

**RECHARGE SUITABILITY BORING
SOIL LOG & INTERPRETATION - Form**

905 Central Ave., Bradley Beach, New Jersey
Block: 22 Lot: 14
Method (Check One): Profile Pit Boring
DATE SOIL LOG CONDUCTED: 11/24/2021
Munsell Color Name & Symbol: Estimated Textural Class,
Estimated Volume % Coarse Fragment, if present, Moist
or Dry Consistency, Mottling - Abundance, Size &
Content, if Present.

Depth (Inches)	Top - Bottom	Description
0" - 6"		Chmy (2.5YR 5/1), Topsoil, Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
6" - 23"		Yellowish Brown (2.5YR 8/6), Poorly Graded Gravelly Sand; SP; Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
23" - 60"		Brown (2.5YR 8/2), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Sand; 0% Coarse Fragments, Dry Consistency.
60" - 68"		Chmy (2.5YR 8/5), Poorly Graded Gravelly Sand; SP; Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
68" - 76"		Light Brown (2.5YR 8/6), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
76" - 87"		Light Brown (2.5YR 8/6), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Loamy Sand; 0% Coarse Fragments, Moils at 87"; Saturated at 87"; Groundwater at 87".

3. Ground Water Observations:
- Seepage - Indicated Depth: 87"
 - PW/Boring Flooded - Depth 87" after 0, Hours 15 Minutes.
 - Groundwater Not Encountered.

4. Soil Limiting Zones (Check Appropriate Categories):
- Fractured Rock Substratum - Depth to Top
 - Excessively Coarse Horizon - Depth Top to Bottom
 - Hydraulically Restrictive Horizon - Depth Top to Bottom
 - Perched Zone of Saturation - Depth Top to Bottom
 - Massive Rock Substratum - Depth to Top
 - Excessively Coarse Substratum - Depth Top
 - Hydraulically Restrictive Substratum - Depth to Top
 - Regional Zone of Saturation - Depth to Top 5' (A.K.A. SEASONAL HIGH-WATER TABLE).
 - Groundwater Not Encountered in Soil Boring.

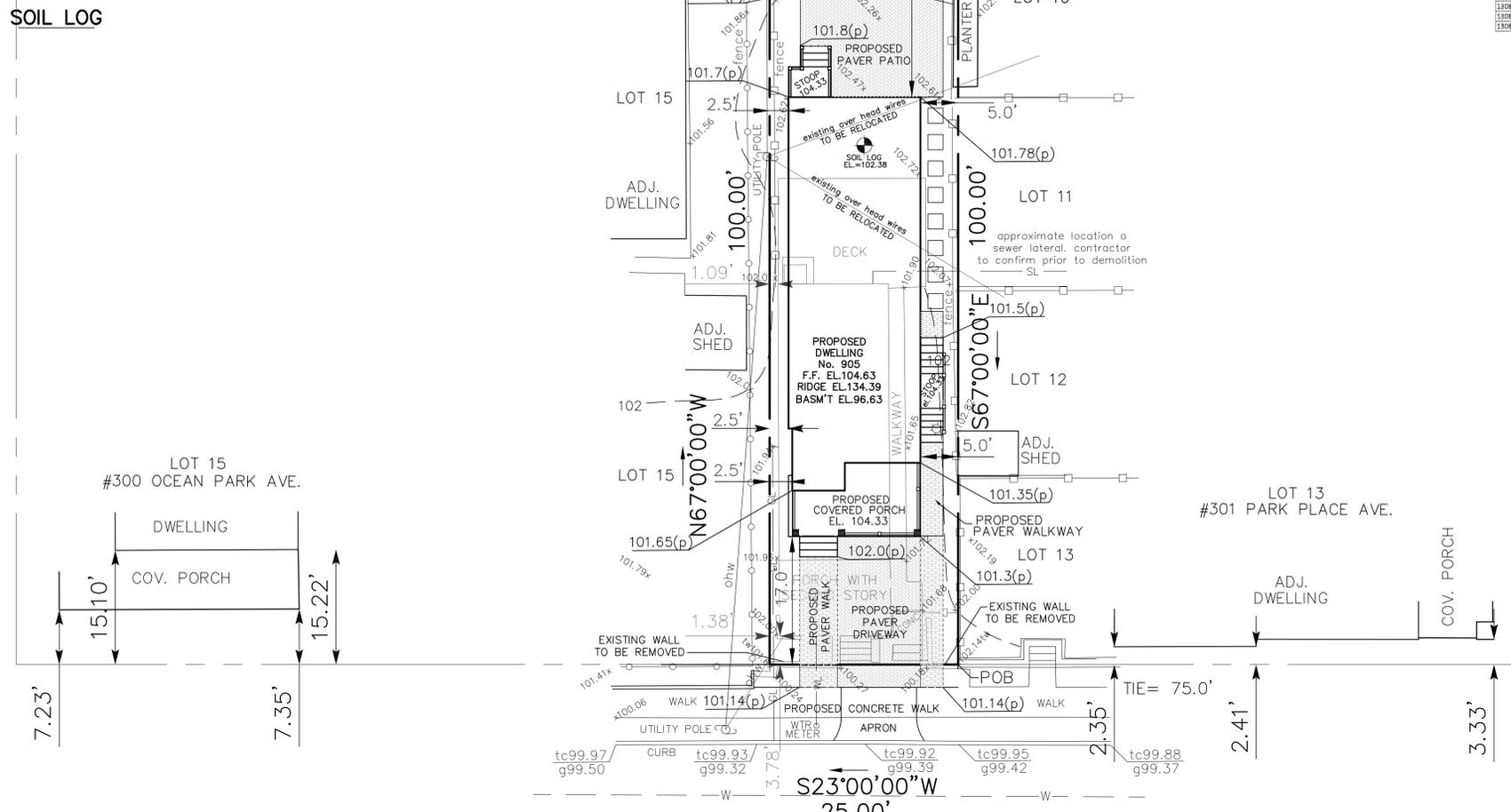
5. Soil Suitability Classification:
6. I hereby certify that the information furnished on this form (and the attachments thereto) is true and accurate.

Signature of Site Evaluator: *[Signature]* Date: 11/24/2021

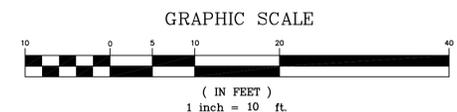
SOIL LOG

OCEAN PARK AVENUE
R.O.W.=75' (T.M.)

PARK PLACE AVENUE
R.O.W.=60' (T.M.)



CENTRAL AVENUE
R.O.W.=50' (T.M.)



Block-Lot-Quad	Owner Name	Mailing Address	City/State/Zip
1308-15-17	1002 CENTRAL AVE CONDO ASSOC	1002 CENTRAL AVE UNIT 1	BRADLEY BEACH NJ 07720
1308-24-12	CONDOMINIUM ASSOC C/O TOWNSMEN PROP	501 GRAND AVE SUITE L2	ASBURY PARK NJ 07712
1308-27-2	215 OCEAN PARK CONDO ASSOCIATION	215 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-27-1	ROSSI, JAMES S & DOROTHY S	219 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-23-19	DELGURCIO LAWRENCE PRATHANASIA E	18 MATTHEW ROAD	HILLSBOROUGH NJ 08844
1308-23-20	DEL GURCIO LAWRENCE & ATHANASIA	18 MATTHEW ROAD	HILLSBOROUGH NJ 08844
1308-15-15	ROGATSKY-SILBER DVARAGOSKI DAVID ABB	18 EAST DRIVE	ROCKSON NJ 08820
1308-15-16	ENG TRUST K.R.B.S. & HOM J.	2425 SUSAN CT	YORKTOWN HEIGHTS NY 10598
1308-23-7	VAN BINSBERG JOHN JR & MARINA ETALS	122 EUCLIO AVENUE	RIDGEFIELD PARK NJ 07960
1308-16-01	GREENBERG DONALD D & MARY ANN	7 LYELL STREET	PRINCETON NJ 08542
1308-16-02	MARGIOTTA VINCENT J & LORRAINE A	34 BEDFORD ST	NEW YORK CITY NY 10014
1308-16-9	KAMEL LLC C/O SYLVEN S. BECK	647 S. GREENBRIER ST	ARLINGTON VA 22204
1308-16-10	GOODMAN STUART H TRUSTEE	4236 E ST COURT #206	GREENHAKES FL 33467
1308-15-11	SCORCIOLLA ANTHONY	309 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-16-12	BEISLER STEVEN & CELCIA	74 BRIARWOOD DRIVE EAST	WARREN NJ 07055
1308-16-13	BRADLEY BEACH LLC C/O TORTORA	1 SAWHILL RIVER RD	YONKERS NY 10701
1308-23-8	HILL ROBERT & JOAN GOUSHAKY B & B	307 PARK PLACE	BRADLEY BEACH NJ 07720
1308-23-9	BAGWELL LAWRENCE W & MAUREEN MARIE	305 PARK PLACE AVENUE	BRADLEY BEACH NJ 07720
1308-23-10	LOESSER JEFFREY & KILLY	303A PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-23-11	ROMANO REGINA	303 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-23-12	PETTING CHRISTOPHER	303A PARK PLACE AVENUE	BRADLEY BEACH NJ 07720
1308-23-21	SCORCIOLLA JOANNE	312 1/2 OCEANA PARK AVE	BRADLEY BEACH NJ 07720
1308-24-1	CARDONA JOHN & ANGELA	111 CARNS WAY	HANLTON NJ 08640
1308-23-14	MORRISON JAMES C & JENNIFER	205 CENTRAL AVE	BRADLEY BEACH NJ 07720
1308-23-15	KOVACH ROBERT E SR & MARY T ETAL	300 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-23-16	POCHICK WILLIAM S, JR & KAREN A	304 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-23-17	FENIGSON KATHRYN C C/O BANKRUPT	402 E STAY ST	TRENTON NJ 08698
1308-23-18	COSCARRELLI RICHARD & MARY ANN	308 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-28-10	SCHIFMAN ARNOLD & MANDY	309 OCEAN PARK AVENUE	BRADLEY BEACH NJ 07720
1308-28-11	GHAY RICHARD & MELINDA	307 1/2 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-28-12	WILBY GIFFREY & KIMBERLY	307 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-28-13	ABBATELIO A & TRAINA D & TAGUA C	82 GERALD RD	NUTLEY NJ 07110
1308-24-11	CASTLE STANLEY G & MARIA M	212 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-28-15	REINVOY WILLIAM R & MARIANN V	203 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-28-16	DELONG B J & FRIEDLANDER A B C	40 SPRUCE ST	CRANFORD NJ 07016
1308-23-13	LIPARI GEORGE J & LUIS ANN	33 BROOM DRIVE	FLOHAM PARK NJ 07832
1308-24-13	MATHERN HERB	400 DORCHESTER VALLEY DR	BRADLEY BEACH NJ 07720
1308-24-14	CANALEY LORRAINE	216 OCEAN PARK AVENUE UNIT 2	BRADLEY BEACH NJ 07720
1308-24-15	PALKER GARY B & MARIA P	6 ESSEX ROAD	ESSEX FELLS NJ 07021
1308-24-16	NUSIM STEVEN & ZINA	530 ASHWOOD ROAD	SPRINGFIELD 07081
1308-24-17	MATHEIN MONICA	6224 RIPPING WATERS WALK	CLANVILLE MD 21029
1308-24-18	BAHR KAY J & WISLEY C	216 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-24-19	JUNG DOUGLAS R	216 OCEAN PARK AVE #7	BRADLEY BEACH NJ 07720
1308-24-20	ANDERSON JALEK	218 OCEAN PARK AVENUE	BRADLEY BEACH NJ 07720
1308-24-21	L R REALTY LLC	500 SOUTH RIVERSIDE DRIVE	SHARKE RIVER HILLS NJ 07783
1308-24-22	JENKINS DAVID H & EVELYN	523 MT HOPE AVENUE	COVER NJ 07801
1308-24-23	VARKO JOSEPH S	218 OCEAN PARK AVE	BRADLEY BEACH NJ 07720
1308-24-2	LEASTY CHARLES E & STAGER MELI	217 PARK PLACE AVE	BRADLEY BEACH NJ 07720
1308-24-3	MITZ DANIEL & NANCY	201 BRADLEY BLVD	BRADLEY BEACH NJ 07720
1308-24-4	GEISZENTY ZOLTAN & EDITH	107 FIRST AVE	HELMAR NJ 07719
1308-24-5	313 PARK PLACE LLC	42 COUNTRY CLUB DRIVE	LIFFELINE NJ 07753
1308-23-6	HIDDEN SHORES LLC	57 SOUTH MAIN ST #149	NAPLES NJ 07753
1308-28-14	RICHARDS TARA & STEVEN	305 OCEAN PARK AVE	BRADLEY BEACH NJ 07720

200' OWNERS LIST
(PROVIDED BY APPLICANT'S ATTORNEY)

TAX MAP DATA

LOT: 14
BLOCK: 23
SHEET: 2
BOROUGH OF BRADLEY BEACH TAX MAP

LOT AREA SUMMARY

EXISTING LOT 14 = 2,500 sf./0.057 ac.

GENERAL NOTES:

- PROPERTY IS KNOWN AND DESIGNATED AS LOT 14 BLOCK 23 AS SHOWN ON TAX MAP SHEET NO. 2 OF THE BOROUGH OF BRADLEY BEACH
- TOTAL AREA OF LOT 14 = 2,500 sf./0.057 ac.
- PROPERTY LOCATED IN ZONE R1 - SINGLE FAMILY RESIDENTIAL
- OWNER/APPLICANT: JAMES C. & JENNIFER L. MORRISON, 22 HIGHLAND AVE, CHATHAM, NJ 07928
- OUTBOUND SURVEY & TOPOGRAPHY BY LANDMARK SURVEYING & ENGINEERING, INC., DATED 9/20/21
- PLOT PLAN BASED ON ARCHITECTURAL PLANS.
- 48 HOUR NOTICE IS REQUIRED TO THE ENGINEERS OFFICE PRIOR TO THE START OF CONSTRUCTION.
- THIS PROJECT CONSISTS OF CONSTRUCTION OF A SINGLE FAMILY DWELLING, PAVER DRIVEWAY, FRONT PORCH, PAVER PATIO & WALKS.
- ALL EXISTING UNDERGROUND UTILITIES INCLUDING SANITARY SEWER LATERALS TO BE INSPECTED AND RECONNECTED WHERE POSSIBLE.
- ALL UNDERGROUND UTILITIES BASED ON VISUAL MARKOUT ONLY AND ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ANY REQUIRED DISTURBANCE TO ROAD, WALKS & CURBS WILL BE REPAIRED OR REPLACED IN ACCORDANCE WITH THE BOROUGH STANDARDS UTILIZING INFRARED TREATMENT OF THE TRENCH REPAIR ALONG ALL EDGES OF THE TRENCHES.
- THE LOCATIONS OF THE SEWER LATERAL, WATER LATERAL AND GAS LATERAL ARE APPROXIMATE AND EXACT LOCATIONS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO DEMOLITION OF THE EXISTING STRUCTURE.
- ANY WORK WITHIN THE BOROUGH RIGHT OF WAY INCLUDING BUT NOT LIMITED TO DRIVEWAY, CURB, SIDEWALK, UTILITIES, ETC. REQUIRES A BOROUGH ROAD OPENING PERMIT
- TOPOGRAPHIC SURVEY BASED ON ASSUMED DATUM.
- THE PLANTING AREA BETWEEN THE SIDEWALK AND CURB MUST REMAIN NATURAL GRASS
- DUE TO SHALLOW WATER TABLE, A STORMWATER RECHARGE SYSTEM IS NONPRACTICAL.
- THE OWNER AND ARCHITECT HAVE BEEN ADVISED OF THE SHALLOW WATER TABLE, ADOQUATE WATERPROOFING OF THE BASEMENT IS REQUIRED. SEE ARCHITECTS PLANS FOR DETAILS.
- DUE TO SHALLOW WATER TABLE, ADOQUATE WATERPROOFING OF THE BASEMENT IS REQUIRED. SEE ARCHITECTS PLANS FOR DETAILS.

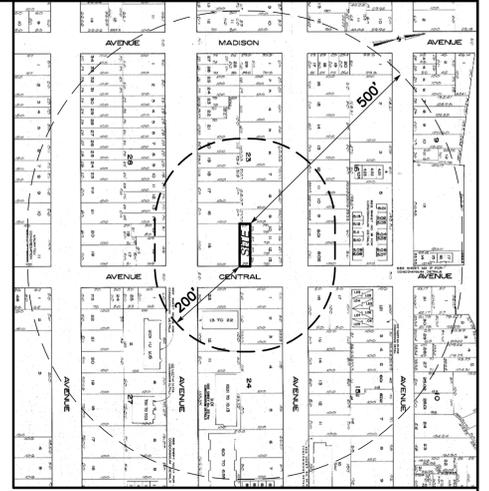
NOTE: SEE ARCHITECTURAL PLANS FOR ZONING DATA

FLOOD ZONE REFERENCE

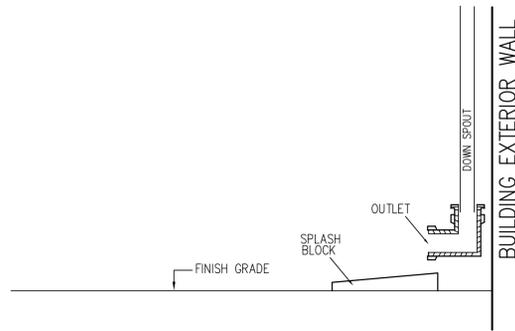
FLOOD ZONE "X" - NO MINIMUM BASE FLOOD ELEVATION, F.I.R.M. No. 34025C0334F, DATED SEP. 25, 2009
FLOOD ZONE "X" - NO MINIMUM BASE FLOOD ELEVATION, F.I.R.M. No. 34025C0334G, DATED JAN. 31, 2014

REFERENCES

- DEED BOOK 3468 PAGE 160
- FILED MAP CASE No. 71-7, FILED 2-6-1895
- BOROUGH OF BRADLEY BEACH TAX MAP SHEET No.2

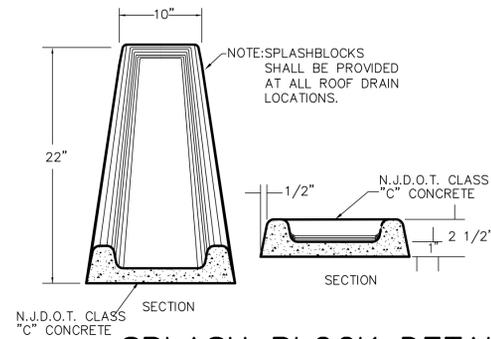


CHECKED BY:	DRAWN BY:	REV.	DESCRIPTION	DATE	BY
DC	TOM G.				
 DANIEL W. CARUSO, P.E. N.J. PROFESSIONAL ENGINEER - G636887		PLOT PLAN LOCATED AT 905 CENTRAL AVE LOT 14 BLOCK 23 ON T.M. SHEET 2 situate in BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY NEW JERSEY			
SCALE: 1"=10' SHEET #: 1 OF 2		DATE: 01/26/2022 DRAWING: 21083pp		JOB #: 21083	



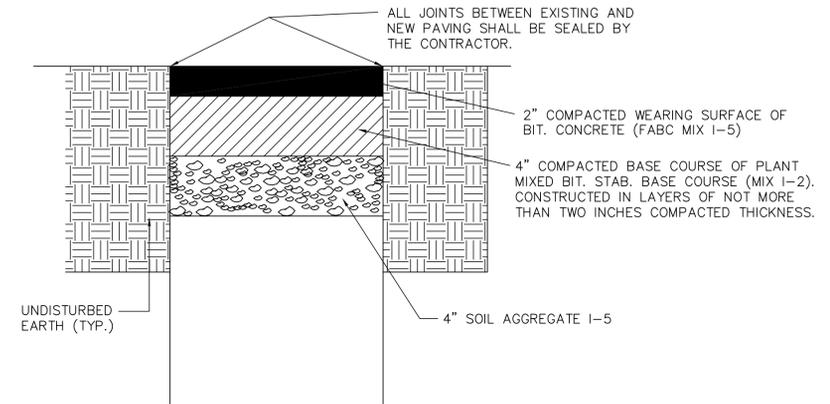
TYPICAL ROOF LEADER DETAIL

N.T.S.



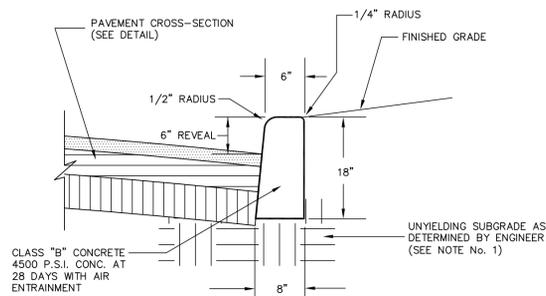
SPLASH BLOCK DETAILS

N.T.S.



PAVEMENT REPAIR DETAIL

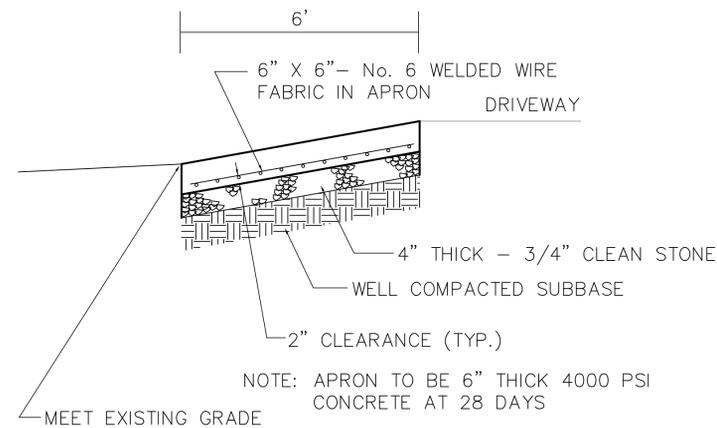
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1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH N.J.D.O.T. DGABC. ALL SUBGRADES SHALL BE APPROVED BY THE ENGINEER PRIOR TO POUR-
2. EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, CONFORMING TO N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONSTRUCTION JOINTS SHALL BE PROVIDED EVERY 10'. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
3. CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOIL BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT SUPPORTING STRENGTH OR WITHIN 24 HOURS OF POURING (WHICHEVER IS LESS).
4. WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA THE EXISTING PAVEMENT SHALL BE SAW CUT IN FRONT OF THE NEW CURB FACE IN A NEAT STRAIGHT LINE. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO MEET EXISTING PAVEMENT, IN ACCORDANCE WITH THE PAVEMENT WIDENING DETAIL.
5. THE GENERAL CONTRACTOR OR OWNER IS RESPONSIBLE FOR MAINTAINING ALL CURB UNTIL FORMALLY ACCEPTED BY THE ENGINEER. ALL CURB THAT IS BROKEN, CRACKED, OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO FINAL PAVING AND/OR ACCEPTANCE. CURB REPLACEMENT SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT ONLY.

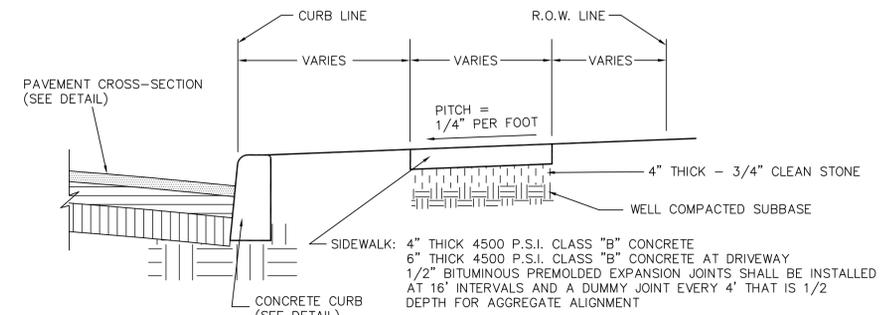
CONCRETE CURB DETAIL

N.T.S.



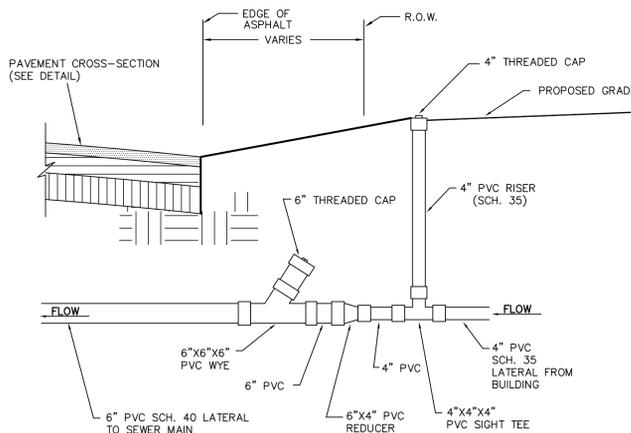
CONCRETE APRON DETAIL

N.T.S.



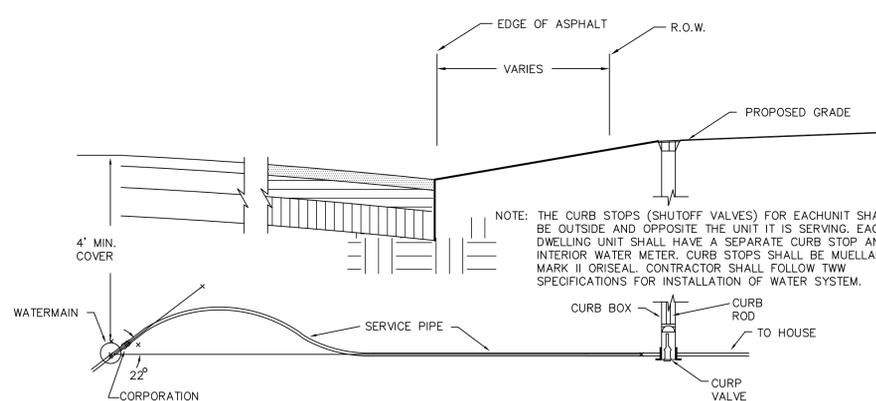
TYPICAL SIDEWALK AND CURB DETAIL

N.T.S.



TYPICAL LATERAL AND CLEANOUT DETAIL

N.T.S.



WATER SERVICE CONNECTION DETAIL

N.T.S.

CHECKED BY:	DRAWN BY:	REV.	DESCRIPTION	DATE	BY
DC	TOM G.				
 DANIEL W. CARUSO, P.E. N.J. PROFESSIONAL ENGINEER - G636897		CONSTRUCTION DETAILS LOCATED AT 905 CENTRAL AVE LOT 14 BLOCK 23 on T.M. SHEET 2 situate in BOROUGH OF BRADLEY BEACH MONMOUTH COUNTY NEW JERSEY			
		LANDMARK SURVEYING AND ENGINEERING, INC. 813 Main Street Avon-by-the-Sea, New Jersey 07717 Tel: (732)775-8558 - Fax: (732)775-7848 CERT. OF AUTH. #24GA27929700 Email: Landmarkse@Optimum.net Web: www.Landmarkse.net			
SCALE: N.T.S. SHEET #: 2 OF 2		DATE: 01/26/2022 DRAWING: 21083pp		JOB #: 21083	