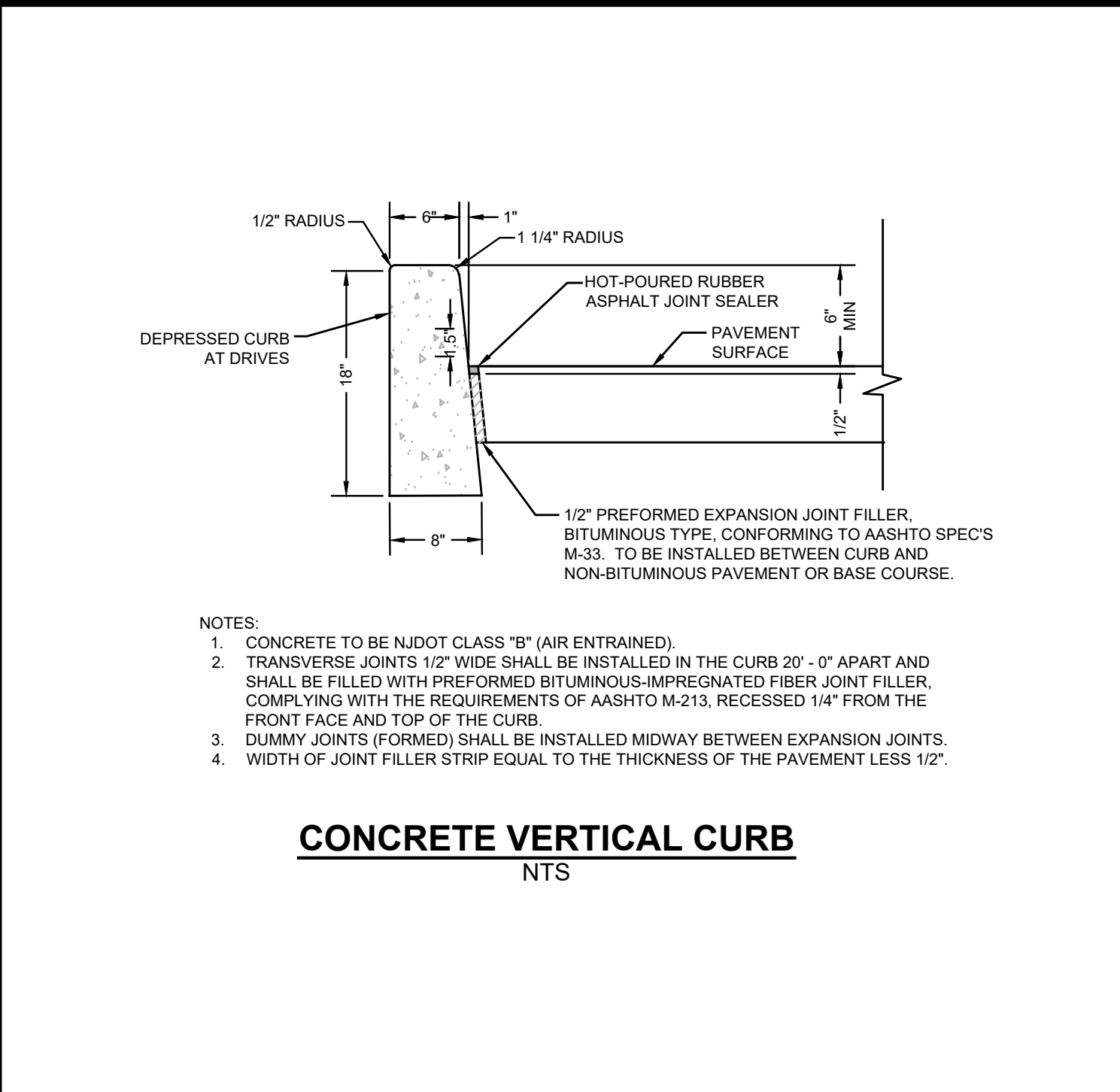
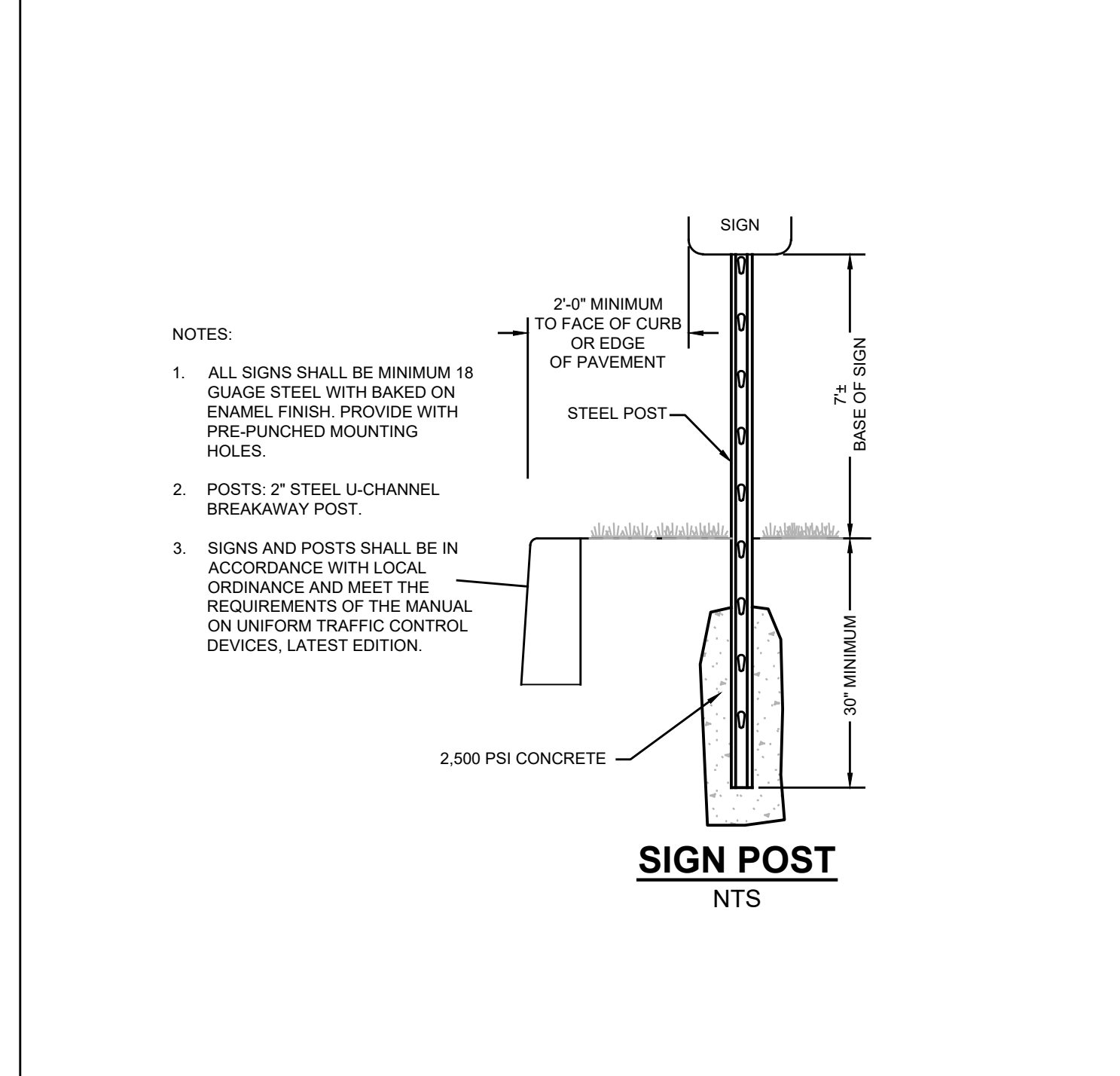
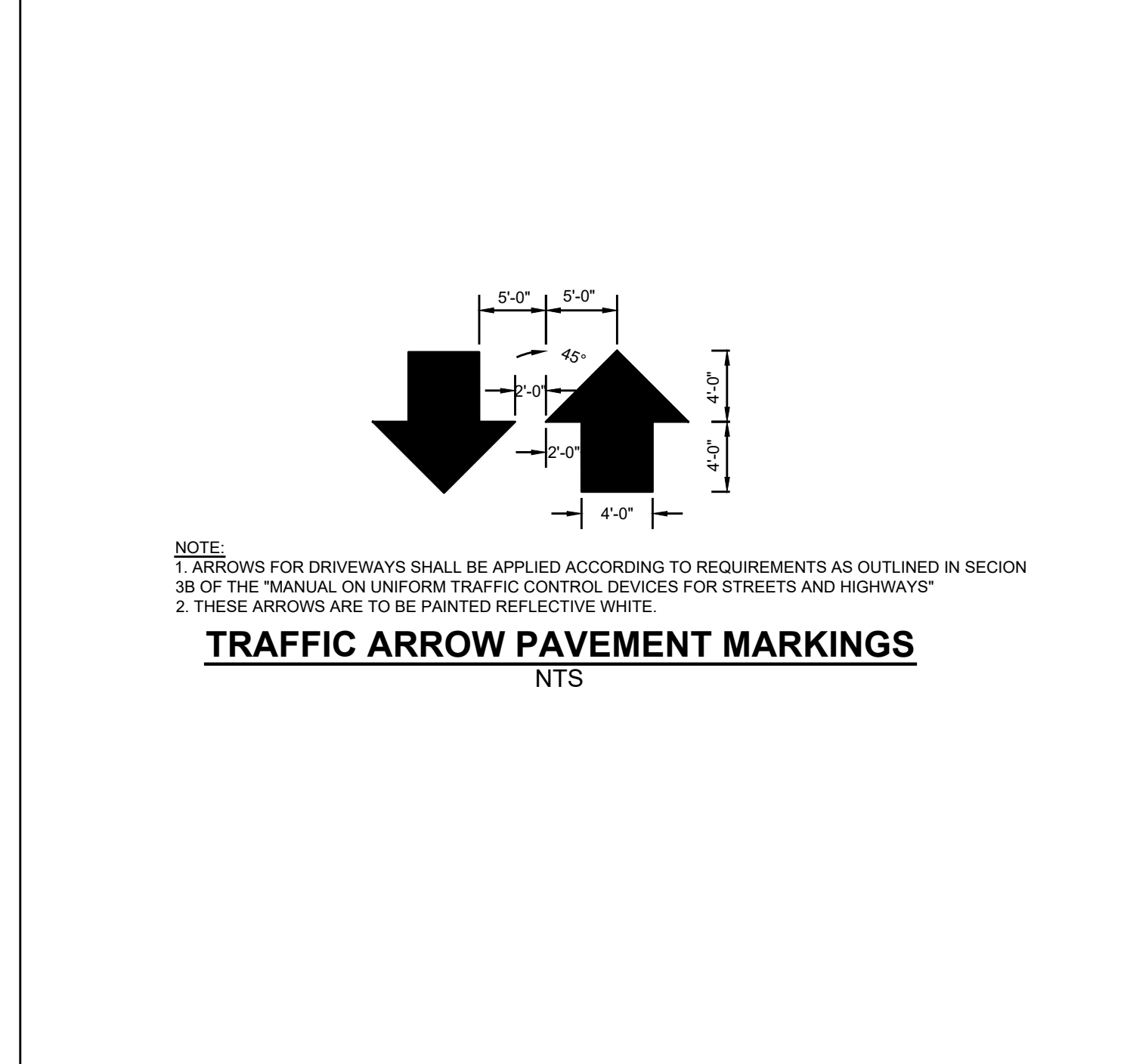
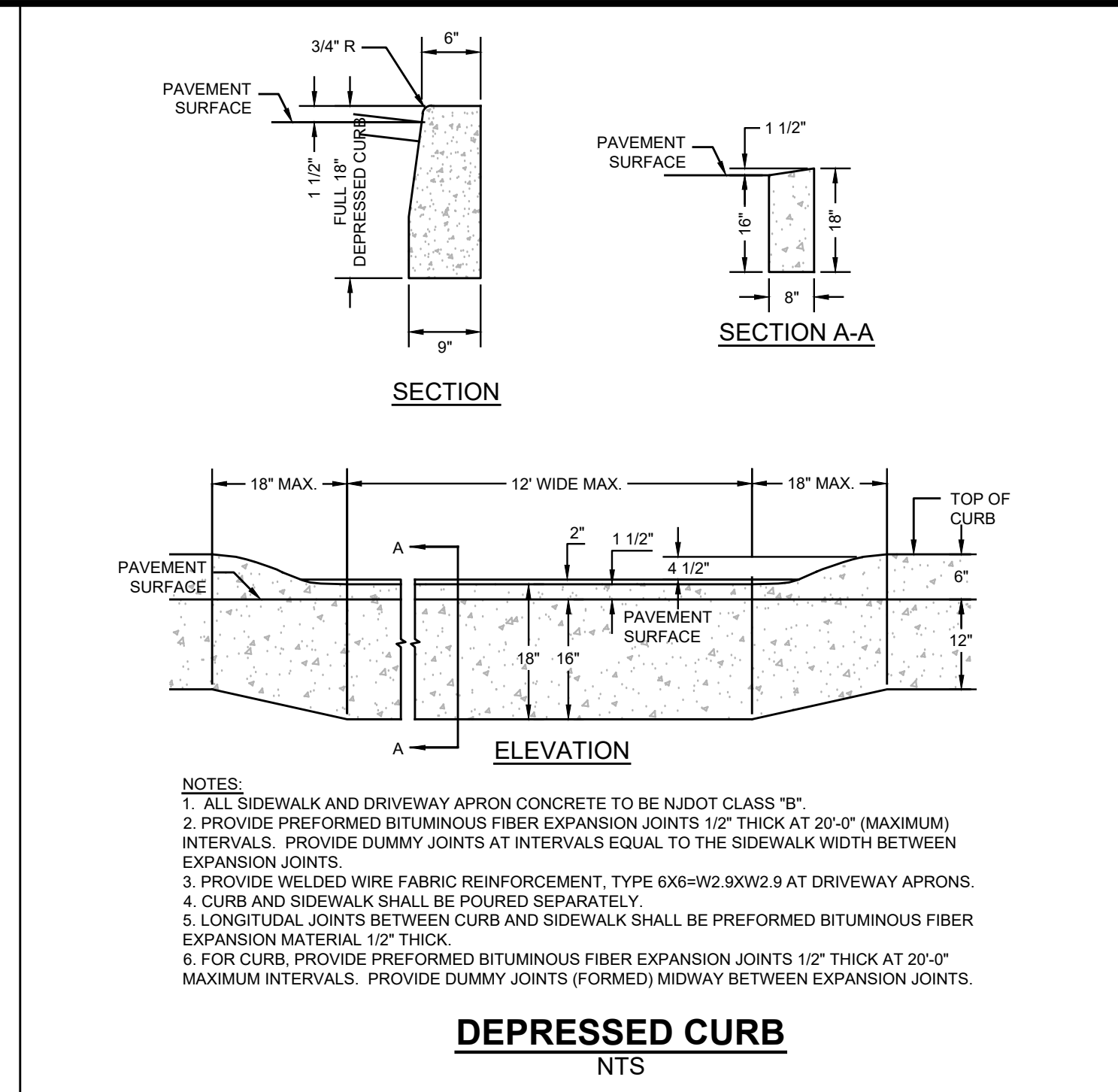
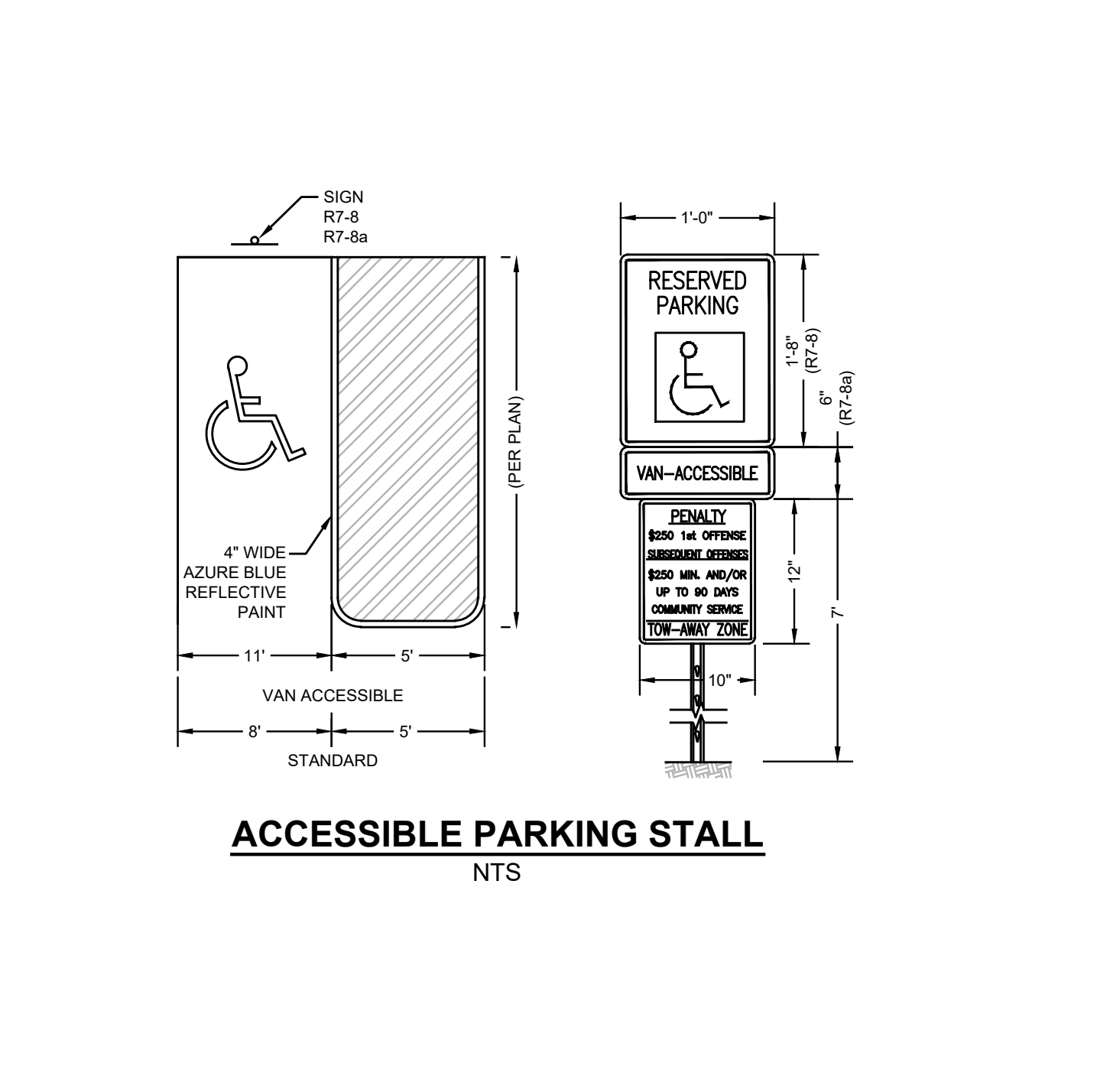
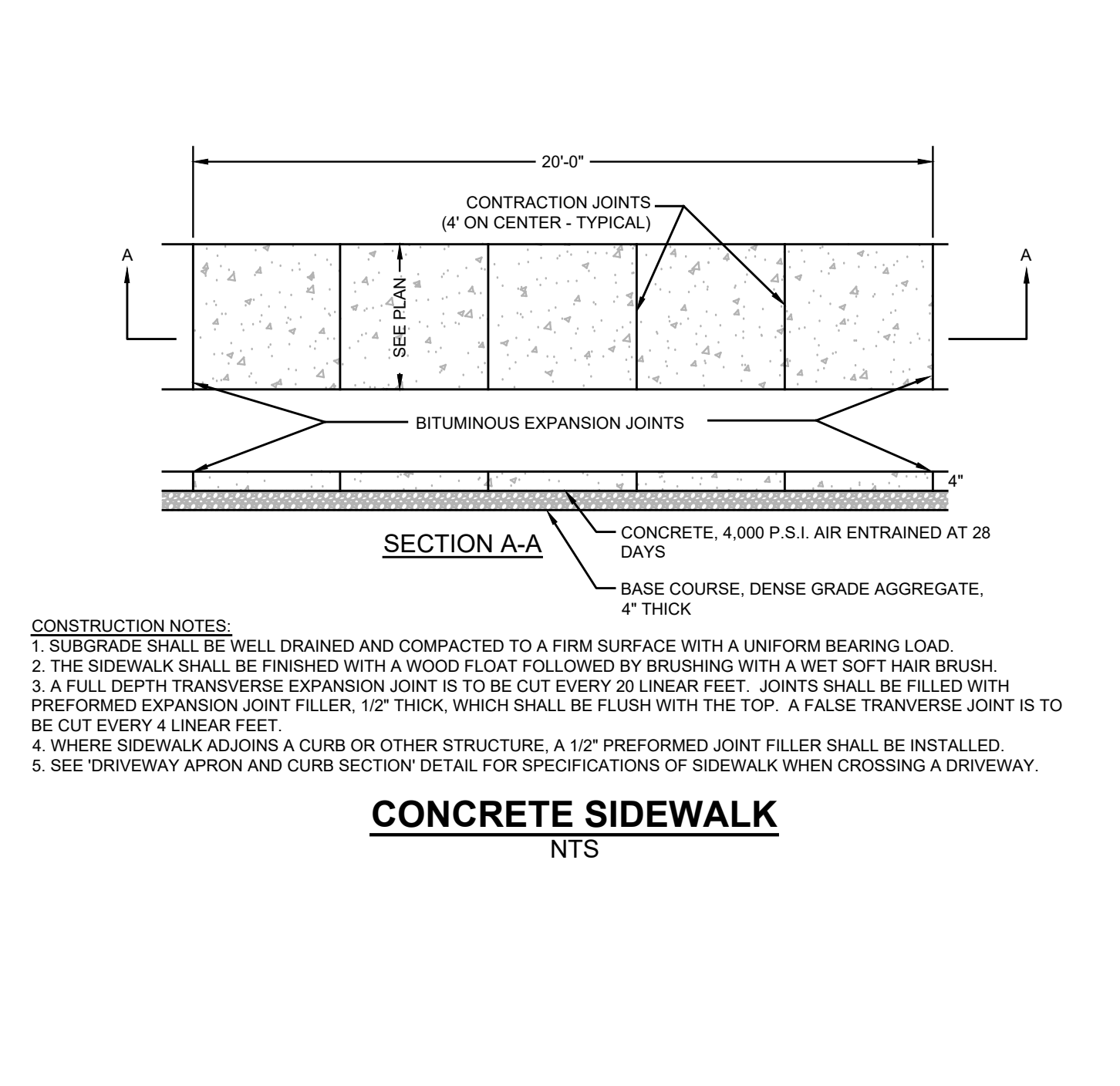
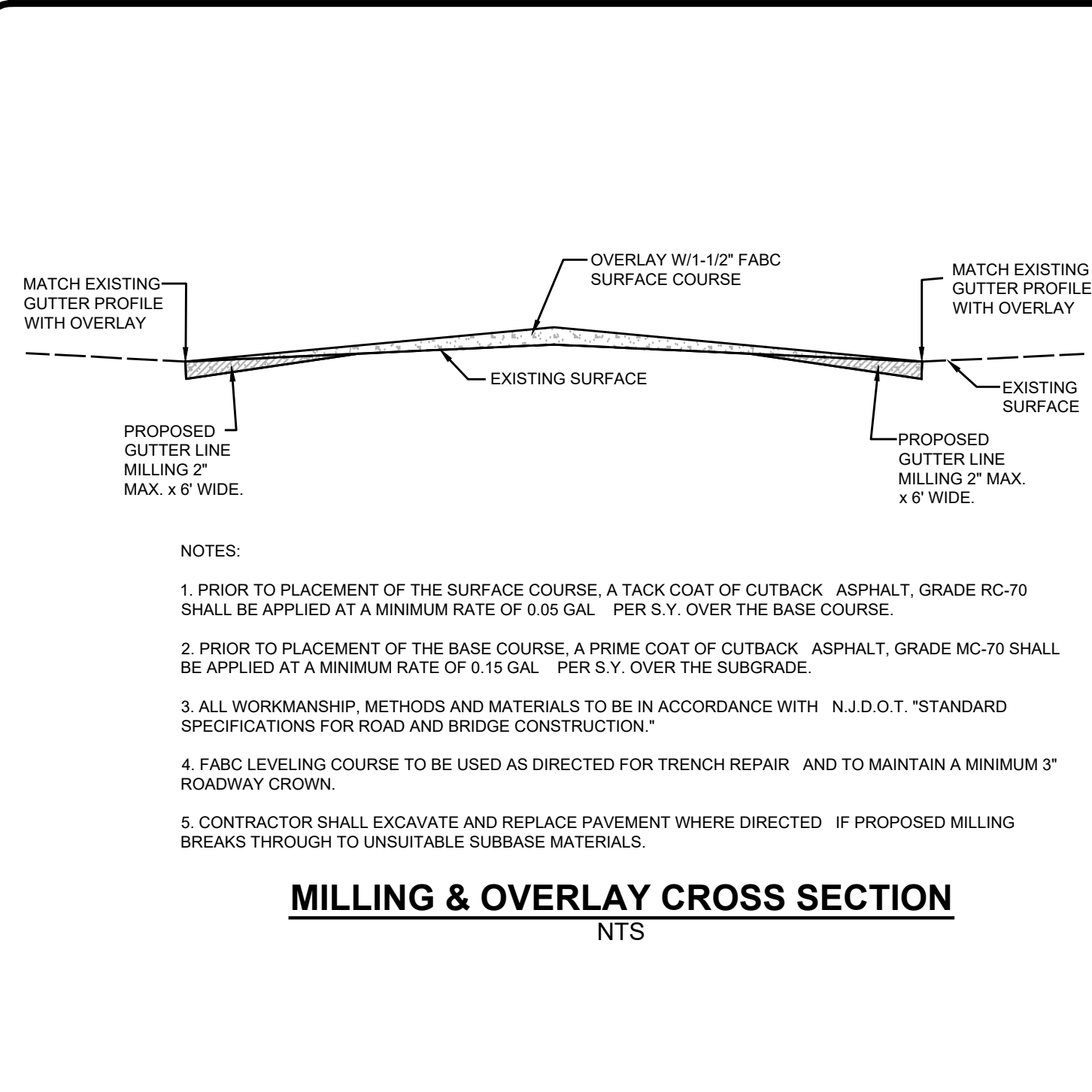
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PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING PLAN AND DETAILS

SHEET NO.: C602

File: S:\501-511 Lake Terrace, LLC\05-1472-01 - 501-511 Lake Terrace\mxd\DWG\05-Landscape.dwg, 11/20/20 10:47:01 AM
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PROJECT INFORMATION

PROJECT NAME: **501-511 LAKE TERRACE**

PROJECT LOCATION: BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

OWNER: **501 LAKE TERRACE, LLC**
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT: **501 LAKE TERRACE, LLC**
1412 MAIN STREET
ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: **FOX ROTHCHILD, LLP**
49 MARKET STREET
MORRISTOWN, NJ 07960

ARCHITECT: **MICHAEL SAVARESE ASSOCIATES**
34 SYCAMORE AVENUE, UNIT #1E
LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: **BML STUDIO, LLC**
11 PERIWINKLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR: **INSITE SURVEYING, LLC**
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

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ELECTRIC	RED
GAS	YELLOW
COMMUNICATION/TV	ORANGE
WATER	BLUE
SEWER	GREEN
TRIP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
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InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
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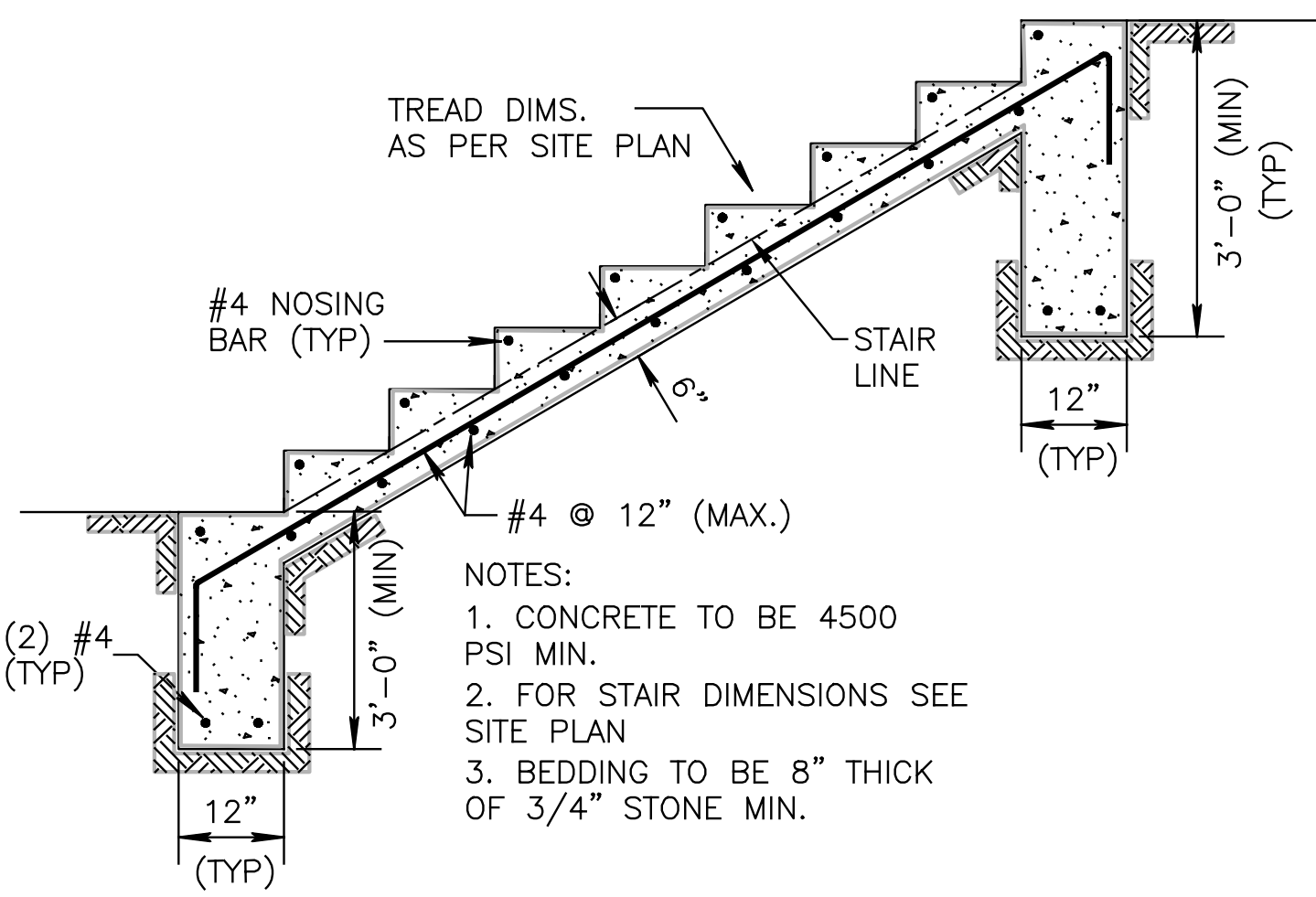
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NCPPE #3336 DCPPE #00682 COPE #6605

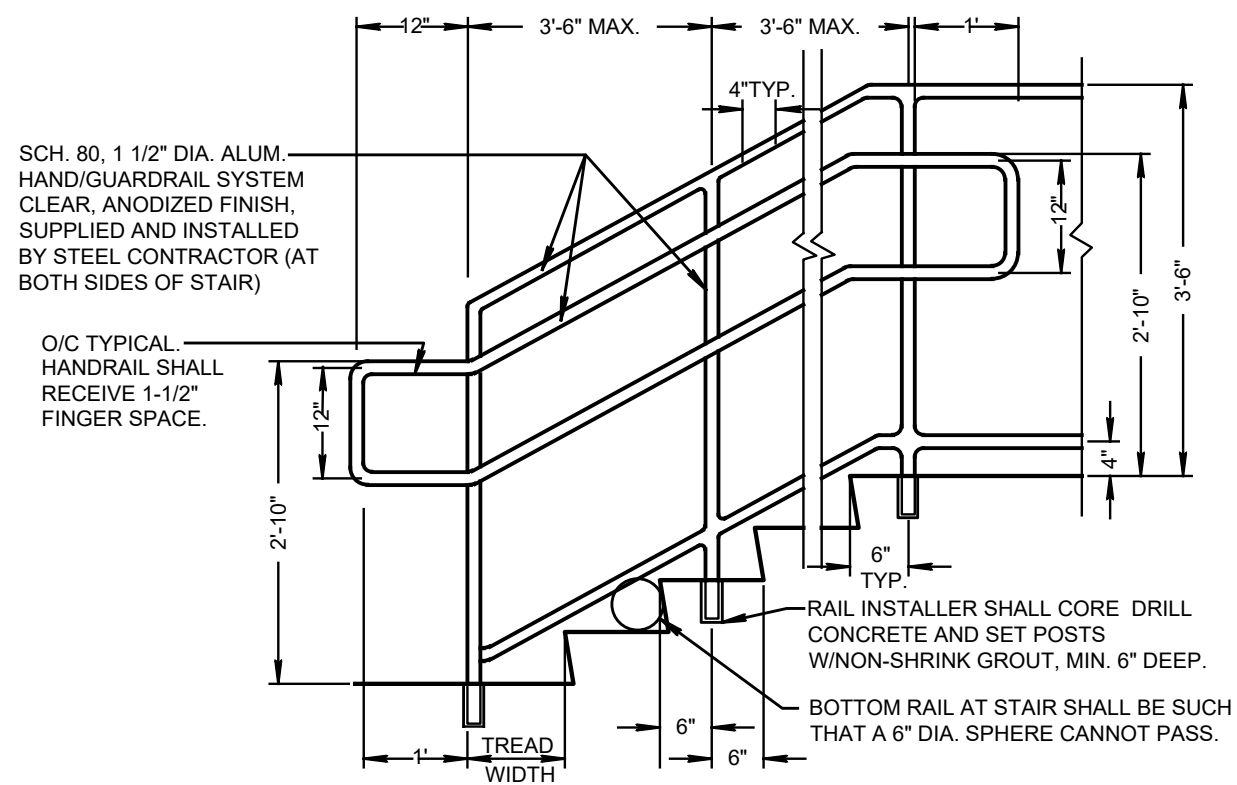
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		JOB # 20-1472-01 CHECKED BY: JLF
		CAD ID: 20-1472-01/0
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		SHEET TITLE: CONSTRUCTION DETAILS
		SHEET NO.: C800

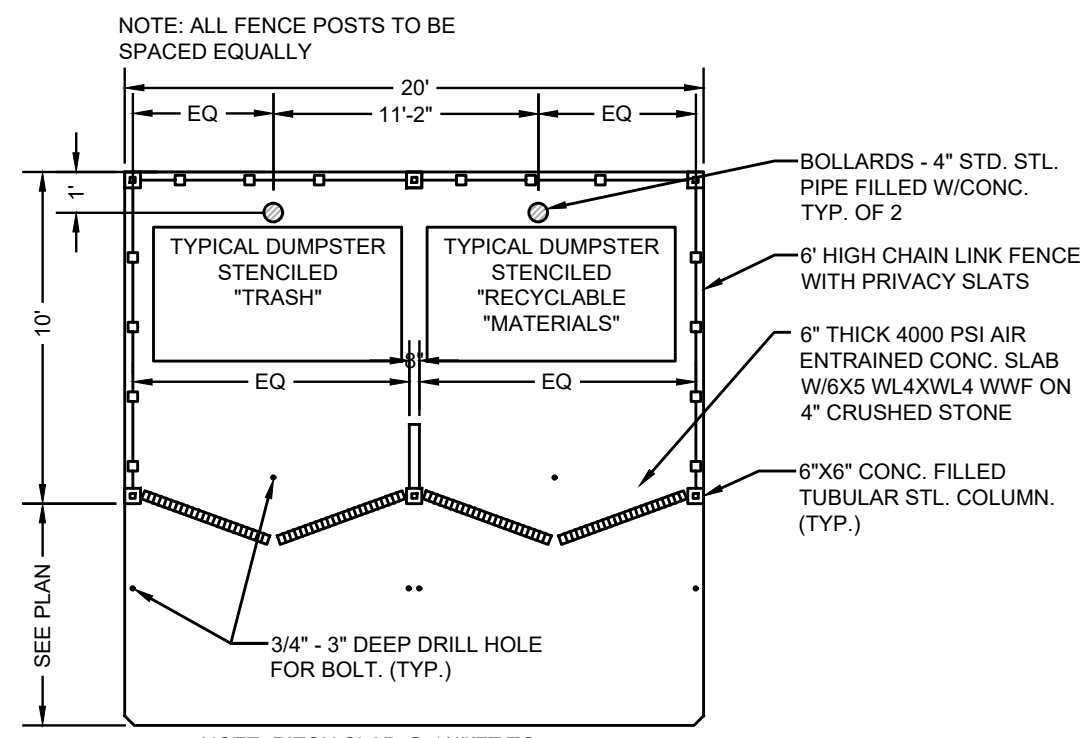
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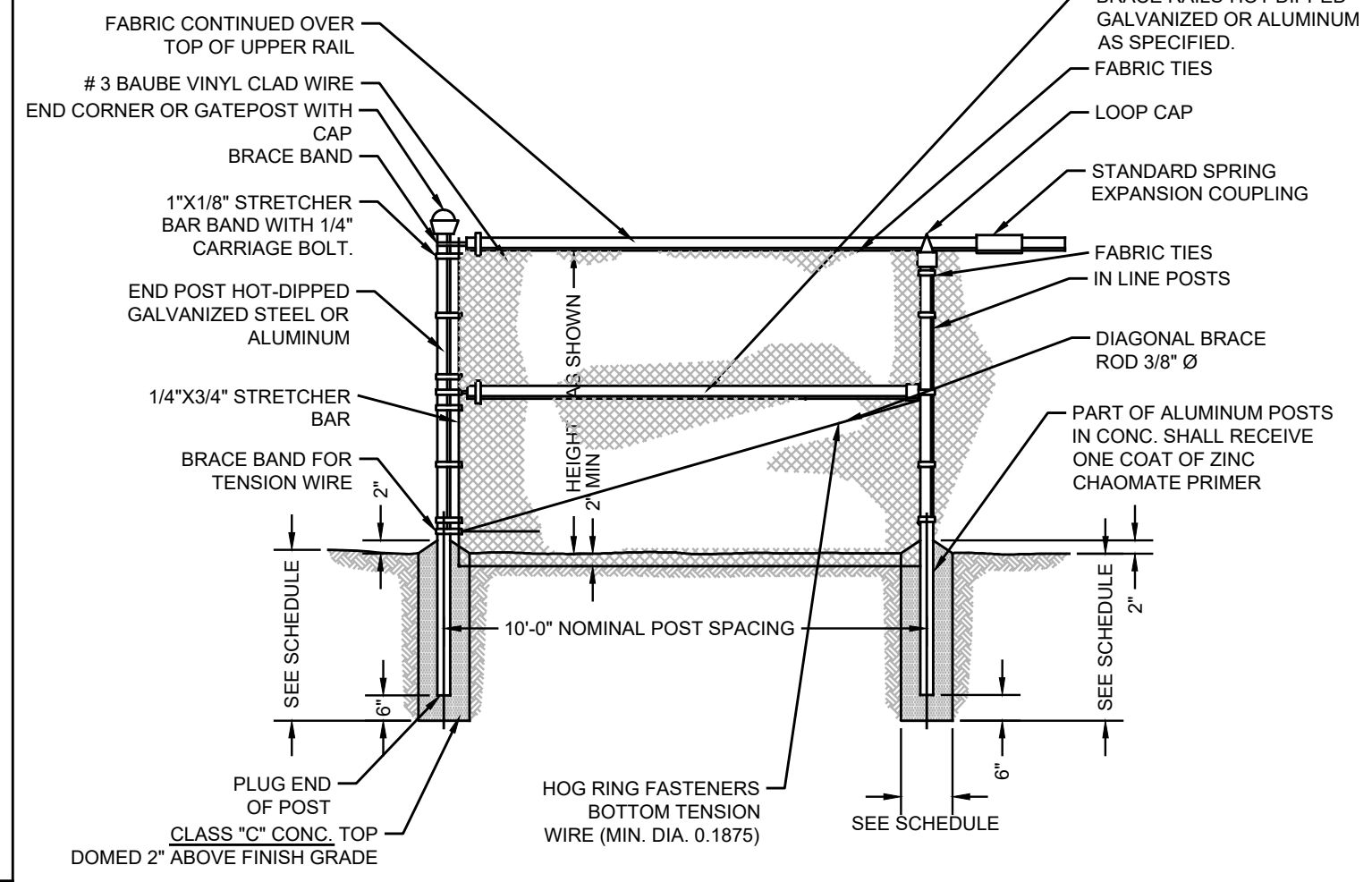
CONCRETE STAIR DETAIL
N.T.S.



GUARD AND HANDRAIL ASSEMBLY
N.T.S.

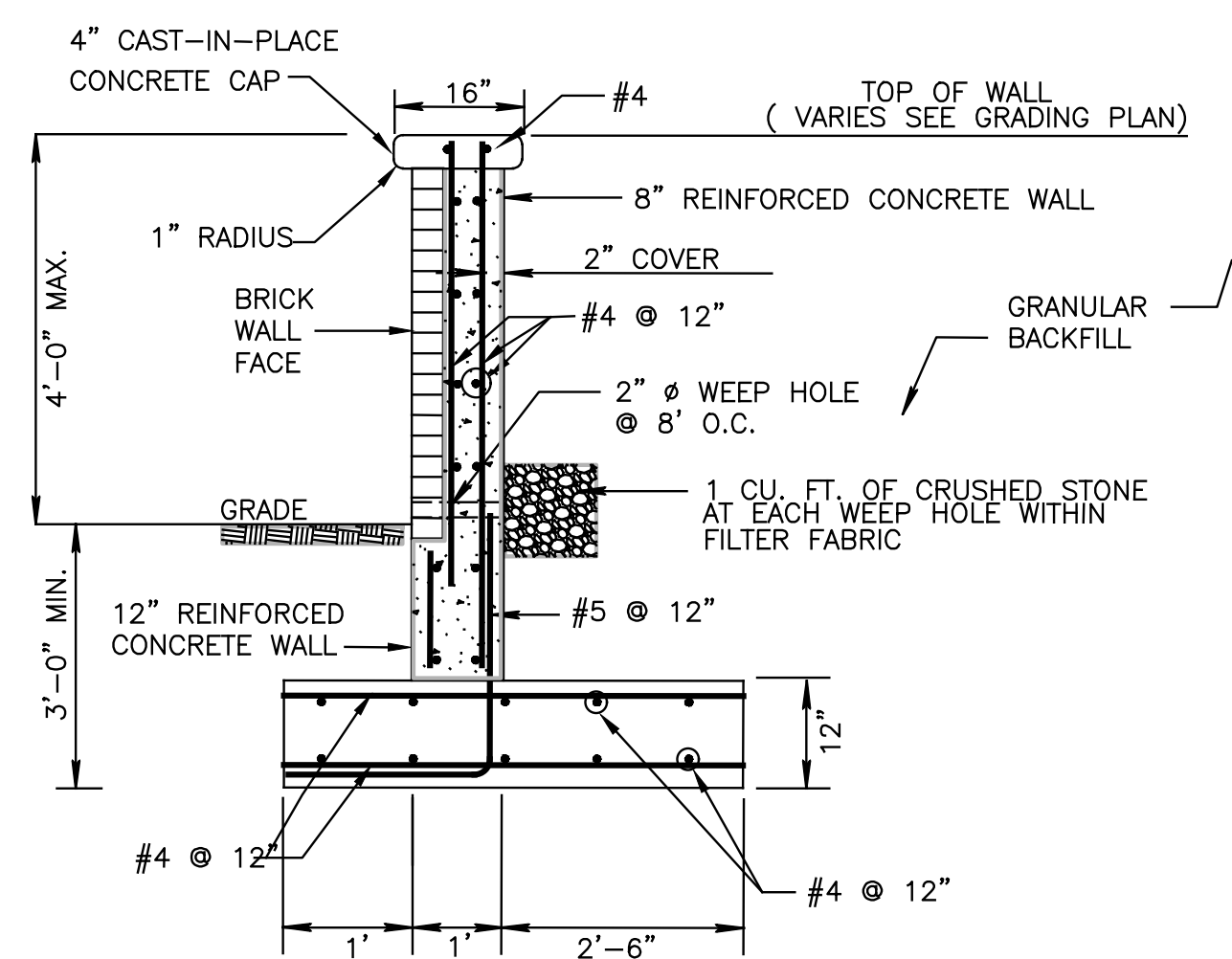


CHAIN LINK FENCE DUMPSTER ENCLOSURE: TWIN
N.T.S.



DESCRIPTION	NOMINAL FENCE HEIGHT		
	UNDER 4'	4' - 8'	8' - 12'
MEMBER SCHEDULE	2"	2-1/2"	2-1/2"
- IN-LINE POSTS	2-1/2"	3"	3"
- TERMINAL AND CORNER POSTS	2-1/2"	3"	3"
- BRACE RAILS	1-3/8"	1-5/8"	1-5/8"
FOOTING SCHEDULE			
- CORNER AND TERMINAL POSTS	3'-6"	4'-0"	4'-0"
- IN-LINE POSTS	3'-0"	3'-6"	3'-6"
- GATE POSTS	3'-6"	4'-0"	4'-0"
FOOTING DIAMETER (BOTTOM)			
- CORNER AND TERMINAL POSTS	12"	14"	16"
- IN-LINE POSTS	10"	12"	14"
- GATE POSTS	12"	14"	16"
FOOTING DIAMETER (TOP)			
- CORNER AND TERMINAL POSTS	10"	12"	14"
- IN-LINE POSTS	8"	10"	12"
- GATE POSTS	10"	12"	14"

CHAIN LINK FENCE & SCHEDULE
N.T.S.



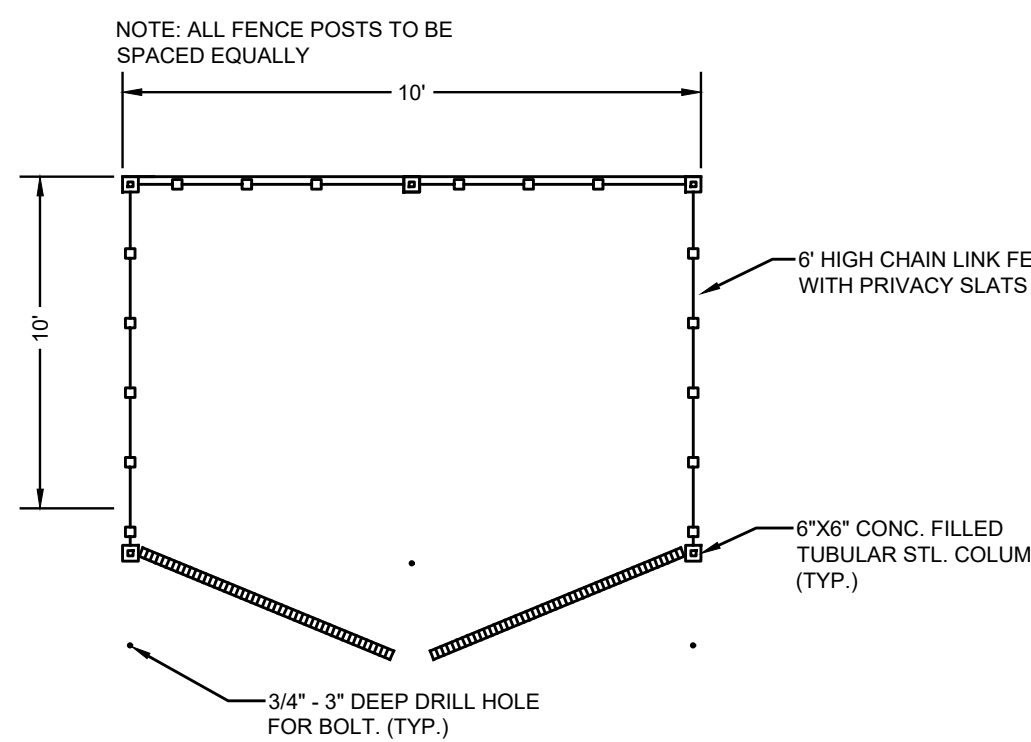
LANDSCAPE WALL (BRICK - ONE SIDE)
SCALE: N.T.S.



AUSTIN BENCH OR APPROVED EQUAL
SURFACE MOUNT BACKED ALUMINUM BENCH
POWDERCOAT FINISH: TO BE SELECTED BY OWNER
(SHOP DRAWING TO BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE)

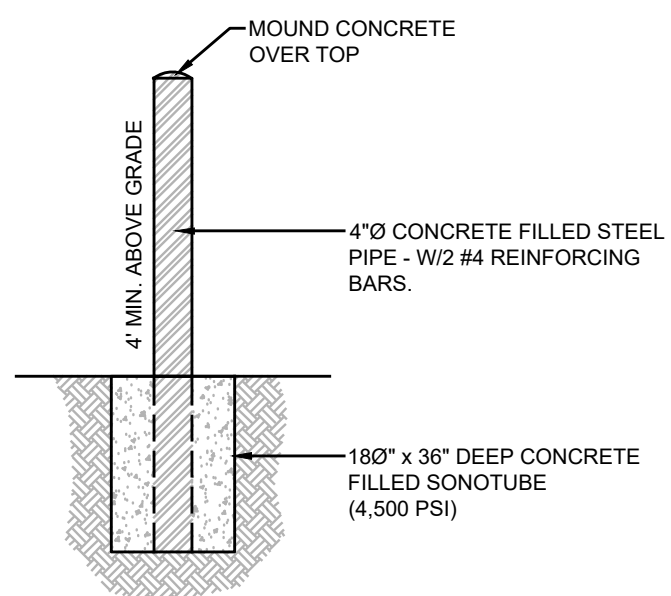
BENCH DETAIL
N.T.S.

NOTE:
1. FASTEN BENCH TO CONCRETE PAVEMENT/SIDEWALK W/ (1)-HILTI KWIK BOLT 2 (318SS) EXPANSION ANCHOR PER LEG. PROVIDE MIN. 3" EMBED. (TYP.)

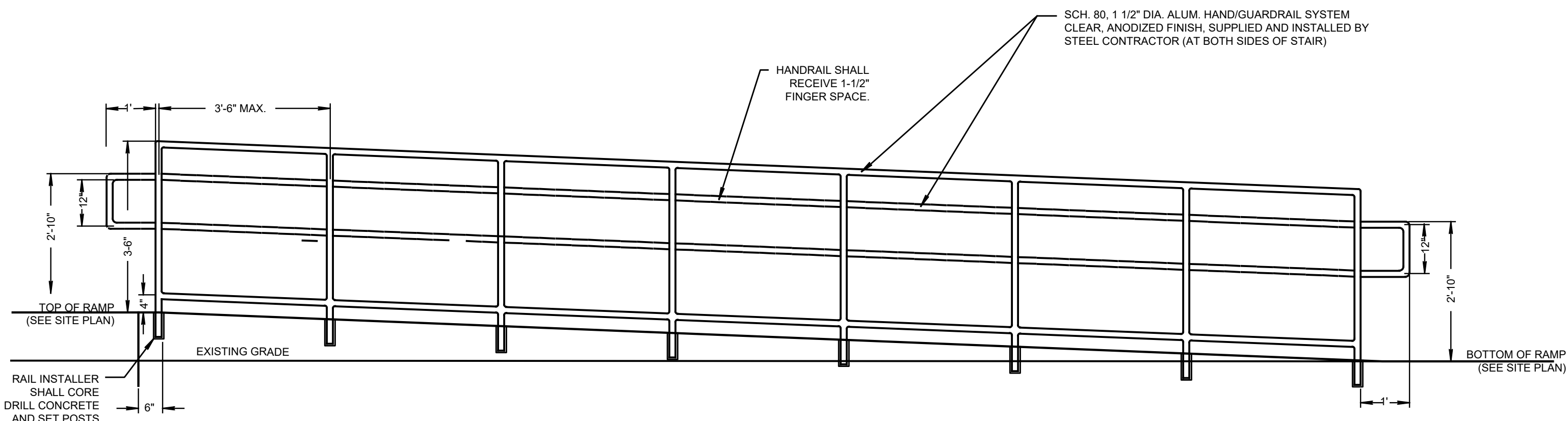
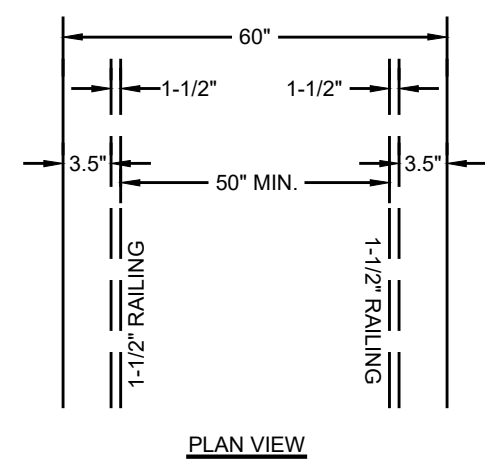


CHAIN LINK FENCE INDIVIDUAL TRASH BIN COLLECTION AREA DETAIL
N.T.S.

NOTE:
BRICK SHELF TO BE LOCATED A MINIMUM OF 3" BELOW STAIR LINE



4" BOLLARD DETAIL
N.T.S.



HANDICAPPED RAMP DETAIL
N.T.S.

PROJECT INFORMATION

PROJECT NAME:

501-511 LAKE TERRACE

PROJECT LOCATION:
BLOCK 7, LOT 2.03
501-511 LAKE TERRACE
BOROUGH OF BRADLEY BEACH
MONMOUTH COUNTY, NJ
TAX MAP SHEET #1

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(732) 772-5656

APPLICANT:
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ASBURY PARK, NJ 07712
(732) 772-5656

APPLICANT'S PROFESSIONALS

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LITTLE SILVER, NJ 07739

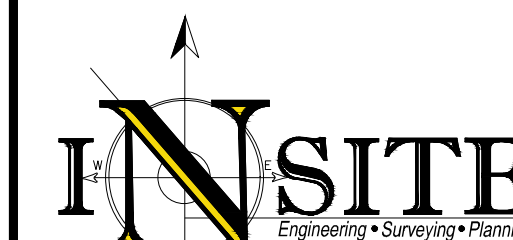
LANDSCAPE ARCHITECT:
BML STUDIO, LLC
11 PERKINLE DRIVE
BARNEGAT, NJ 08005

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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UTILITY	COLOR
ELECTRIC	RED
GAS	YELLOW
COMMUNICATION / TV	ORANGE
SEWER	GREEN
TRIP SERVICE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
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NJPE #3118 NJPP #726 PAPE #1968
DEPE #819 NYPE #02285 CPE #21391
NCPE 33336 DCPPE 900682 COPE 36605

REVISIONS

Rev.#	Date	Comment
0	11/20/20	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: CMB
DATE: 11/20/20 DRAWN BY: JLS
JOB #: 20-1472-01 CHECKED BY: JLF
CAD ID: 20-1472-01/0

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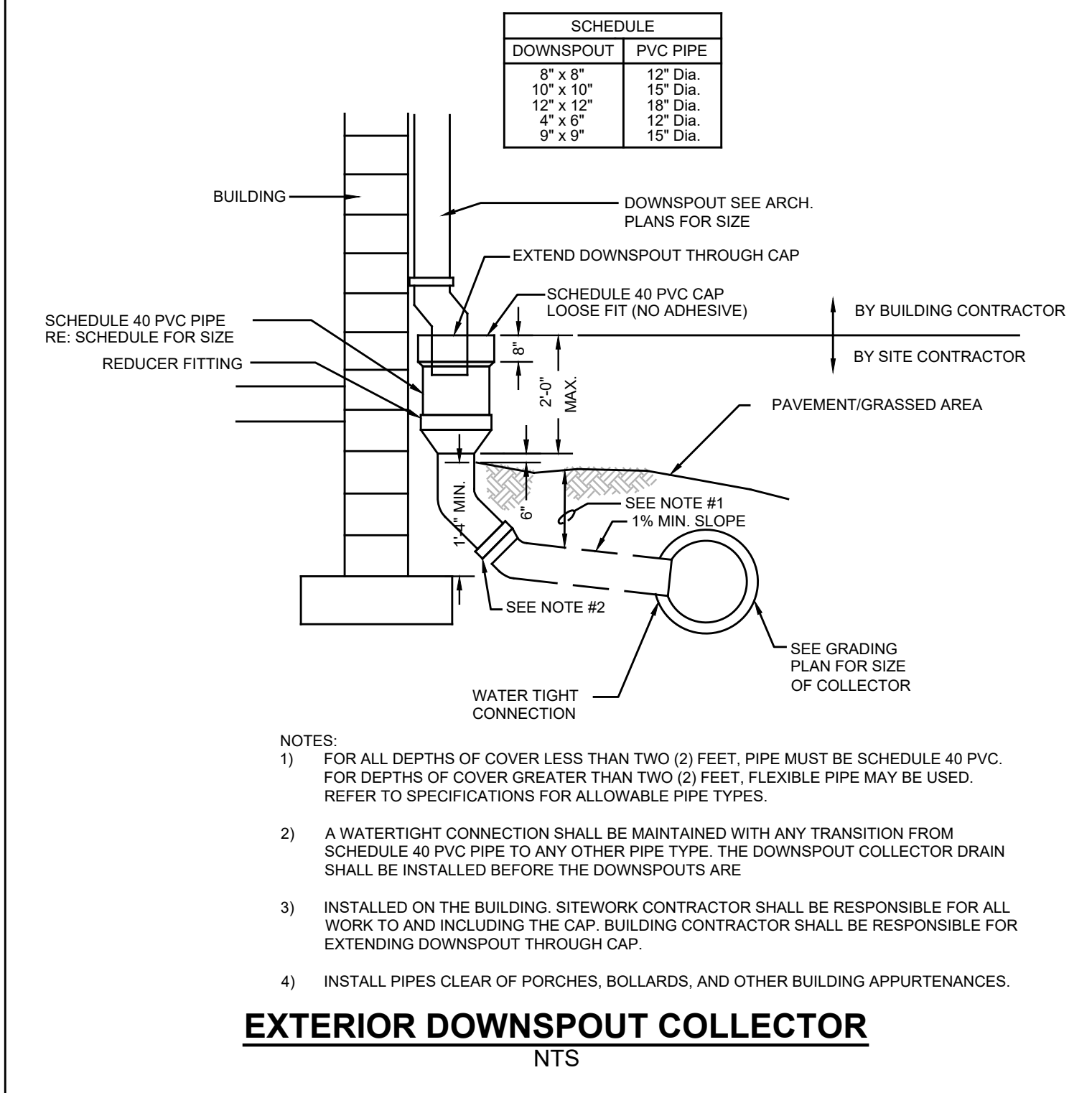
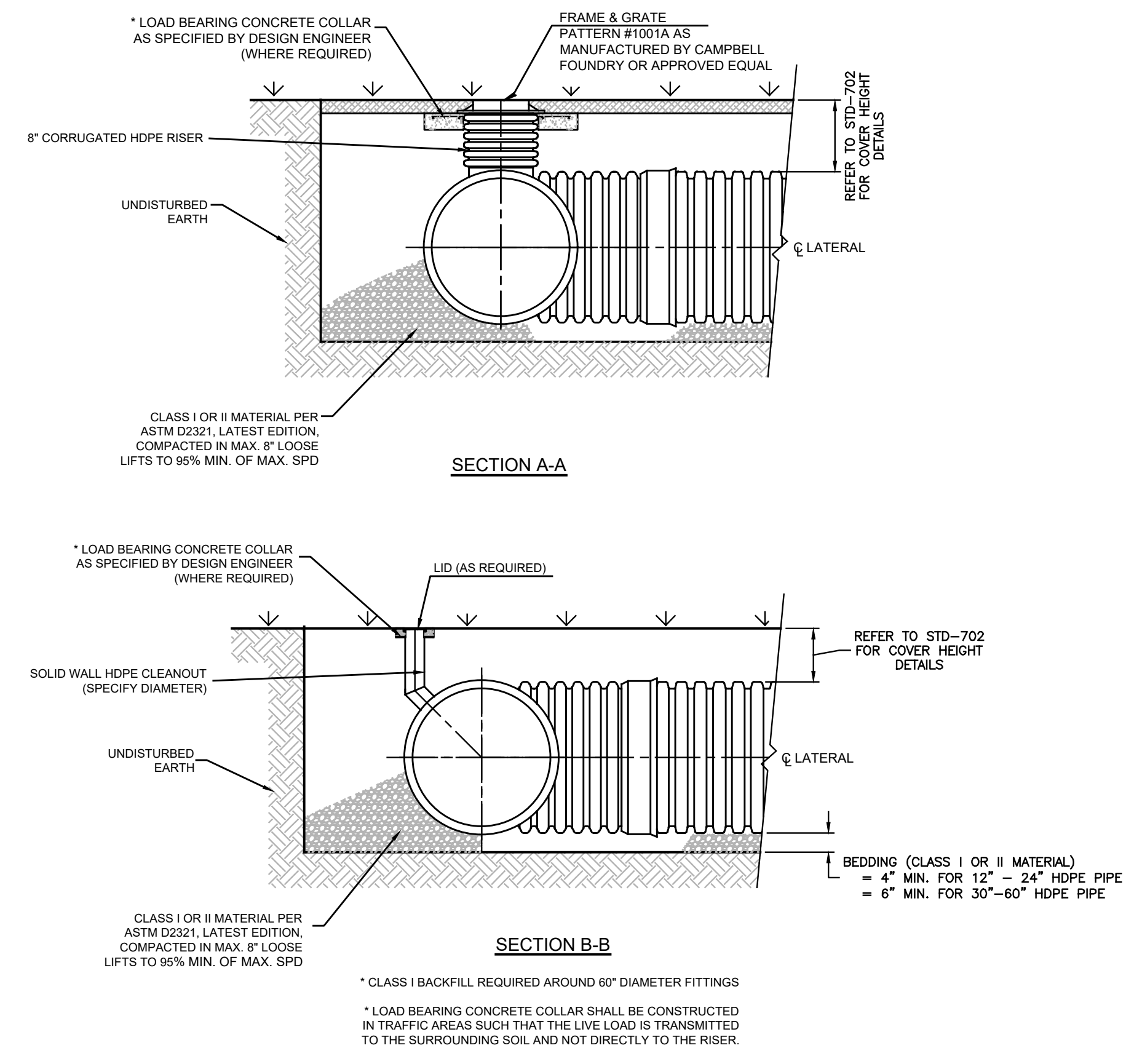
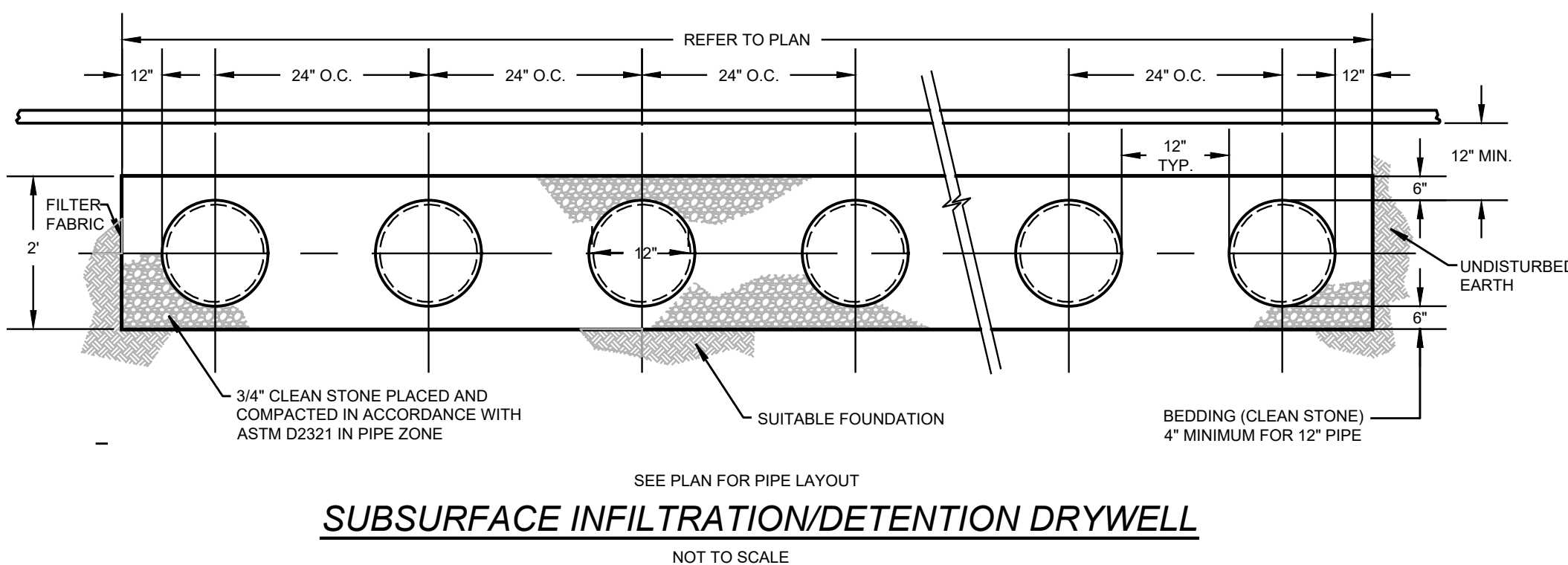
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PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:
CONSTRUCTION DETAILS

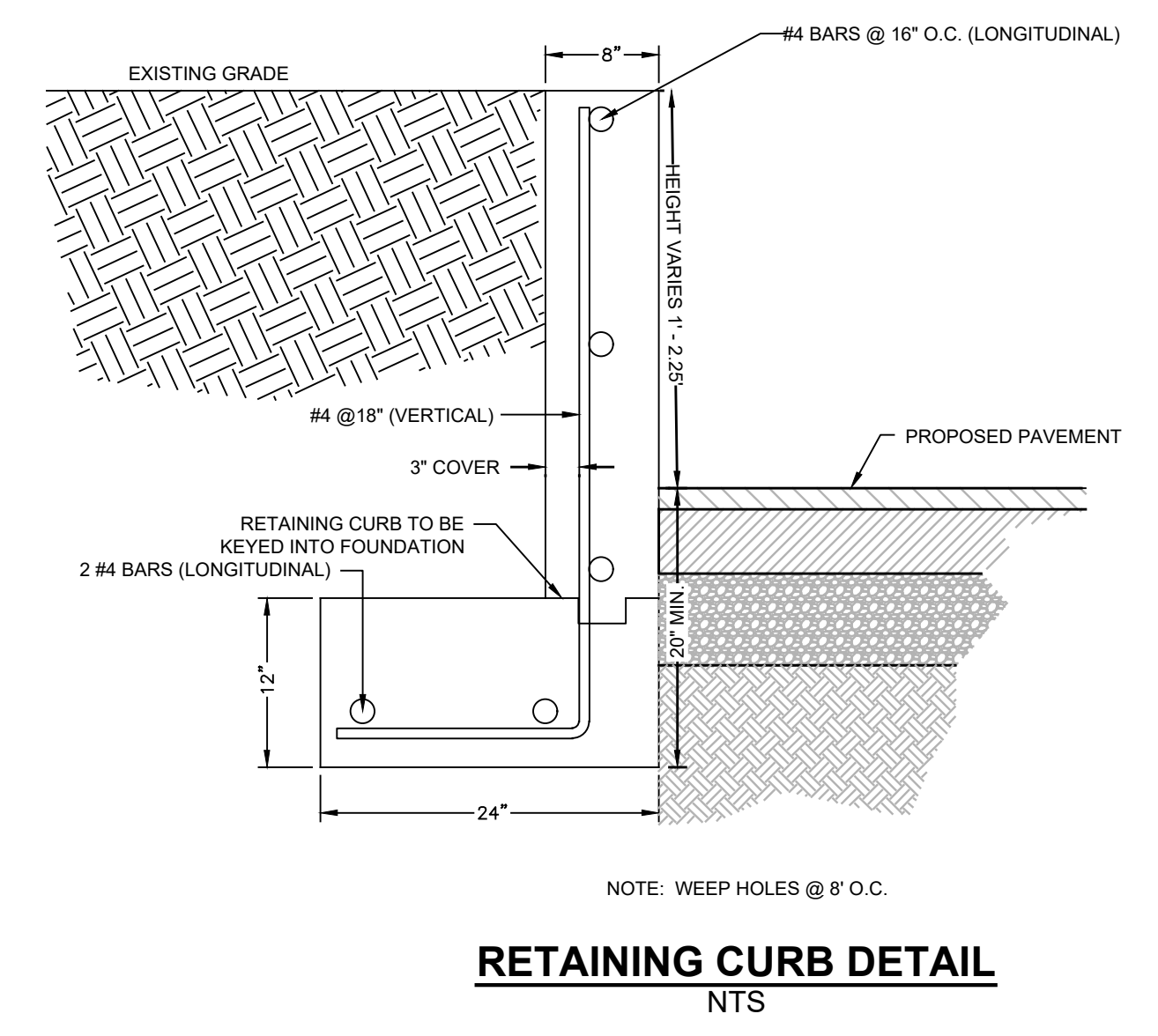
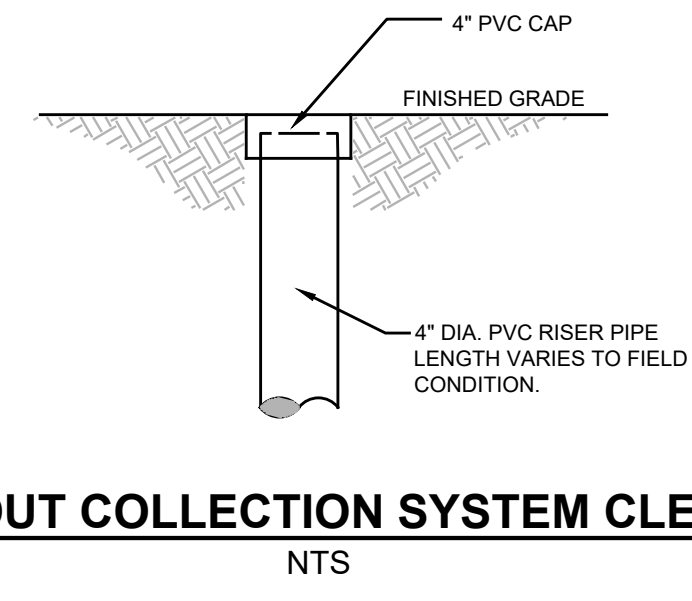
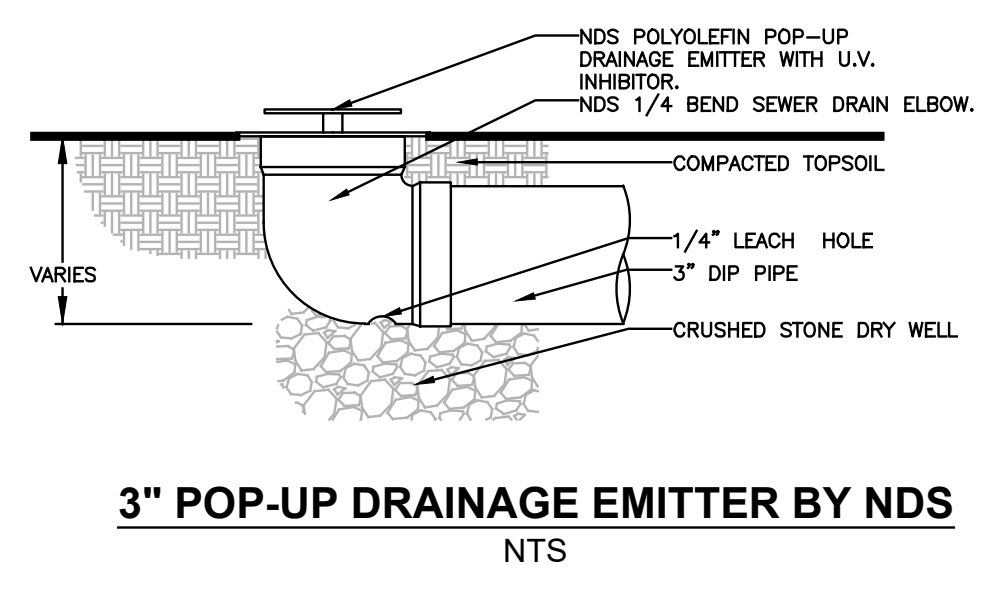
SHEET NO.:
C801

File: N:\proj\1472 - 501 Lake Terrace, LLC\20-1472-01 - 501-511 Lake Terrace, Bradley Beach, NJ\20147201\DWG\157-Details.dwg --> C801 Construction Details
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STORAGE VOLUME CALCULATION			
DRYWELL SYSTEM A		DRYWELL SYSTEM B	
Roof runoff $Q = (P \cdot 0.25)^2 / (P + 0.85)$ (SCS Equation)		Roof runoff $Q = (P \cdot 0.25)^2 / (P + 0.85)$ (SCS Equation)	
Q = Runoff (inches) P = Rainfall = 1.25 in CN = Runoff curve no. = 98 S = (1000 / CN) - 10 = 0.20 in		Q = Runoff (inches) P = Rainfall = 1.25 in CN = Runoff curve no. = 98 S = (1000 / CN) - 10 = 0.20 in	
Q = 1.03 in Roof Area = 2084.00 sf Runoff Volume = 179.67 cf		Q = 1.03 in Roof Area = 6539.00 sf Runoff Volume = 563.76 cf	
Drywell volume (perf pipe + stone)		Drywell volume (perf pipe + stone)	
Perf pipe diameter 12 in Stone surround 6 in Length of pipe 90 ft trench dim's (square) 2.00 ft pipe diameter 1.00 ft pipe volume/LF 0.79 cf void ratio 0.40 stone volume/LF 1.29 cf		Perf pipe diameter 12 in Stone surround 6 in Length of pipe 275 ft trench dim's (square) 2.00 ft pipe diameter 1.00 ft pipe volume/LF 0.79 cf void ratio 0.40 stone volume/LF 1.29 cf	
Total storage volume 186.41 cf		Total storage volume 569.59 cf	
Total roof runoff volume 179.67 cf		Total roof runoff volume 563.76 cf	
DRYWELL SYSTEM C		DRYWELL SYSTEM D	
Roof runoff $Q = (P \cdot 0.25)^2 / (P + 0.85)$ (SCS Equation)		Roof runoff $Q = (P \cdot 0.25)^2 / (P + 0.85)$ (SCS Equation)	
Q = Runoff (inches) P = Rainfall = 1.25 in CN = Runoff curve no. = 98 S = (1000 / CN) - 10 = 0.20 in		Q = Runoff (inches) P = Rainfall = 1.25 in CN = Runoff curve no. = 98 S = (1000 / CN) - 10 = 0.20 in	
Q = 1.03 in Roof Area = 8048.00 sf Runoff Volume = 693.85 cf		Q = 1.03 in Roof Area = 7257.00 sf Runoff Volume = 625.66 cf	
Drywell volume (perf pipe + stone)		Drywell volume (perf pipe + stone)	
Perf pipe diameter 12 in Stone surround 6 in Length of pipe 340 ft trench dim's (square) 2.00 ft pipe diameter 1.00 ft pipe volume/LF 0.79 cf void ratio 0.40 stone volume/LF 1.29 cf		Perf pipe diameter 12 in Stone surround 6 in Length of pipe 310 ft trench dim's (square) 2.00 ft pipe diameter 1.00 ft pipe volume/LF 0.79 cf void ratio 0.40 stone volume/LF 1.29 cf	
Total storage volume 704.22 cf		Total storage volume 642.08 cf	
Total roof runoff volume 693.85 cf		Total roof runoff volume 625.66 cf	



- NOTES:
- FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
 - A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE
 - INSTALLED ON THE BUILDING, SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE CAP. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR EXTENDING DOWNSPOUT THROUGH CAP.
 - INSTALL PIPES CLEAR OF PORCHES, BOLLARDS, AND OTHER BUILDING APPURTENANCES.



PROJECT INFORMATION
PROJECT NAME: 501-511 LAKE TERRACE
PROJECT LOCATION: BLOCK 7, LOT 2.03 501-511 LAKE TERRACE BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY, NJ TAX MAP SHEET #1
OWNER: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT: 501 LAKE TERRACE, LLC 1412 MAIN STREET ASBURY PARK, NJ 07712 (732) 772-5656
APPLICANT'S PROFESSIONALS
ATTORNEY: FOX ROTHSCHILD, LLP 49 MARKET STREET MORRISTOWN, NJ 07960
ARCHITECT: MICHAEL SAVARESE ASSOCIATES 34 SYCAMORE AVENUE, UNIT #1E LITTLE SILVER, NJ 07739
LANDSCAPE ARCHITECT: BML STUDIO, LLC 11 PERIWINKLE DRIVE BARNEGAT, NJ 08005
SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003
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ELECTRIC: BLUE WATER COMMUNICATION/TV: ORANGE WATER: BLUE SEWER: GREEN YEAR SURVEY MARKINGS: MAGENTA PROPOSED EXCAVATION: WHITE

INSITE
Engineering • Surveying • Planning
InSite Engineering, LLC
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JASON K. FICHTER, PE, PP, CFM, CME
NJPE #3718 NJPP #726 PAPE #1968
DEPE #819 NYPE #02285 CPEE #2391
NCPE #3336 DCPPE #00682 CCOPE #6605

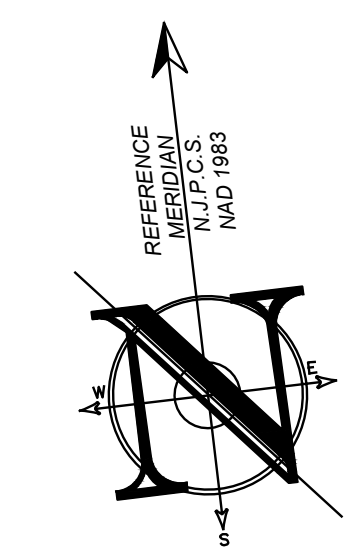
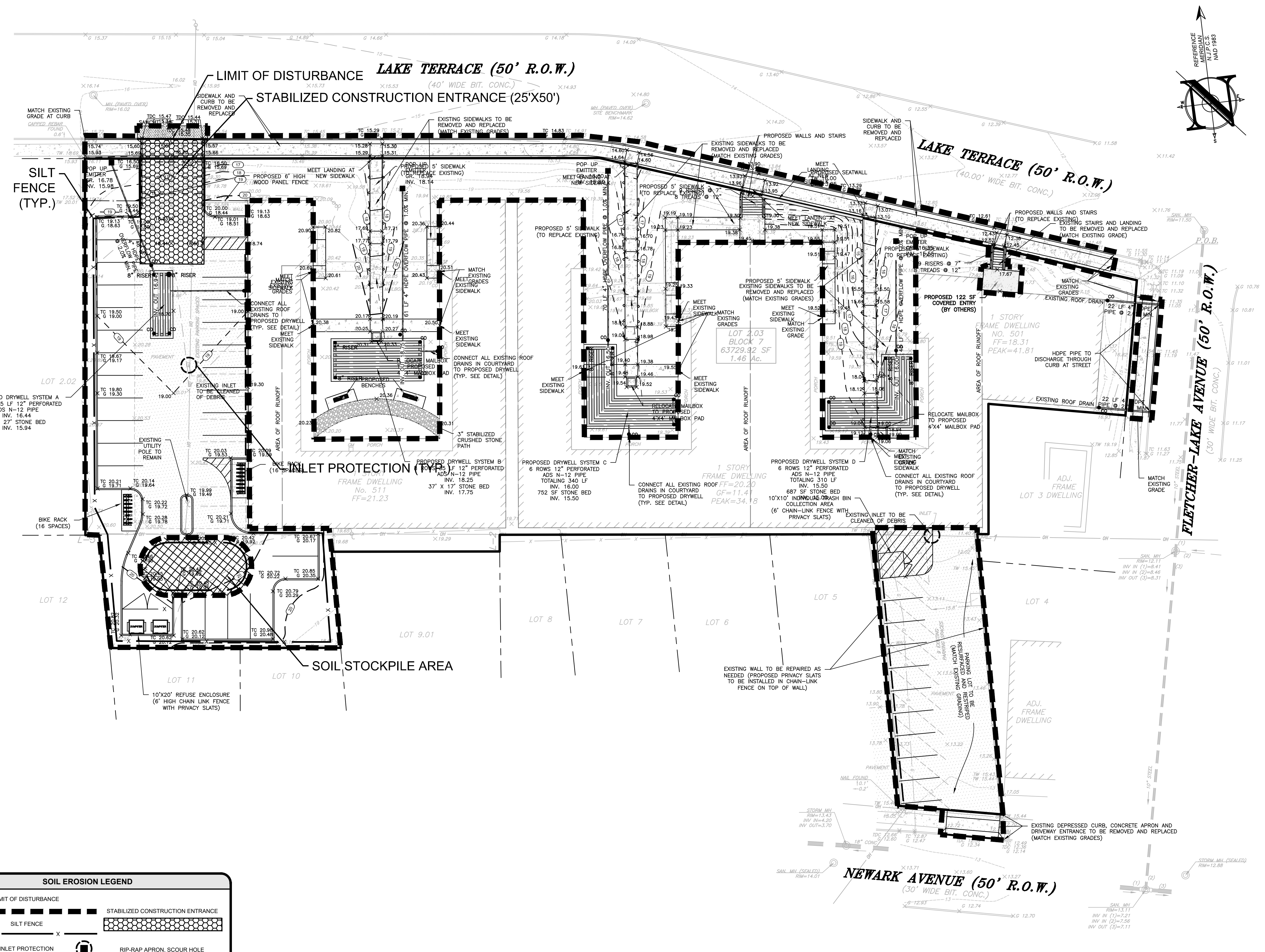
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CAD ID: 20-1472-01/0
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FOR CONSTRUCTION PLAN INFORMATION
DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN
SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NO.: C802

SOIL EROSION AND SEDIMENT CONTROL NOTES

- TRACKING PADS TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED SESC PLAN. A MINIMUM OF 1 TRACKING PAD MUST BE IN OPERATION AT ALL TIMES. ADDITIONAL TRACKING PADS, CONFORMING TO SESC STANDARDS MAY BE ADDED AS THE CONTRACTOR DEEMS NECESSARY.
- SOIL STOCKPILES TO BE PLACED AS REQUIRED WITHIN THE PROJECT SITE AND SILT FENCE LIMITS WITH SILT FENCE PLACED AROUND THE PERIMETER IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DETAILS.
- SHOULD ADDITIONAL STOCKPILE AREA BE NEEDED, THE CONTRACTOR SHALL CONFORM TO THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THIS PLAN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJG0088923 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.
- THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY. THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.



LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND	
LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	PROPOSED TREE PROTECTION

CONSTRUCTION / SPPP NOTE

THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.83 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017), THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.

PROJECT INFORMATION

501-511 LAKE TERRACE

PROJECT NAME: 501-511 LAKE TERRACE
 BLOCK 7, LOT 2.03
 BOROUGH OF BRADLEY BEACH
 MONMOUTH COUNTY, NJ
 TAX MAP SHEET #1

OWNER: 501 LAKE TERRACE, LLC
 1412 MAIN STREET
 ASBURY PARK, NJ 07712
 (732) 772-5656

APPLICANT: 501 LAKE TERRACE, LLC
 1412 MAIN STREET
 ASBURY PARK, NJ 07712
 (732) 772-5656

APPLICANT'S PROFESSIONALS

ATTORNEY: FOX ROTHSCHILD, LLP
 49 MARKET STREET
 MORRISTOWN, NJ 07960

ARCHITECT: MICHAEL SAVARESE ASSOCIATES
 34 SYCAMORE AVENUE, UNIT #1E
 LITTLE SILVER, NJ 07739

LANDSCAPE ARCHITECT: BML STUDIO, LLC
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 1955 ROUTE 34, SUITE 1A
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ELECTRIC	BLUE
GAS	YELLOW
COMMUNICATION/TV	ORANGE
WATER	GREEN
SEWER	RED
TELEPHONE	PURPLE
PROPOSED EXCAVATION	WHITE

INSITE
 Engineering • Surveying • Planning

InSite Engineering, LLC
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 DEPE #319 NJPE #02285 CPEE #2191
 NCPE #3336 DCPE #00682 COPE #36605

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Rev. #	Date Comment
0	11/20/20 INITIAL RELEASE
1	11/20/20 SCALE: 1"=20' DESIGNED BY: CMB
2	11/20/20 DATE: 11/20/20 DRAWN BY: JLS
3	JOB #: 20-1472-01 CHECKED BY: JLF
4	CAD ID: 20-1472-01/0
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6	FOR CONSTRUCTION PLAN INFORMATION
7	DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN
8	SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
9	SHEET NO.: C900

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