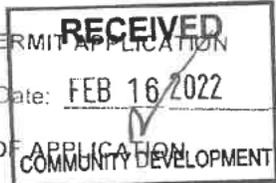




rv 2/17/22

ZONING PERMIT APPLICATION



Zoning Control Number ZA-22-0031 Date: FEB 16 2022 Fee: \$45

TYPE OF APPLICATION
COMMUNITY DEVELOPMENT

- Adding a New Use to a Property (\$45)
- Commercial Addition (\$45)
- Continuing/Changing the Use of a Property/Structure (\$45)
- Deck/Balcony (\$45)
- Fence/Retaining Wall* (\$45)
- Home Occupation (\$45)
- Interior Remodeling (Commercial/Residential) (\$45)
- New Accessory Structure (\$45)
- New Commercial Business (\$45)
- New Ownership of a Property/Business(\$45)
- New Residence (\$45)
- Porch (\$45)
- Private Garage (\$45)
- Other POOL/SIDING
- Residential Addition (\$45)
- Signs (\$45)
- Storage Shed (\$45)
- Swimming Pool/Hot Tub** (\$45)
- Zoning Determination (\$100)

PLEASE READ THE ZONING PERMIT INFORMATION SHEET PRIOR TO COMPLETING THIS APPLICATION.

As per the Bradley Beach Land Development Ordinance a zoning permit shall be issued prior to the commencement or change of use of a property, building or structure; the occupancy of any building or structure; the construction, erection, reconstruction, alteration, conversion, or installation of any building or structure.

The Bradley Beach Zoning Map, Land Development Ordinance and its amendments can be found online at <http://ecode360.com/BR2100>.

*Indicate location, height, and type of fence on survey/plot plan.
**Pools require a fence. Please indicate type, height, and area of fence and location of filter.

IF ANY OF THE REQUESTED INFORMATION IS SUBMITTED INCOMPLETE, THEN THIS APPLICATION SHALL BE RETURNED UNPROCESSED.

(PLEASE PRINT CLEARLY)

- Location of property for which zoning permit is desired:
Street Address: 609 5TH AVENUE Block: 57 Lot: 9 Zone: 2
- Applicant Name: CRISTE MENDES Phone No. [REDACTED] Fax No. _____
Applicant's Address: 609 5TH AVENUE BRADLEY BEACH
Email: [REDACTED]
- Property Owner's Name: CRISTE MENDES Phone No. [REDACTED] Fax No. _____
Property Owner's Address: 609 5TH AVENUE
Email: [REDACTED]

- 4 Present Approved Zoning Use of the Property: RESIDENCE
- 5 Proposed Zoning Use of the Property: RESIDENCE
- 6 Describe in detail the activity or activities you are proposing. If you are proposing construction, then describe in detail the dimension and setbacks. If you are proposing a use, then describe the proposed use.

ADD WALL INTERIOR WALLS / REMOVE WALLS
NEW SIDING / NEW ROOF SHINGLES
RELOCATE KITCHEN AND BATH ROOMS
NEW WINDOWS
FRENCH DRAIN BASEMENT
FIRST FLOOR REHABILITATION ONLY

7 Has the above referenced premises been the subject of any prior application to the ZONING BOARD OF ADJUSTMENT or PLANNING BOARD?

Yes No If Yes, state date: _____

Board: _____ Resolution # (if any): _____ (submit a copy of the Resolution)

8 For all exterior work pertaining to additions and accessory structures, excluding fences, please provide:

Building Coverage: _____% Lot Coverage: _____% (Please include calculations)

40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law," N.J.S.2A:58- 1 et seq.

Adopted L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

Odete Mendes
Signature of Applicant

14 Feb 2022
Date

ODETE MENDES
Print Applicant's Name

ODETE MENDES
Signature of Owner

14 Feb 2022
Date

Odete Mendes
Print Owner's Name

ODETE MENDES FOR OFFICE USE

Fee date: _____ Check#: _____ Cash: _____

Received by: _____ Receipt#: _____



ADDENDUM TO ORIGINAL APPLICATION

ZONING PERMIT APPLICATION

Zoning Control Number _____ Date: 17 FEB 2022 Fee: \$45

Zoning application Number ZA 22-0031

TYPE OF APPLICATION

- | | | |
|---|---|---|
| <input type="checkbox"/> Adding a New Use to a Property (\$45) | <input type="checkbox"/> New Accessory Structure (\$45) | <input type="checkbox"/> Residential Addition (\$45) |
| <input type="checkbox"/> Commercial Addition (\$45) | <input type="checkbox"/> New Commercial Business (\$45) | <input type="checkbox"/> Signs (\$45) |
| <input type="checkbox"/> Continuing/Changing the Use of a Property/Structure (\$45) | <input type="checkbox"/> New Ownership of a Property/Business(\$45) | <input type="checkbox"/> Storage Shed (\$45) |
| <input type="checkbox"/> Deck/Balcony (\$45) | <input type="checkbox"/> New Residence (\$45) | <input type="checkbox"/> Swimming Pool/Hot Tub** (\$45) |
| <input type="checkbox"/> Fence/Retaining Wall* (\$45) | <input type="checkbox"/> Porch (\$45) | <input type="checkbox"/> Zoning Determination (\$100) |
| <input type="checkbox"/> Home Occupation (\$45) | <input type="checkbox"/> Private Garage (\$45) | |
| <input type="checkbox"/> Interior Remodeling (Commercial/Residential) (\$45) | <input type="checkbox"/> Other: _____ | |

PLEASE READ THE ZONING PERMIT INFORMATION SHEET PRIOR TO COMPLETING THIS APPLICATION.

As per the Bradley Beach Land Development Ordinance a zoning permit shall be issued prior to the commencement or change of use of a property, building or structure; the occupancy of any building or structure; the construction, erection, reconstruction, alteration, conversion, or installation of any building or structure.

The Bradley Beach Zoning Map, Land Development Ordinance and its amendments can be found online at <http://ecode360.com/BR2100>.

*Indicate location, height, and type of fence on survey/plot plan.

**Pools require a fence. Please indicate type, height, and area of fence and location of filter.

IF ANY OF THE REQUESTED INFORMATION IS SUBMITTED INCOMPLETE, THEN THIS APPLICATION SHALL BE RETURNED UNPROCESSED.

(PLEASE PRINT CLEARLY)

1 Location of property for which zoning permit is desired:

Street Address: 609 5th Avenue Block: 57 Lot: 9 Zone: R1

2 Applicant Name: Odete Rodrigues Mendes Phone No. [REDACTED] Fax No. USE EMAIL

Applicant's Address: 14 Pearl ST, Summit NJ 07901

Email: [REDACTED]

3 Property Owner's Name: Odete Rodrigues Mendes Phone No. [REDACTED] Fax No. USE EMAIL

Property Owner's Address: 14 Pearl ST, Summit NJ 07901

Email: [REDACTED]

- 4 Present Approved Zoning Use of the Property R-1 as per property card on county public records
- 5 Proposed Zoning Use of the Property R-1
- 6 Describe in detail the activity or activities you are proposing. If you are proposing construction, then describe in detail

the dimension and setbacks. If you are proposing a use, then describe the proposed use NO CHANGE in use of property, to remain as per current use of multifamily home (to be a owner occupied 2 family home).

CONSTRUCTION PORPOSE: interior restoration of first floor as per submitted architectural plans: Please see page 2 for all details

NO additions or accessory structures to be added.

Please see all requested details on page 3

Appendix 1: Multiple copies of architectural plans (submitted to zoning office on 17FEB 2022)

Appendix 2: copies property survey (submitted to zoning office on 17FEB 2022)

Appendix 3: copy property card as per county public records

- 7 Has the above referenced premises been the subject of any prior application to the ZONING BOARD OF ADJUSTMENT or PLANNING BOARD?

Yes No If Yes, state date: _____

Board: _____ Resolution # (if any): _____ (submit a copy of the Resolution)

- 8 For all exterior work pertaining to additions and accessory structures, excluding fences, please provide.

Building Coverage: NA % Lot Coverage: NA % (Please include calculations)

No additions or accessory structures

40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law." N.J.S.2A:58- 1 et seq.

Adopted L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

Signature of Applicant
ODETE RODRIGUES MENDES

Date

Print Applicant's Name

Signature of Owner
ODETE RODRIGUES MENDES

Date

Print Owner's Name

----- FOR OFFICE USE -----

Fee date: _____ Check#: _____ Cash: _____

Received by: _____ Receipt#: _____

ADDENDUM TO ZONING APPLICATION PAGE 2



Borough of Bradley Beach
ZONING OFFICER
701 MAIN STREET
BRADLEY BEACH, NJ 07720
(732) 776-2999 EXT 1038
ZONINGOFFICER@BRADLEYBEACHNJ.GOV

Application Date: 2/17/2022
Application Number: ZA-22-0031
Permit Number: _____
Project Number: _____
Fee: \$45

Denial of Application Incomplete

Date: 2/17/2022

To: ODETTTE MENDES
609 FIFTH AVE
BRADLEY BEACH, NJ 07720

CC: [REDACTED]

RE: 609 FIFTH AVE
BLOCK: 57 LOT: 9 QUAL: ZONE:

SCOPE OF WORK (As Per Architectural Plans)

SCOPE OF WORK

1. BUILDING FOOTPRINT TO REMAIN.
2. FIRST FLOOR KITCHEN CABINETS TO BE REPLACED.
3. REMOVED EXISTING BATHROOMS.
4. PROVIDE NEW BATHROOMS.
5. REMAINING WALLS AND CEILING TO RECEIVE NEW PAINT.
6. EXISTING FIRST FLOOR FURNACE AND WATER HEATER TO BE REPLACED.
7. REPAIR EXISTING HVAC DUCT AS NECESSARY.
8. REPLACE WINDOWS AND DOOR AS NECESSARY.
9. REPLACE PLUMBING FIXTURES AND PIPES AS NECESSARY.
10. ELECTRICAL SERVICE TO REMAIN.
11. REPAIR THE EXISTING ELECTRICAL PIPES AND WIRES AS NECESSARY.
12. EXISTING ROOF TO BE REPLACED AS NECESSARY.
13. PROVIDE ANCHORAGE 3" X 3" PLATE TYPE WASHERS AT SILL PLATES.
14. EXTERIOR: PROVIDE HURRICANE STRAPS AT WINDOW / DOOR OPENING, SILL PLATE THRU BOX, 3" INTO JACK STUD, THEN ONE AT EACH CORNER, THEN 4'-0" OC.
15. INTERIOR: PROVIDE HURRICANE STRAPS AT WINDOW / DOOR HEADER FROM THE TOP PLATE, THRU HEADER, 8" INTO THE JACK STUD.
16. PROVIDE HURRICANE CONNECTION AT EACH RAFTER

ZONING NOTES ((As Per Architectural Plans)

ZONING NOTES

1. COPIES OF ORIGINAL SURVEY W/ APPLICATION
2. NO CHANGES TO EXISTING LOT GRADING.
3. NO CHANGE TO FLOOR ELEVATION.
4. WATER AND SEWER CONNECTIONS TO REMAIN.

ADDENDUM TO ZONING APPLICATION PAGE 3



Borough of Bradley Beach
 ZONING OFFICER
 701 MAIN STREET
 BRADLEY BEACH, NJ 07720
 (732) 776-2999 EXT 1038
 ZONINGOFFICER@BRADLEYBEACHNJ.GOV

Application Date: 2/17/2022
 Application Number: ZA-22-0031
 Permit Number: _____
 Project Number: _____
 Fee: S45

Denial of Application Incomplete

Date: 2/17/2022

To: ODETE MENDES
 609 FIFTH AVE
 BRADLEY BEACH, NJ 07720

CC: [REDACTED]

RE: 609 FIFTH AVE
 BLOCK. 57 LOT 9 QUAL: ZONE.

REQUESTED INFORMATION AS PROVIDED BY ARCHITECT

ZONING ANALYSIS	REQUIRED	EXISTING	PROPOSED	CONFORMANCE	
				YES	NO
LOT SIZE:					
WIDTH	50.0'	50.0'	50.0'	PRE-EXISTING	
DEPTH	100.0'	117.0'	117.0'	PRE-EXISTING	
AREA	5,000.0 SF	5,849.9 SF	5,849.9 SF	PRE-EXISTING	
PRINCIPAL BLDG:					
FRONT SET BACK	15.0'	14.50'	14.50'	PRE-EXISTING	
REAR YARD	25.0'	46.38'	46.38'	PRE-EXISTING	
SINGLE YARD	5.0'	11.81'	11.81'	PRE-EXISTING	
COMBINED YARD	10.0'	15.61'	15.61'	PRE-EXISTING	
BUILDING AREA LOT COV:					
TOTAL COVERAGE AREA	2,047.15 SF <small>40.94%</small>	1,628.0 SF <small>31.97%</small>	1,628.0 SF <small>31.97%</small>	PRE-EXISTING	
HEIGHT:	35'-0"	30'-0"	30'-0"	✓	
IMPERVIOUS COVERAGE					
COVERED PORCH	N/A	100.0 SF	100.0 SF	PRE-EXISTING	
DRIVE WAY	N/A	290.0 SF	290.0 SF	PRE-EXISTING	
WALK-WAY(S)	N/A	624.0 SF	624.0 SF	PRE-EXISTING	
WOOF DECK	N/A	N/A	N/A	N/A	
MAXIMUM IMPROVEMENT	3,509.0 SF 60.0%	2,642.0 SF 45.17%	2,642.0 SF 45.17%		

Signature of Applicant
ODETE RODRIGUES MENDES

Date

Print Applicant's Name

Signature of Owner
ODETE RODRIGUES MENDES

Date

Print Owner's Name