

RECHARGE SUITABILITY BORING

SOIL LOG & INTERPRETATION - Form

Municipality: **Bradley Beach, New Jersey**

1. Log Number: **B-1**

2. Soil Log

Depth (Inches)

Top - Bottom

Block: **23** Lot: **14**
 Method (Check One): ☐ Profile PH ☒ Boring
 DATE SOIL LOG CONDUCTED: **11/24/2021**
 Munsell Color Name & Symbol: **Estimated Textural Class, Estimated Volume % Coarse Fragment, if present, Moist or Dry Consistency, Mottling - Abundance, Size & Contrast, if Present.**

0" - 6" Gray (2.5YR 5/1), Topsoil, Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
 6" - 23" Yellowish Brown (2.5YR 8/6), Poorly Graded Gravelly Sand; SP; Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
 23" - 60" Brown (2.5YR 8/2), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Sand; 0% Coarse Fragments, Dry Consistency.
 60" - 68" Gray (2.5YR 8/5), Poorly Graded Gravelly Sand; SP; Texture Class, Loamy Sand; 0% Coarse Fragments, Dry Consistency.
 68" - 76" Light Brown (2.5YR 8/6), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Loamy Sand; 0% Coarse Fragments, Moils at 87"; Saturated at 87"; Groundwater at 87".
 76" - 87" Light Brown (2.5YR 8/6), Well Graded Gravelly Sand Little Fines; SW; Texture Class, Loamy Sand; 0% Coarse Fragments, Moils at 87"; Saturated at 87"; Groundwater at 87".

3. Ground Water Observations:
☒ Seepage - Indicated Depth: **87"**
☒ Piezometer Flooded - Depth **87"** after **0** Hours **15** Minutes.
☐ Groundwater Not Encountered

4. Soil Limiting Zones (Check Appropriate Categories):
☐ Fractured Rock Substratum - Depth to Top _____
☐ Excessively Coarse Horizon - Depth Top to Bottom _____
☐ Hydraulically Restrictive Horizon - Depth Top to Bottom _____
☐ Perched Zone of Saturation - Depth Top to Bottom _____
☐ Massive Rock Substratum - Depth to Top _____
☐ Excessively Coarse Substratum - Depth to Top _____
☐ Hydraulically Restrictive Substratum - Depth to Top _____
☒ Regional Zone of Saturation - Depth to Top **87"** (A.K.A. SEASONAL HIGH-WATER TABLE).
☐ Groundwater Not Encountered in Soil Boring.

5. Soil Suitability Classification:

6. I hereby certify that the information furnished on this form (and the attachments thereto) is true and accurate.

Signature of Site Evaluator: *[Signature]* Date: **11/24/2021**

SOIL LOG

OCEAN PARK AVENUE
 R.O.W.=75' (T.M.)

LOT 15
 #300 OCEAN PARK AVE.

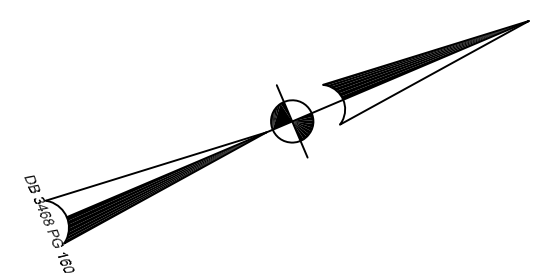
DWELLING
 COV. PORCH
 15.10'
 15.22'
 7.23'
 7.35'

LOT 9
 LOT 10
 LOT 11
 LOT 12
 LOT 13
 LOT 14
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 LOT 93
 LOT 94
 LOT 95
 LOT 96
 LOT 97
 LOT 98
 LOT 99
 LOT 100

CENTRAL AVENUE
 R.O.W.=50' (T.M.)

GRAPHIC SCALE

10 0 5 10 20 30 40
 (IN FEET)
 1 inch = 10 ft.



| Block/Lot | Owner Name | Mailing Address | City/State/Zip |
|--------------|---------------------------------------|---------------------------|----------------------------|
| 1308-15-17 | 1002 CENTRAL AVE CONDO ASSOC | 1002 CENTRAL AVE UNIT 1 | BRADLEY BEACH NJ 07720 |
| 1308-24-12 | CONDOMINIUM ASSOC C/O TOWNSMEN PROP | 501 GRAND AVE SUITE L2 | ASBURY PARK NJ 07712 |
| 1308-27-2 | 215 OCEAN PARK CONDO ASSOCIATION | 215 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-27-1 | ROSSI, JAMES S & DEBORAH S | 219 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-23-19 | DEL GUERICO LAWRENCE JR & ATHANASIA E | 18 MATTHEW ROAD | HILLSBOROUGH NJ 08844 |
| 1308-23-20 | DEL GUERICO LAWRENCE & ATHANASIA | 18 MATTHEW ROAD | HILLSBOROUGH NJ 08844 |
| 1308-15-15 | PROSODY-SUBERT DUMAROGATH DAVID ABB | 18 EAST DRIVE | ORSON NJ 08820 |
| 1308-15-16 | ENG TRUST K.R.B.A.S. & HOM J | 2425 SUSAN CT | YORKTOWN HEIGHTS NY 10598 |
| 1308-23-7 | VAN BUSKIRK JOHN R & MARIA ETALS | 122 LUCIO AVENUE | RIDGEFIELD PARK NJ 07660 |
| 1308-16-8-01 | GREENBERG DONALD J & MARY ANN | 7 LYTEL STREET | PRINCETON NJ 08542 |
| 1308-16-8-02 | MARGUETTA VINCENT J & LORRAINE A | 34 BEDFORD ST | NEW YORK CITY NY 10014 |
| 1308-16-9 | KAMEL LLC C/O SYLVEN S. BECK | 647 S. GREENBRIER ST | ARLINGTON VA 22204 |
| 1308-16-10 | GOODMAN STUART H TRUSTEE | 4236 E 31ST COURT #206 | GRIFFIN PARK FL 33467 |
| 1308-16-11 | SCORCZA ANDREW | 308 PARK PLACE AVE | BRADLEY BEACH NJ 07720 |
| 1308-16-12 | BEISLER STEVEN & CELCIA | 74 BRIARWOOD DRIVE EAST | WARREN NJ 07059 |
| 1308-16-13 | BRADLEY BEACH LLC C/O TORTORA | 1 SAWHILL RIVER RD | YONKERS NY 10701 |
| 1308-23-8 | HILL ROBERT & CHAN GOUSMAN J & B | 307 PARK PLACE | BRADLEY BEACH NJ 07720 |
| 1308-23-9 | BAGWELL LAWRENCE W & MAURISKY MARIE | 309 PARK PLACE AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-23-10 | LOESSER JEFFREY & KELLY | 303A PARK PLACE AVE | BRADLEY BEACH NJ 07720 |
| 1308-23-11 | ROMANO REGINA | 30 LORING AVENUE | STATEN ISLAND NY 10812 |
| 1308-23-12 | PETTING CHRISTOPHER | 303A PARK PLACE AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-23-21 | SCORCZA JOANNE | 312 1/2 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-24-1 | CARONIA JOHN & ANGELA | 131 CARNS WAY | HAMILTON NJ 08610 |
| 1308-23-14 | MORRISON JAMES C & JENNIFER | 905 CENTRAL AVE | BRADLEY BEACH NJ 07720 |
| 1308-23-15 | KOVACH ROBERT E SR & MARY T ETAL | 300 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-23-16 | POCHICK WILLIAM S JR & CERNING A | 304 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-23-17 | FENIGSON KATHRYN C C/O W BANKRUPT | 400 E STATION ST | RENTON NJ 08868 |
| 1308-23-18 | COSCARRELLI RICHARD & MARY ANN | 308 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-28-10 | SCHIFMAN ARNOLD & MINDY | 309 OCEAN PARK AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-28-11 | IGRAY RICHARD & MELINDA | 307 1/2 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-28-12 | WILSON GUYFRED & KIMBERLY | 307 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-28-13 | ABBATELIO A & TRAINA D & TAGUA C | 82 GERALD RD | NUTLEY NJ 07110 |
| 1308-24-11 | CASTLE STANLEY G & MARIA M | 212 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-28-15 | HEWITSON WILLIAM F & MARYANN V | 203 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-28-16 | DELONG B J & FRIEDLANDER A & C | 40 SPRUCE ST | CRANFORD NJ 07016 |
| 1308-23-13 | LUPARI GEORGE J & LOIS ANN | 33 BROOM DRIVE | FLOHAM PARK NJ 07832 |
| 1308-24-13 | MATHEWNI HENRI | 400 DUNDRAID VALLEY DR | BRADLEY BEACH NJ 07720 |
| 1308-24-14 | CANALEY CORAINE | 216 OCEAN PARK AVE UNIT 2 | BRADLEY BEACH NJ 07720 |
| 1308-24-15 | PALKER GARY B & MARIA P | 6 ESSEX ROAD | ESSEX FELLS NJ 07021 |
| 1308-24-16 | NUSIM STEVEN & ZINA | 530 ASHWOOD ROAD | SPRINGFIELD NJ 07081 |
| 1308-24-17 | MATHEWNI MONICA | 6228 TRIPPING WATERS WALK | CLARKSVILLE MD 21039 |
| 1308-24-18 | BAHR KAY J & WISLEY C | 216 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-24-19 | JUNG DOUGLAS R | 216 OCEAN PARK AVE #2 | BRADLEY BEACH NJ 07720 |
| 1308-24-20 | ANDERSON JULIE K | 216 OCEAN PARK AVE UNIT 1 | BRADLEY BEACH NJ 07720 |
| 1308-24-21 | L.R. REALTY LLC | 500 SOUTH RIVERSIDE DRIVE | SHARK RIVER HILLS NJ 07753 |
| 1308-24-22 | JENKINS DAVID H & EVELYN | 523 MT HOPE AVENUE | DOVER NJ 07801 |
| 1308-24-23 | VANKO JOSEPH S | 218 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |
| 1308-24-2 | LECASTRE CHARLES E & STAGER MELI | 217 PARK PLACE AVE | BRADLEY BEACH NJ 07720 |
| 1308-24-3 | MITZ DANIEL & NANCY | 201 BRADLEY BLVD | BRADLEY BEACH NJ 07720 |
| 1308-24-4 | GEORGINY ZOLTAN & EDITH | 107 FIRST AVE | ELMHURST NJ 07719 |
| 1308-23-5 | 319 PARK PLACE LLC | 42 COUNTRY CLUB DRIVE | NEPTUNE NJ 07753 |
| 1308-23-6 | HIDDEN SHORES LLC | 57 SOUTH MAIN ST #149 | NEPTUNE NJ 07753 |
| 1308-28-14 | RICHARDS TARA & STEVEN | 305 OCEAN PARK AVE | BRADLEY BEACH NJ 07720 |

200' OWNERS LIST

(PROVIDED BY APPLICANT'S ATTORNEY)

TAX MAP DATA

LOT: 14
 BLOCK: 23
 SHEET: 2
 BOROUGH OF BRADLEY BEACH TAX MAP

LOT AREA SUMMARY

EXISTING LOT 14 = 2,500 sq./0.057 ac.

GENERAL NOTES:

- PROPERTY IS KNOWN AND DESIGNATED AS LOT 14 BLOCK 23 AS SHOWN ON TAX MAP SHEET NO. 2 OF THE BOROUGH OF BRADLEY BEACH
- TOTAL AREA OF LOT 14 2,500 sq./0.057 ac.
- PROPERTY LOCATED IN ZONE R1 - SINGLE FAMILY RESIDENTIAL
- OWNER/APPLICANT: JAMES C. & JENNIFER L. MORRISON 22 HIGHLAND AVE. CHATHAM, NJ 07928
- OUTBOUND SURVEY & TOPOGRAPHY BY LANDMARK SURVEYING & ENGINEERING, INC., DATED 9/20/21
- PLOT PLAN BASED ON ARCHITECTURAL PLANS
- 48 HOUR NOTICE IS REQUIRED TO THE ENGINEERS OFFICE PRIOR TO THE START OF CONSTRUCTION.
- THIS PROJECT CONSISTS OF CONSTRUCTION OF A SINGLE FAMILY DWELLING, PAVER DRIVEWAY, FRONT PORCH, PAVER PATIO & WALKS.
- ALL EXISTING UNDERGROUND UTILITIES INCLUDING SANITARY SEWER LATERALS TO BE INSPECTED AND RECONNECTED WHERE POSSIBLE.
- ALL UNDERGROUND UTILITIES BASED ON VISUAL MARKOUT ONLY AND ARE TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ANY REQUIRED DISTURBANCE TO ROAD, WALKS & CURBS WILL BE REPAIRED OR REPLACED IN ACCORDANCE WITH THE BOROUGH STANDARDS UTILIZING INFRARED TREATMENT OF THE TRENCH REPAIR ALONG ALL EDGES OF THE TRENCHES.
- THE LOCATION OF THE SEWER LATERAL, WATER LATERAL AND GAS LATERAL ARE APPROXIMATE AND EXACT LOCATIONS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO DEMOLITION OF THE EXISTING STRUCTURE.
- ANY WORK WITHIN THE BOROUGH RIGHT OF WAY INCLUDING BUT NOT LIMITED TO DRIVEWAY, CURBS, SIDEWALK, UTILITIES, ETC. REQUIRES A BOROUGH ROAD OPENING PERMIT
- THE PLANTING AREA BETWEEN THE SIDEWALK AND CURB MUST REMAIN NATURAL GRASS
- TOPOGRAPHIC SURVEY BASED ON ASSUMED DATUM
- DUE TO SHALLOW WATER TABLE, A STORMWATER RECHARGE SYSTEM IS NONPRACTICAL.
- THE OWNER AND ARCHITECT HAVE BEEN ADVISED OF THE SHALLOW WATER TABLE, ADEQUATE WATERPROOFING OF THE BASEMENT IS REQUIRED.
- DUE TO SHALLOW WATER TABLE, ADEQUATE WATERPROOFING OF THE BASEMENT IS REQUIRED. SEE ARCHITECTS PLANS FOR DETAILS.

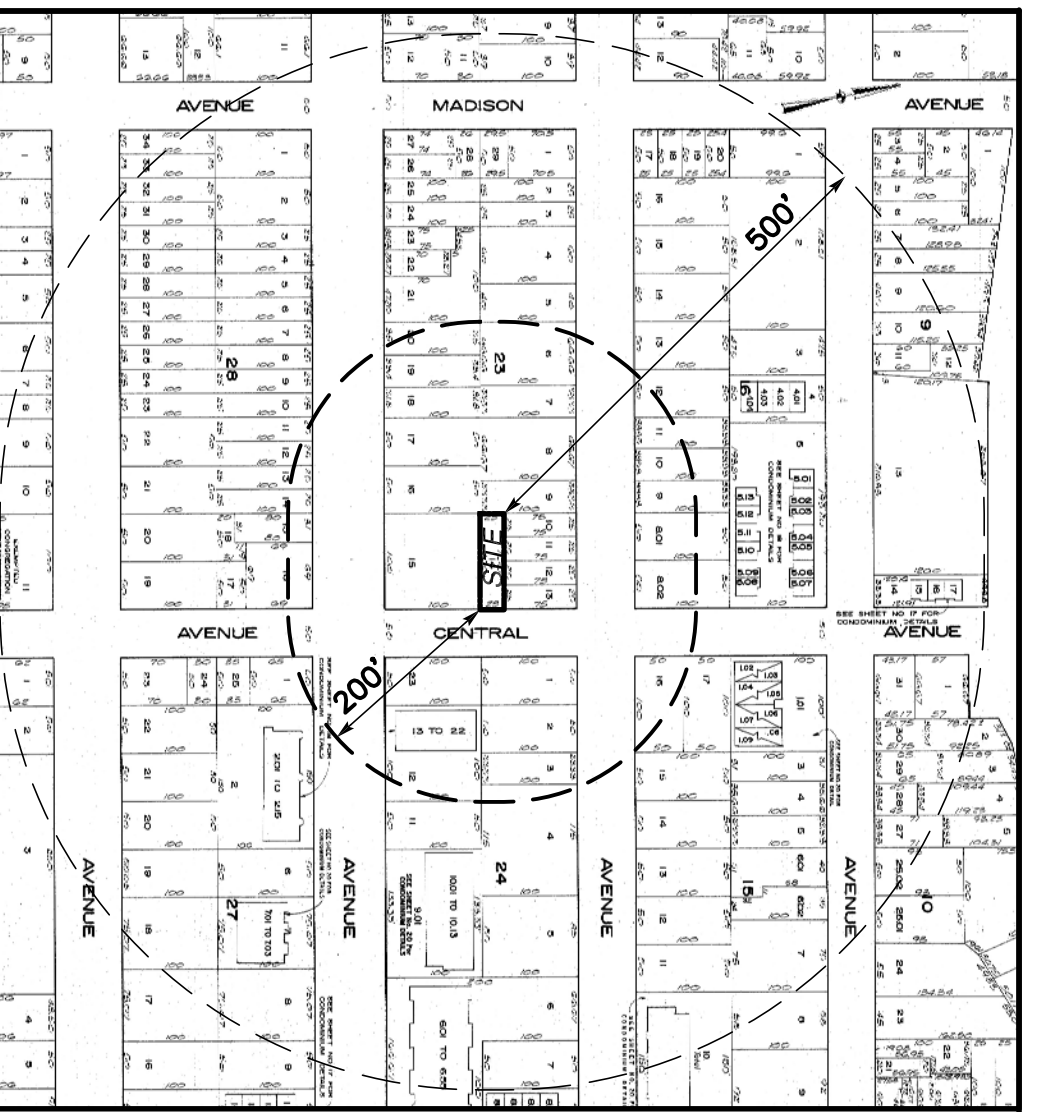
NOTE: SEE ARCHITECTURAL PLANS FOR ZONING DATA

FLOOD ZONE REFERENCE

FLOOD ZONE "X" - NO MINIMUM BASE FLOOD ELEVATION, F.I.R.M. No. 34025C0334F, DATED SEP. 25, 2009
 FLOOD ZONE "X" - NO MINIMUM BASE FLOOD ELEVATION, F.I.R.M. No. 34025C0334F, DATED JAN. 31, 2014

REFERENCES

- DEED BOOK 3468 PAGE 160
- FILED MAP CASE No. 71-7, FILED 2-6-1895
- BOROUGH OF BRADLEY BEACH TAX MAP SHEET No.2



LOCATION MAP

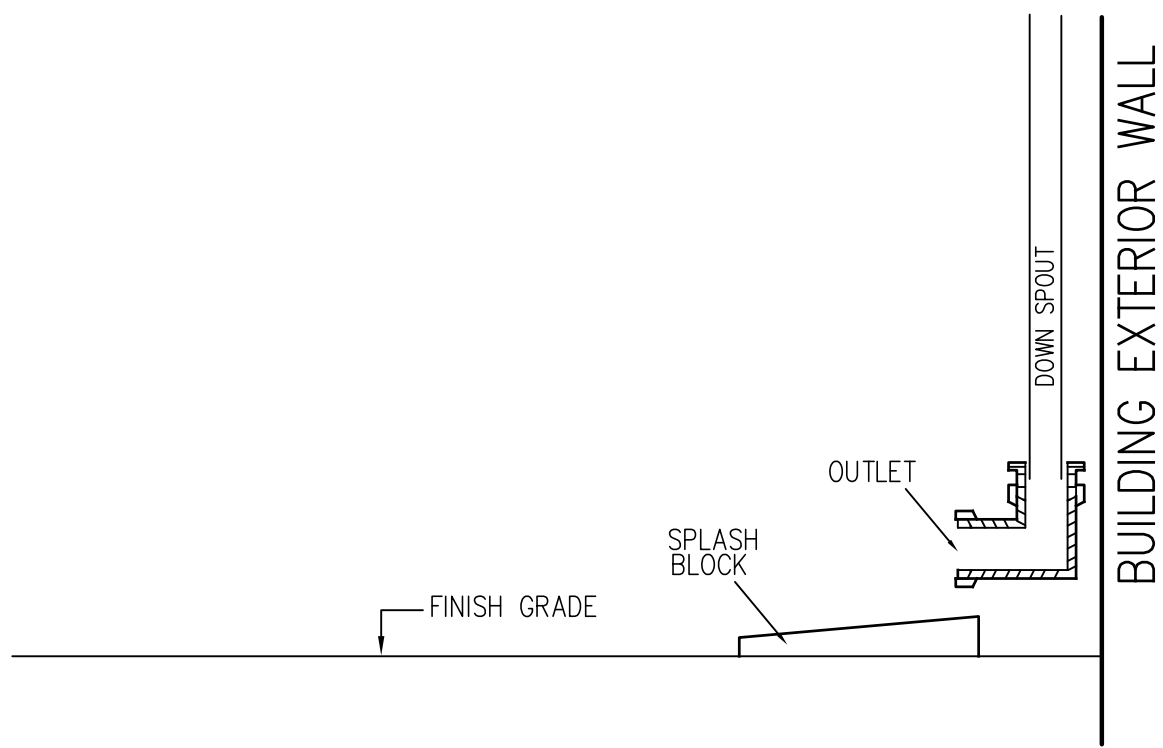
SCALE: 1"=200'

PARK PLACE AVENUE
 R.O.W.=60' (T.M.)

| REV. | DESCRIPTION | DATE | BY |
|------|---------------------------------|------------|----|
| 1 | PLOT PLAN | 01/26/2022 | |
| 2 | LOCATED AT | | |
| 3 | 905 CENTRAL AVE | | |
| 4 | LOT 14 BLOCK 23 ON T.M. SHEET 2 | | |
| 5 | situate in | | |
| 6 | BOROUGH OF BRADLEY BEACH | | |
| 7 | MONMOUTH COUNTY | | |
| 8 | NEW JERSEY | | |

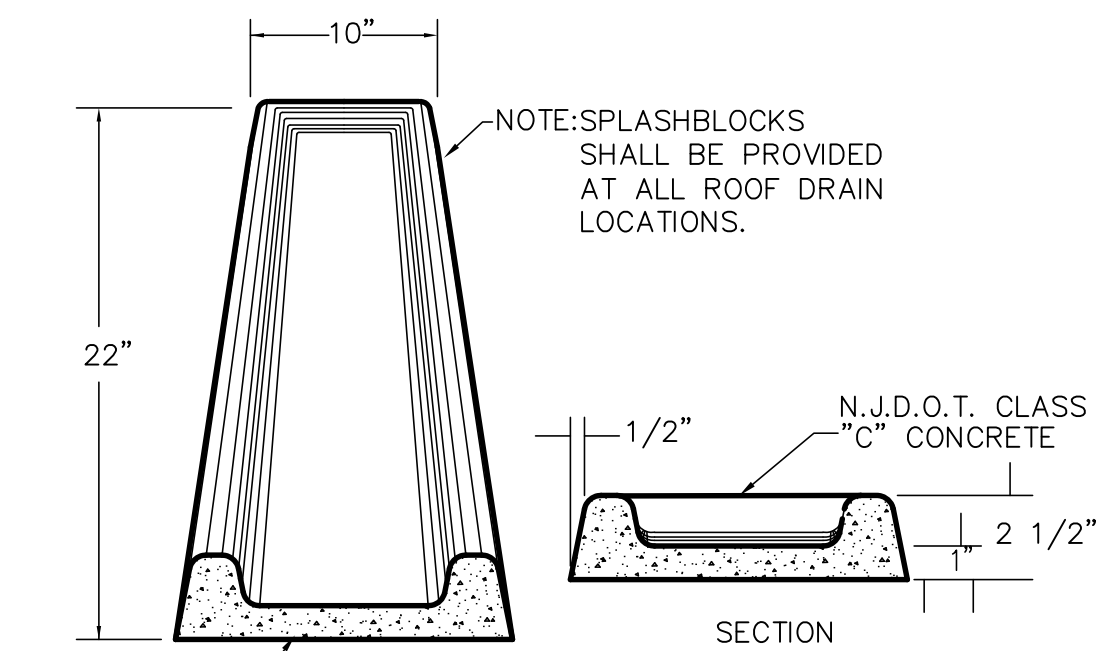
| | |
|--|---------------------|
| CHECKED BY: DC | DRAWN BY: TOM G. |
| <i>[Signature]</i> | |
| DANIEL W. CARUSO, P.E. N.J. PROFESSIONAL ENGINEER - GE36887 | |

| | | | |
|---|--|-------------------------------------|---|
| LANDMARK SURVEYING AND ENGINEERING, INC. 813 Main Street Avon-by-the-Sea, New Jersey 07717 Tel: (732)775-8558 - Fax: (732)775-7848 CERT. OF AUTH. #24GA27929700 Email: Landmarkse@Optimum.net Web: www.Landmarkse.net | | SCALE: 1"=10' SHEET #: 1 OF 2 | DATE: 01/26/2022 DRAWING: 21083pp JOB #: 21083 |
|---|--|-------------------------------------|---|



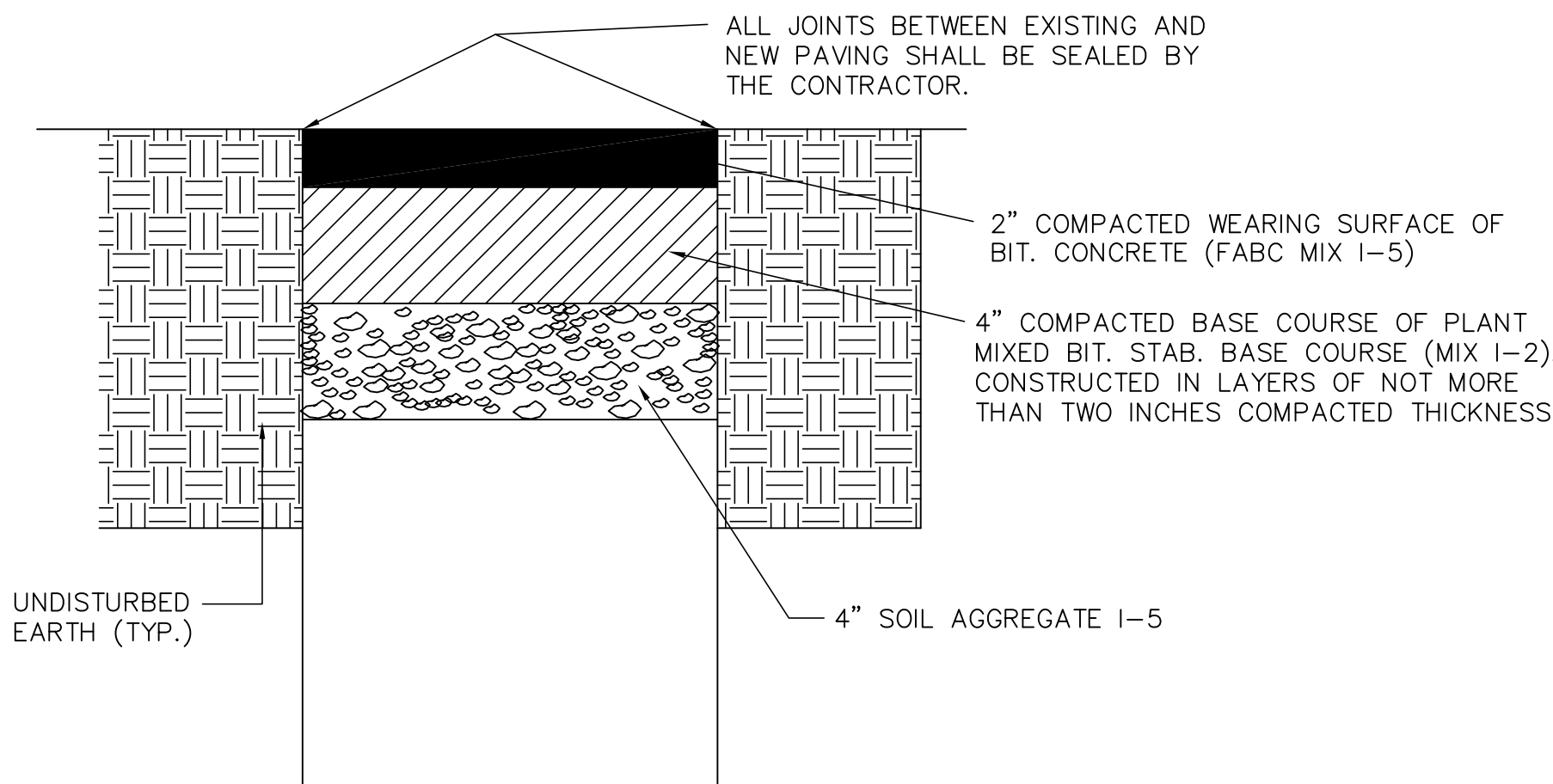
TYPICAL ROOF LEADER DETAIL

N.T.S.



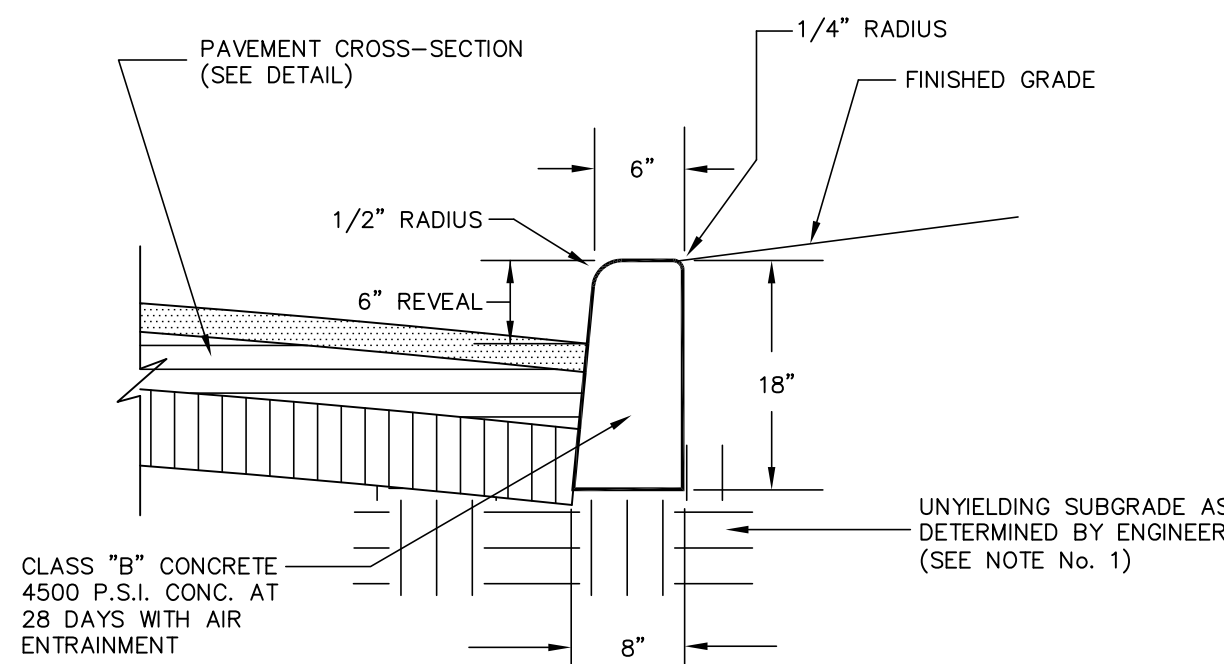
SPLASH BLOCK DETAILS

N.T.S.



PAVEMENT REPAIR DETAIL

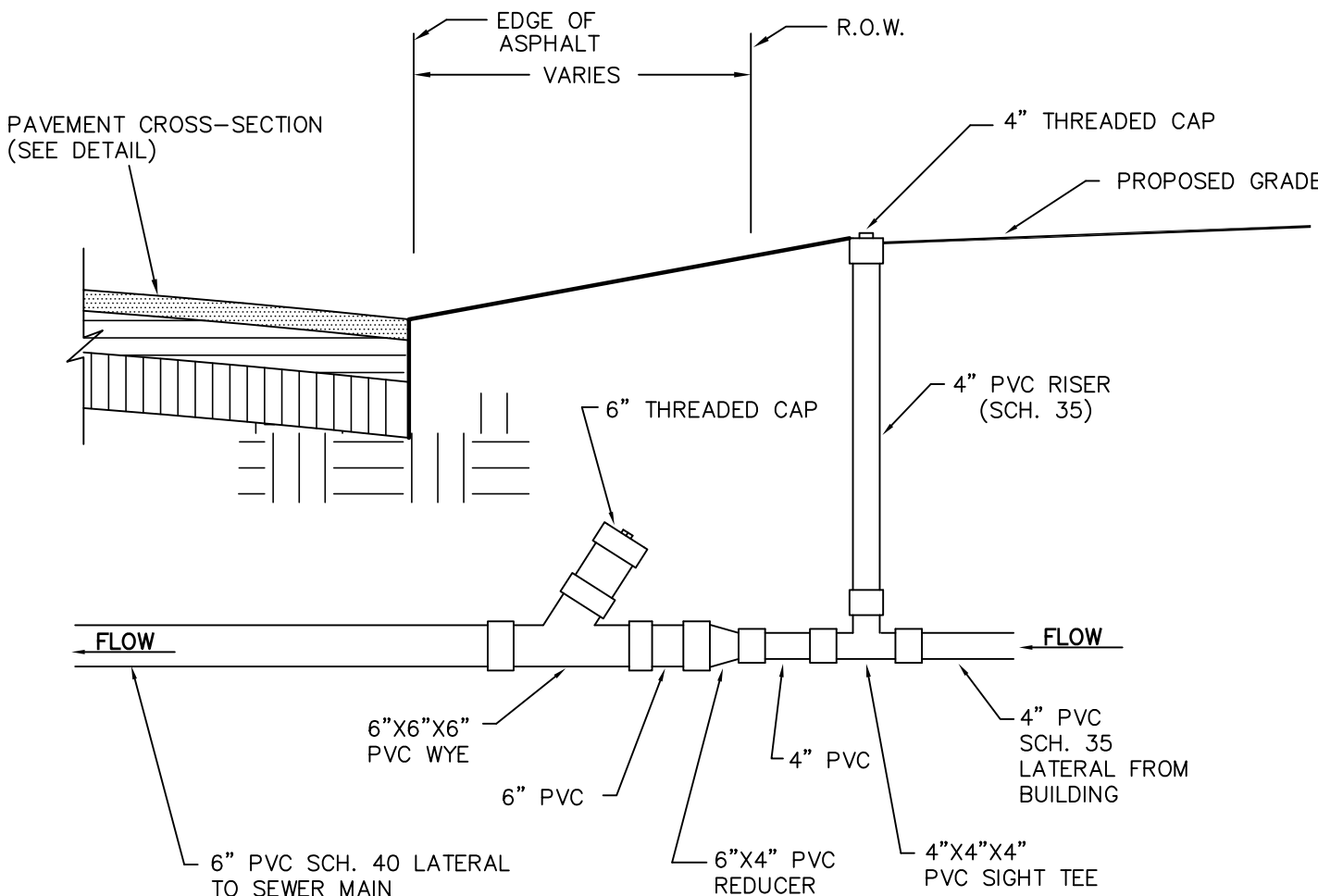
N.T.S.



1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH N.J.D.O.T. DGABC. ALL SUBGRADES SHALL BE APPROVED BY THE ENGINEER PRIOR TO POUR-
2. EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, CONFORMING TO N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONSTRUCTION JOINTS SHALL BE PROVIDED EVERY 10'. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
3. CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOIL BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT SUPPORTING STRENGTH OR WITHIN 24 HOURS OF POURING (WHICHEVER IS LESS).
4. WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA THE EXISTING PAVEMENT SHALL BE SAW CUT IN FRONT OF THE NEW CURB FACE IN A NEAT STRAIGHT LINE. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO MEET EXISTING PAVEMENT, IN ACCORDANCE WITH THE PAVEMENT WIDENING DETAIL.
5. THE GENERAL CONTRACTOR OR OWNER IS RESPONSIBLE FOR MAINTAINING ALL CURB UNTIL FORMALLY ACCEPTED BY THE ENGINEER. ALL CURB THAT IS BROKEN, CRACKED, OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO FINAL PAVING AND/OR ACCEPTANCE. CURB REPLACEMENT SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT ONLY.

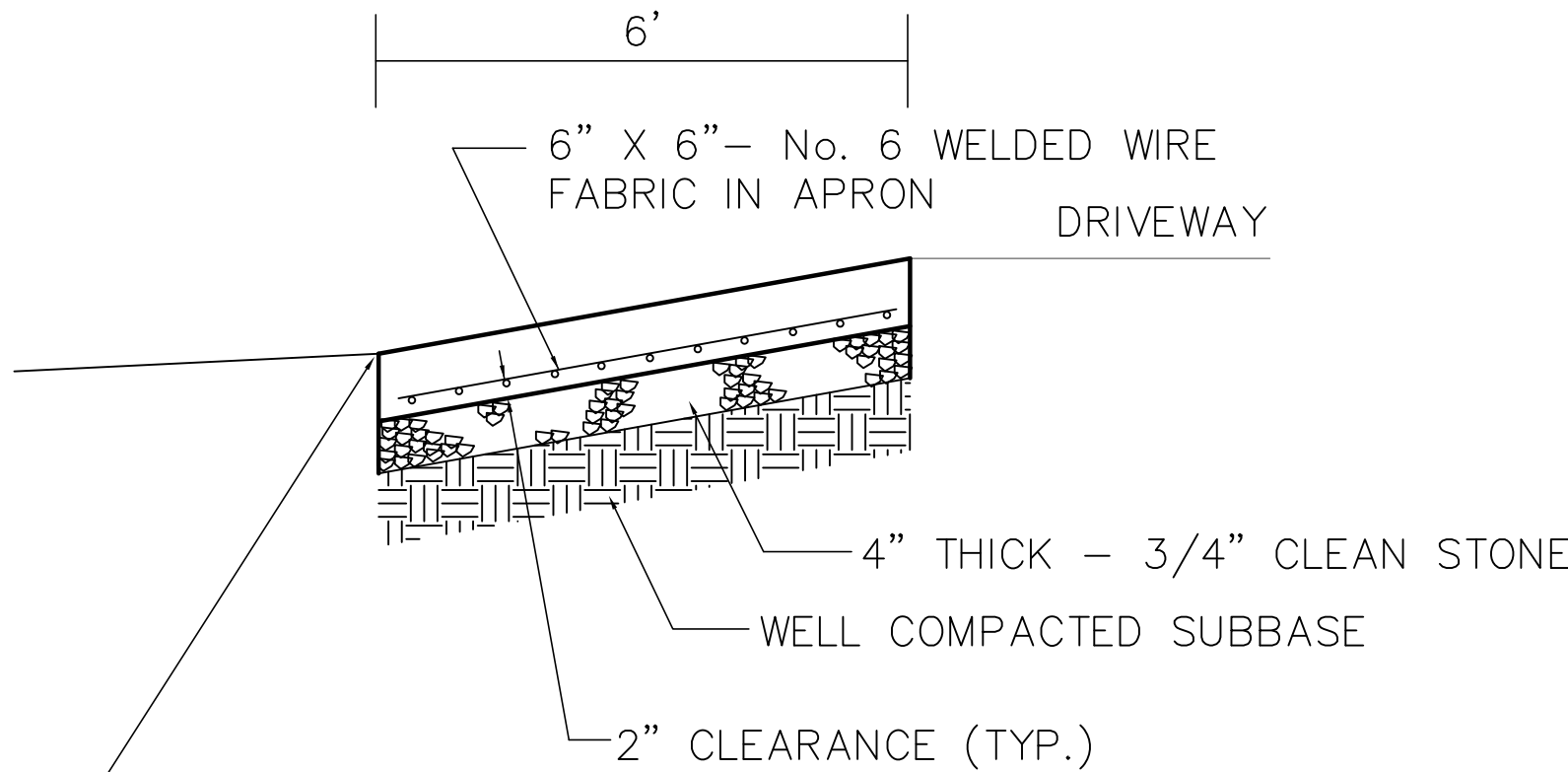
CONCRETE CURB DETAIL

N.T.S.



TYPICAL LATERAL AND CLEANOUT DETAIL

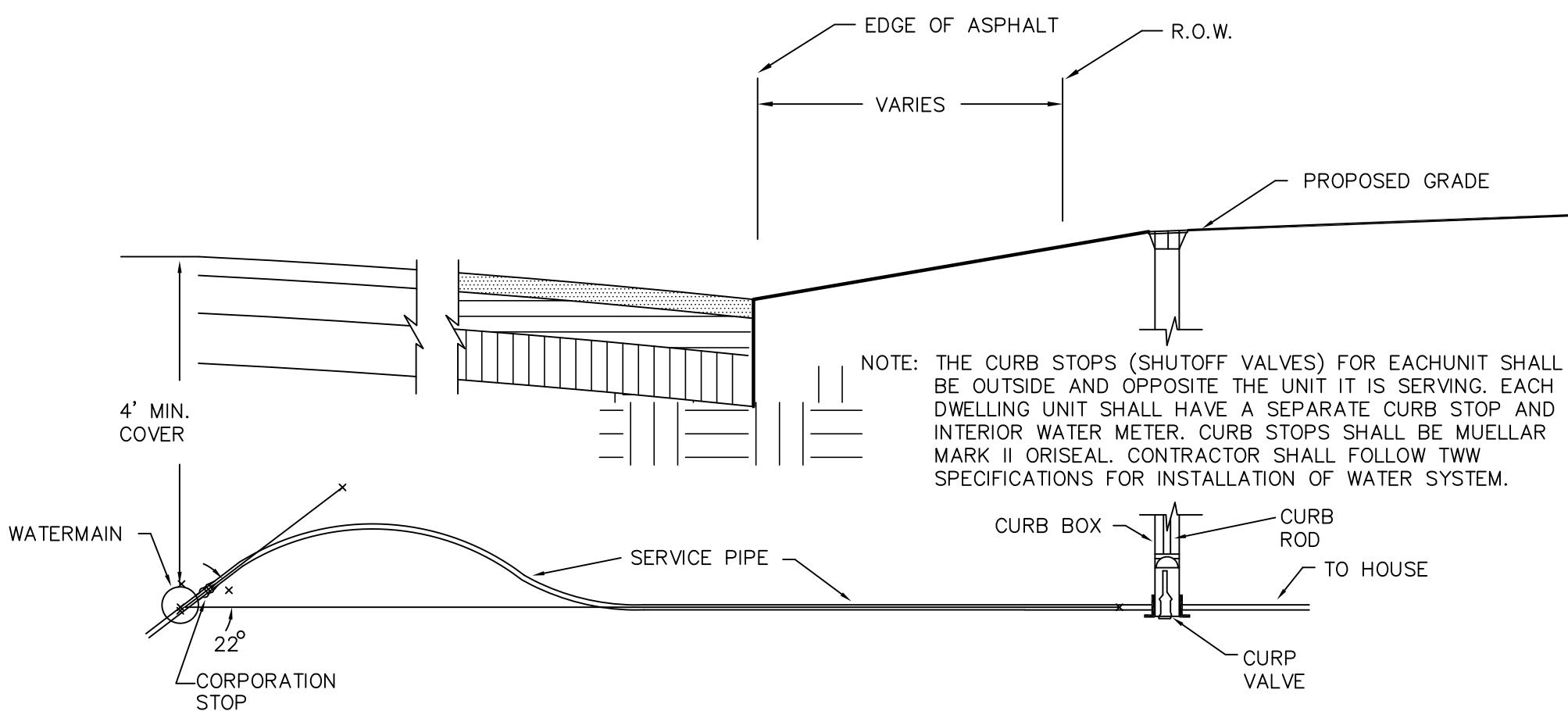
N.T.S.



NOTE: APRON TO BE 6" THICK 4000 PSI CONCRETE AT 28 DAYS

CONCRETE APRON DETAIL


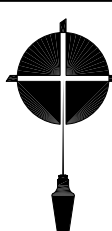
N.T.S.



NOTE: THE CURB STOPS (SHUTOFF VALVES) FOR EACH UNIT SHALL BE OUTSIDE AND OPPOSITE THE UNIT IT IS SERVING. EACH DWELLING UNIT SHALL HAVE A SEPARATE CURB STOP AND INTERIOR WATER METER. CURB STOPS SHALL BE MUELLER MARK II ORISEAL. CONTRACTOR SHALL FOLLOW TWW SPECIFICATIONS FOR INSTALLATION OF WATER SYSTEM.

WATER SERVICE CONNECTION DETAIL

N.T.S.

| CHECKED BY: | | DRAWN BY: | | REV. | DESCRIPTION | DATE | BY |
|--|--|---------------------------------|--|----------|-------------|--|----|
| DC | | TOM G. | | | | | |
|  DANIEL W. CARUSO, P.E. N.J. PROFESSIONAL ENGINEER – GE36887 | | CONSTRUCTION DETAILS | | | |  LANDMARK SURVEYING AND ENGINEERING, INC. 813 Main Street Avon-by-the-Sea, New Jersey 07717 Tel: (732)775-8558 - Fax: (732)775-7848 CERT. OF AUTH. #24GA2792907 Email: Landmarkse@Optimum.net Web: www.Landmarkse.net | |
| | | LOCATED AT | | | | | |
| | | 905 CENTRAL AVE | | | | | |
| | | LOT 14 BLOCK 23 on T.M. SHEET 2 | | | | | |
| | | situate in | | | | | |
| | | BOROUGH OF BRADLEY BEACH | | | | | |
| | | MONMOUTH COUNTY | | | | NEW JERSEY | |
| | | SCALE: | | N.T.S. | | DATE: | |
| | | SHEET #: | | DRAWING: | | JOB #: | |
| | | 2 OF 2 | | 21083pp | | 21083 | |