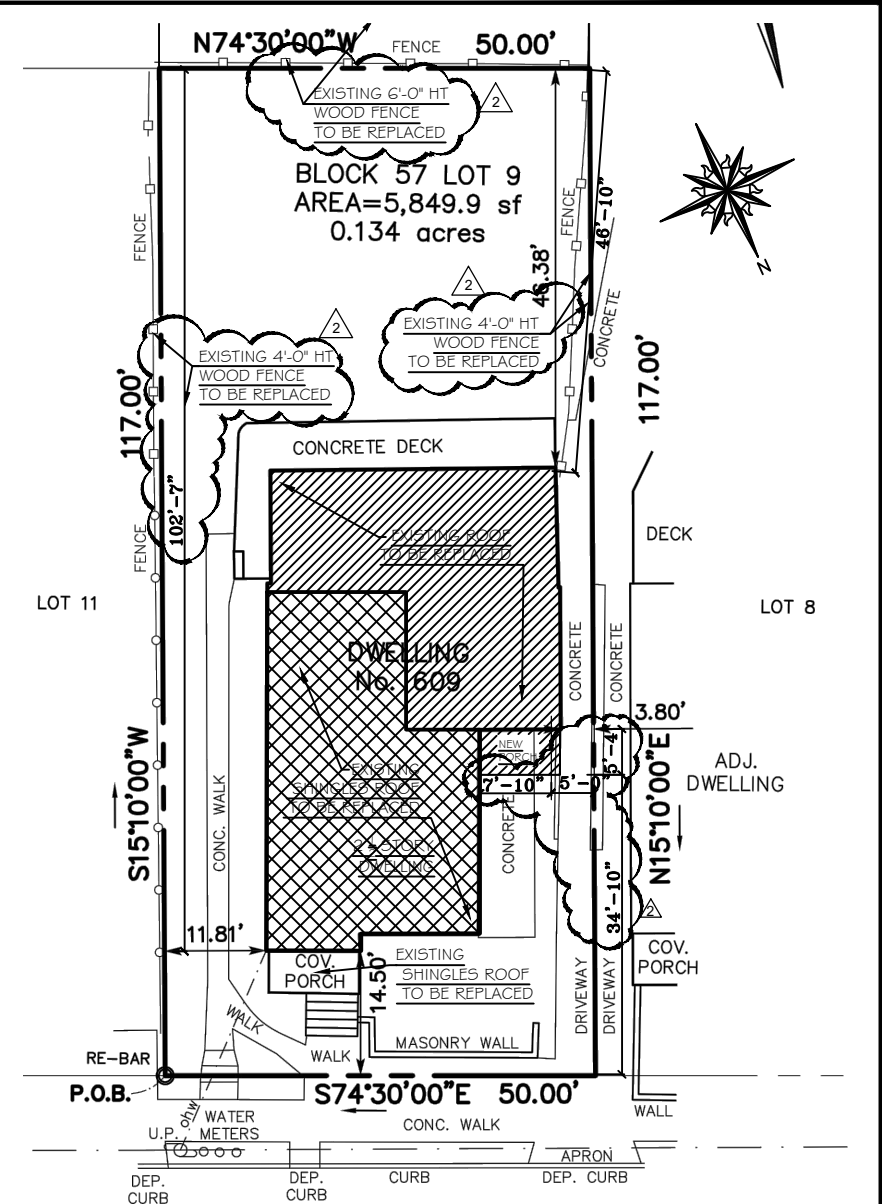
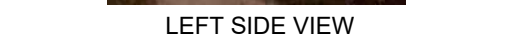
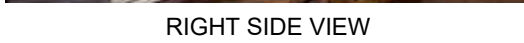
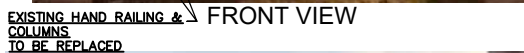






[illegible]



FIFTH AVENUE
R.O.W. = 50' (T.M.)

NOTE:
BASED ON PROPERTY DESCRIPTION MADE BY
LANDMARK PROFESSIONAL SURVEYOR
RODOLFO PIERRI

 **SITE PLAN**
SCALE : 1"=10'-0"

| | | | |
|---|---|---|---|
|  |  |  |  |
| EXISTING ROOF TO BE REPLACED | EXISTING ROOF SHINGLES TO BE REPLACED | EXISTING FRONT PORCH TO REMAIN | NEW PORCH |

APPROVED BY THE PLANNING BOARD OF THE CITY OF WEST BRADLEY BEACH AT A MEETING HELD ON

THE _____ DAY OF _____ 20_____

BOARD CHAIRPERSON

BOARD SECRETARY

BOARD CHAIRPERSON

BOARD SECRETARY

CITY CLERK

CITY ENGINEER

CITY CLERK

CITY ENGINEER

RESOLUTION NUMBER

DATE

| NO | DATE | REVISION / ISSUE |
|----|-----------|---|
| 1 | 3-8-2022 | ZONING ANALYSIS EXISTING WOOD FENCE REPLACEMENT |
| 2 | 3-24-2022 | ZONING ANALYSIS |
| | | |

M B Architectural
Design & Consulting

MARTHA BRAZOBAN- Architect AIA

570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 316-5337
Fax: (908) 737-7596

<http://www.mbarchitecturaldesign.com/>
martha@mbarchitecturaldesign.com

M.B. Architectural Design and Consulting, LLC

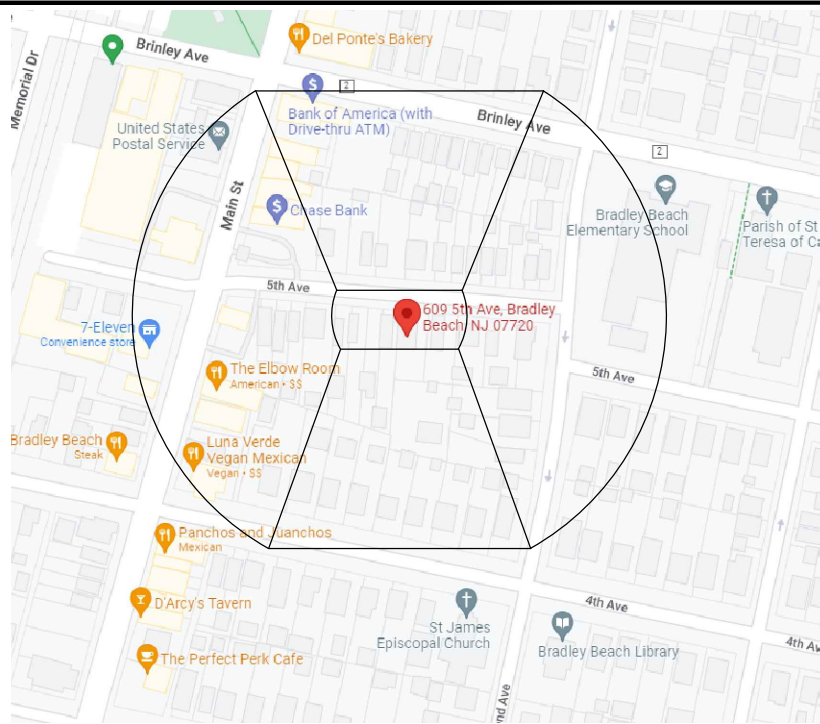
U.S. LICENSE/CERTIFICATE #21A000109000

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| |
|--|
| PROJECT |
| PROPOSED CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE |
| OWNER/CLIENT |
| ODETE MENDEZ |
| PROJECT LOCATION |
| 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK: 57 LOT: 9 |

| | |
|---|-------------|
| DRAWING TITLE | |
| LOCATION MAP, GENERAL NOTES, SITE PHOTOS AND SITE PLAN | |
| DRAWN BY: | S.S. |
| CHECKED BY: | M.B. |
| SCALE: | AS NOTED |
| DATE: | 1-31-2022 |
| PROJECT NO: | MBSS 22-002 |

| | |
|---------|-----------|
| DWG NO: | SHEET NO: |
| ST-100 | 1 OF 12 |

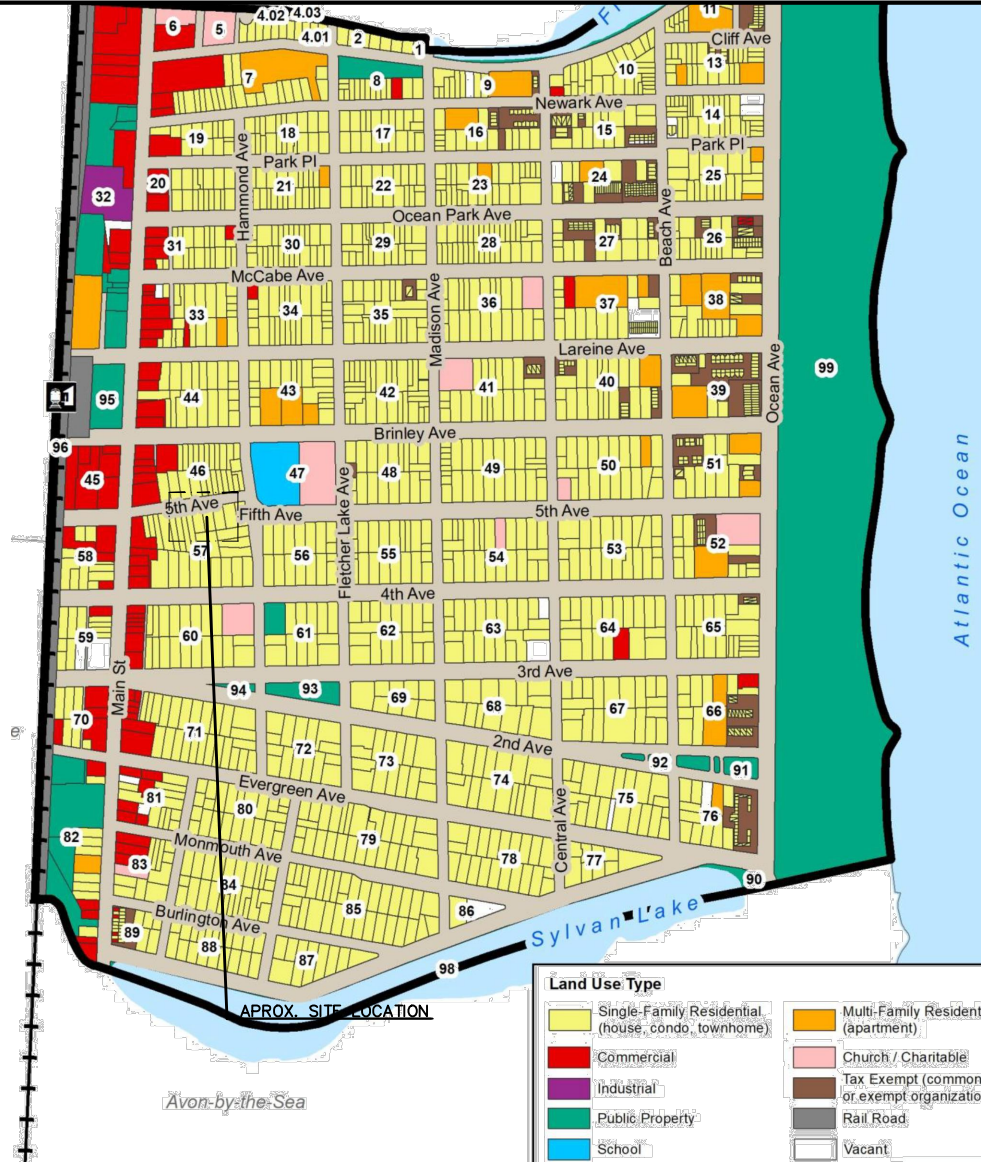


1
A-101
GENERAL KEY MAP (200 FT. RADIUS)

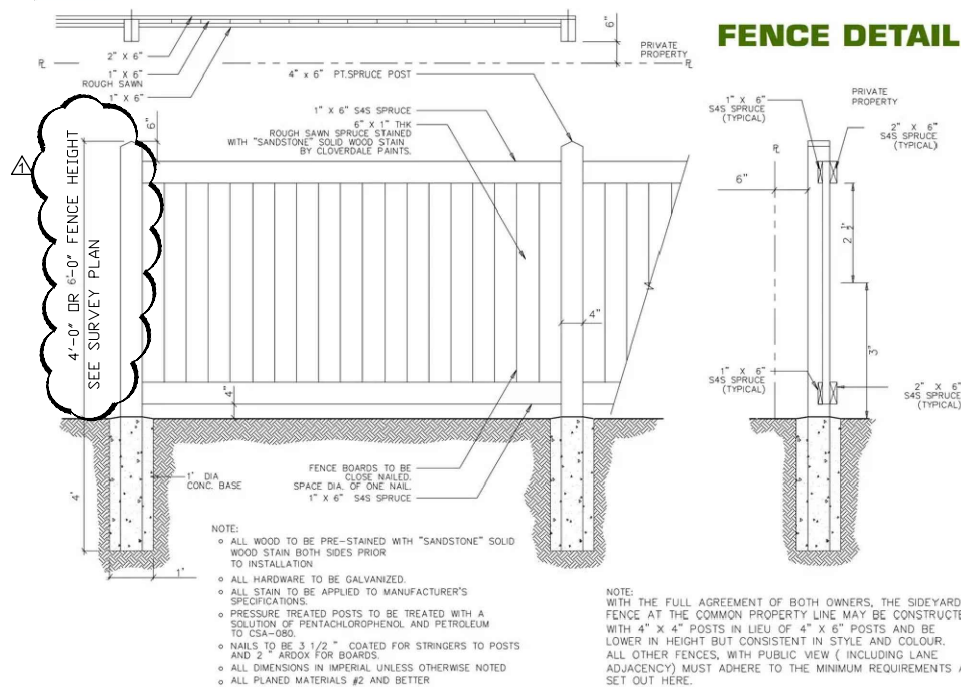
| Muni-Block-Lot-Qual | Property Owner | Mailing Address | City State Zip |
|---------------------|------------------------------------|---------------------------|-----------------------------|
| 1308-57-1-01 | 420 MAIN REALTY INC | 420 MAIN STREET | BRADLEY BEACH NJ 07720 |
| 1308-57-27 | PORT PIRES LLC | PO BOX 943 | JACKSON NJ 08527 |
| 1308-46-1 | NATWEST BANK C/O BANK OF AMERICA | 101 N TRYON ST-NC10010381 | CHARLOTTE NC 28255 |
| 1308-46-28 | JPM CHASE % LERETA TEXAS OPERATION | PO BOX 182269 | COLUMBUS OH 43218 |
| 1308-46-27 | BRODERS ROBERT A & SUSAN E | 614 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-18 | LARKEY LORETTA J | 602 1/2 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-21 | NELSON ARIEL & FELDMAN MELISSA | 21 BONNYVIEW DRIVE | LIVINGSTON NJ 07039 |
| 1308-57-7 | HOMMEYER KATHLEEN & GEORGE | 611 1/2 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-10 | DIMICCO BRUCE & DEBORAH | 33 STERLING STREET | NEWTON PA 18940 |
| 1308-57-15 | ZARELLA PAUL & BARBARA | 411 HAMMOND AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-57-16 | FERRARA FRANCIS X & JANE R | 32 MARTINGALE LANE | ANDOVER MA 01810 |
| 1308-57-19 | BRAMHALL J&MORALES E C&MACHEMER C | 602 4TH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-20 | PREZTUNIK MARYANNE E | PO BOX 425 | BRADLEY BEACH NJ 07720 |
| 1308-57-17 | ROWAN PAUL & THERESA | 407 HAMMOND AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-11 | NOVOTNY PAULETTE & JOSEPH | 607 5TH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-12 | OCHS PATRICK ARTHUR & GANGADAYE | 106 SCOTLAND ROAD | SOUTH ORANGE NJ 07079 |
| 1308-57-13 | FELDMAN DAVID & SCHWARTZ ELLEN | 945 LINCOLN PLACE | TEANECK NJ 07666 |
| 1308-57-14 | SYMONS JAMES | 601 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-8 | BAROUTAS KONSTANTINOS & OLIMBIAS | 514 DEAL RD | OCEAN TWP NJ 07712 |
| 1308-57-2 | COSTA ROBERT F & NANCY L | 619 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-3 | HOLTERHOFF JUDITH L | 617 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-4 | AUZENNE BRENDA | 615 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-5 | ZARACARO ROSARIO J III & ROSA | 613 1/2 FIFTH AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-57-6 | BLECH ARI RON | 613 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-16 | GONZALES CHARLES | 600 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-17 | KASCHL ARNO & PATTY ROIG | AV JEAN ACCENT 7 | 1160 BRUSSELS BELGIUM 00000 |
| 1308-46-9 | DEHN THOMAS J & JANICE A | 611 BRINLEY AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-11 | ADVENTO CHRISTINA ETAL | 607 BRINLEY AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-46-12 | WINOGRAD MICHAEL & SIOBHAN | 274 IVY PLACE | RIDGEWOOD NJ 07450 |
| 1308-57-22 | SHUMANOV YAVOR & BIANCA | 608 4TH AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-57-23 | URSBRUCH JOSEPH C & LAURA A | 610 FOURTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-24 | MALIZIA JEAN T | 612 FOURTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-25 | PETRUCELLI STEVE & KAREN | 614 FOURTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-57-26 | GLACKEN CATHY | 616 FOURTH AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-46-10 | CENZANO RONALD & ANNA | 24 LANDSDOWNE ROAD | EAST BRUNSWICK NJ 08816 |
| 1308-46-4 | ABBATICOLA PRISCILLA SIMONA | 600 MAIN ST | BRADLEY BEACH NJ 07720 |
| 1308-46-5 | 619 BRINLEY AVENUE LLC | 21 FRAMINGHAM ROAD | OCEAN NJ 07712 |
| 1308-46-6 | ZILLES-DOROBA COLLEEN & DOROBA MAR | 11 HARTSHORNE ROAD | OCEAN TOWNSHIP NJ 07712 |
| 1308-46-7 | MARSCHHAUSER ERIC | 615 BRINLEY AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-19 | HOTCHKISS M.A. & HAHN M.% ATISHLER | 224 MIDDLE RD SUITE 4 | HAZLET NJ 07730 |
| 1308-46-20 | WHITBY THEODORE C & ROSANNE | 11 PIEDMONT DRIVE | PRINCETON JUNCTION NJ 08550 |
| 1308-46-21 | AFANADOR ELIAS | 604 1/2 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-22 | LANE MAURICE E JR & MARY C | 606 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-23 | BROOKS ARTHUR W & CALOGERO CAROLI | 7 KINGLET DRIVE NORTH | CRANBURY NJ 08512 |
| 1308-46-24 | MEYER KURT E & CYNTHIA I & IDES F. | 608 FIFTH AVENUE | BRADLEY BEACH NJ 07720 |
| 1308-46-25 | ROSS STEPHEN AND LEIGH S | 610 FIFTH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-26 | SIMON JOSEPH | 612 5TH AVE | BRADLEY BEACH NJ 07720 |
| 1308-46-8 | SPILL KEITH & SUSAN | 2 SMITH STREET | FARMINGDALE NJ 07727 |
| 1308-57-9 | MENDES ODETE RODRIGUES | 14 PEARL STREET | SUMMIT NJ 07901 |

In accordance with the Land Use Law N.J.S.A. 40:55D-12 [d-g], Notice of Property within two hundred feet [200'] of a County road or other County properties shall be given to:

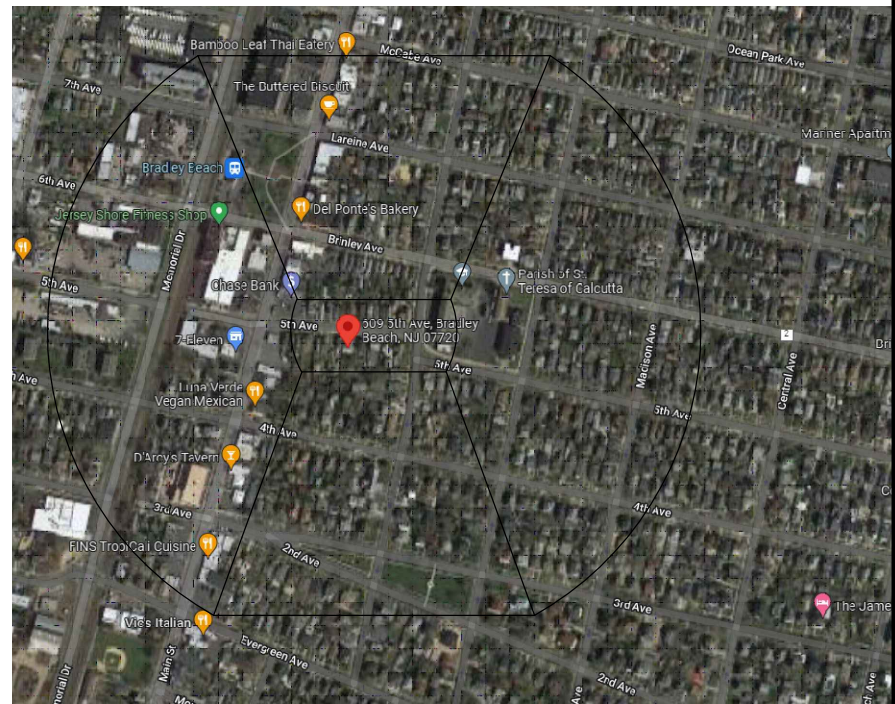
Monmouth County Planning Board
Hall of Records Annex
P.O. Box 1255
Freehold, NJ 07728



2
A-101
LAND USE TYPE MAP.



2
ST-101
WOOD FENCE DETAIL
N.T.S.



3
A-101
GENERAL KEY MAP (6,00 FT. RADIUS)

| NO | DATE | REVISION / ISSUE | ZONING REVISION |
|----|-----------|------------------|-----------------|
| 1 | 3-24-2022 | | |

M B Architectural Design & Consulting

MARTHA BRAZOBAN- Architect AIA

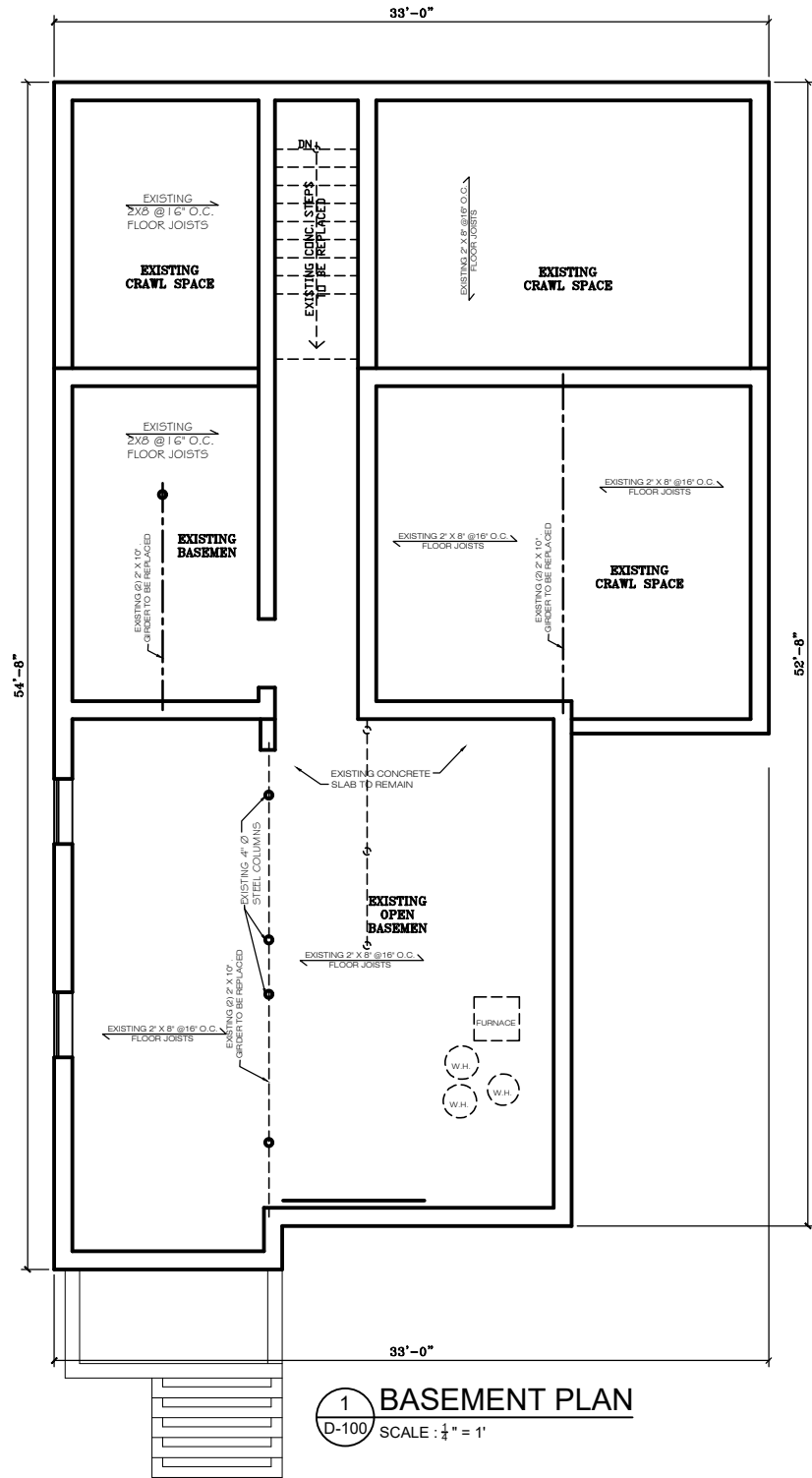
570 North Broad Street, Suite 15
Elizabeth, NJ 07208
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Fax: (908) 737-7596
<https://www.mbarchitecturaldesign.com/>
martha@mbarchitecturaldesign.com

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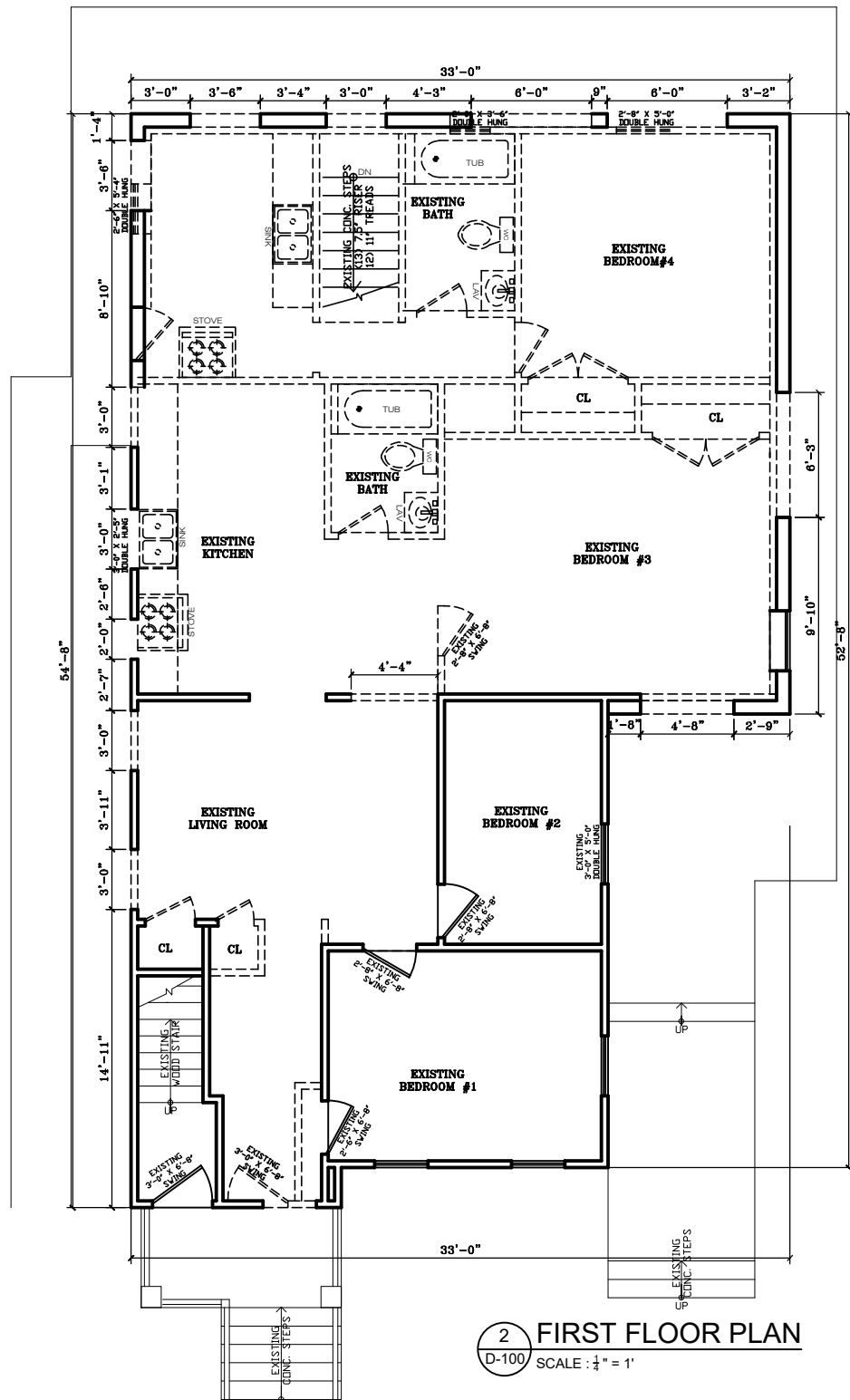
| |
|--|
| PROJECT |
| PROPOSED CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE |
| OWNER/CLIENT |
| ODETE MENDEZ |
| PROJECT LOCATION |
| 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK: 57 LOT: 9 |

| |
|---|
| DRAWING TITLE |
| LOCATION MAP, GENERAL NOTES, SITE PHOTOS AND SITE PLAN |
| DRAWN BY: S.S. |
| CHECKED BY: M.B. |
| SCALE: AS NOTED |
| DATE: 1-31-2022 |
| PROJECT NO: MBSS 22-002 |

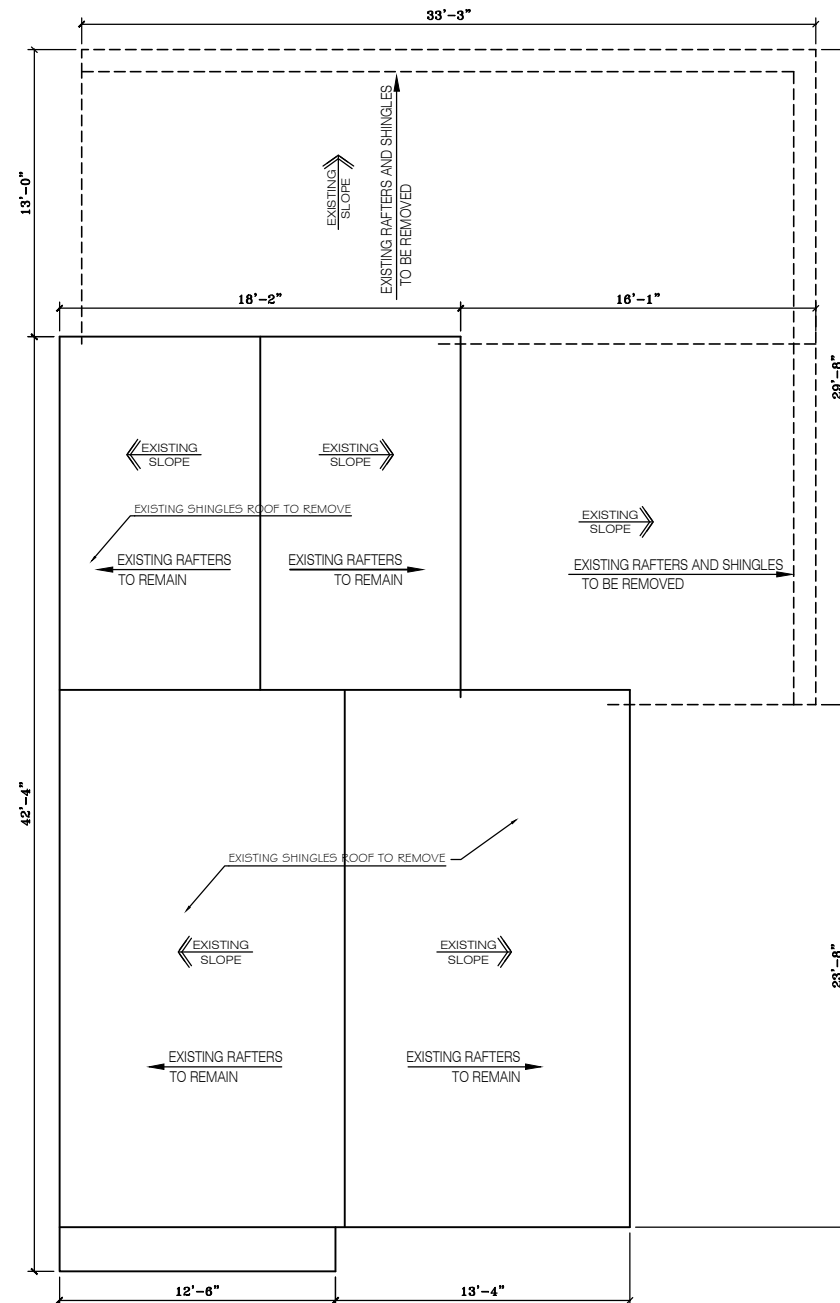
| | |
|---------|-----------|
| DWG NO: | SHEET NO: |
| ST-101 | 2 OF 12 |



1 BASEMENT PLAN
D-100 SCALE : $\frac{1}{4}$ " = 1'



2 FIRST FLOOR PLAN
D-100 SCALE : $\frac{1}{4}$ " = 1'



3 ROOF PLAN
D-100 SCALE : $\frac{1}{4}$ " = 1'

DEMOLITION NOTES:

1. ALL DEMOLISHED MATERIAL SHALL BE DISPOSED OF AT A LEGALLY APPROVED DUMP SITE AND REMOVED IN THE LEGALLY REQUIRED MANNER AS MANDATED FOR VARIOUS MATERIAL TYPES.

PROTECTION AND PRECAUTIONS:

1. MAINTAIN WEATHER PROTECTION FOR EXISTING STRUCTURE TO REMAIN.

2. ALL DEMOLISHED MATERIALS SHALL BE CONTINUOUSLY HAULED AWAY AND NOT BE ALLOWED TO ACCUMULATE.

3. PROVIDE ALL REQUIRED PROTECTIONS INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK.

4. STRUCTURAL DAMAGE TO REMAINING BUILDING SHALL BE IMMEDIATELY REPORTED TO OWNER AND SHALL BE REPAIRED AT THE DEMOLITION CONTRACTOR'S EXPENSE.

5. SURFACES TO REMAIN SHALL BE PROTECTED FROM DAMAGE.

6. G.C. SHALL PROVIDE LATERAL WALL SHORING AS REQUIRED.

CUTTING AND PATCHING:

7. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO MOVEMENT OR DAMAGE DURING CUTTING AND PATCHING.

8. AFTER UNCOVERING THE WORK, INSPECT CONDITIONS AFFECTING THE INSTALLATION OF NEW WORK.

9. IF UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE ARCHITECT AND SECURE NEEDED DIRECTIONS.

10. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.

11. PERFORM CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIR AND NEW WORK. PERFORM FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE FINISHED INSTALLATION COMPLYING WITH THE SPECIFIED TOLERANCES AND FINISHES.

12. ALL EXISTING ELECTRICAL FIXTURES, WIRING AND OUTLETS TO REMAIN UNLESS OTHERWISE NOTED.

13. ALL EXISTING PLUMBING FIXTURES, PLUMBING LINES, AIR VENTS TO REMAIN UNLESS OTHERWISE NOTED.

14. PROVIDE NEW ELECTRICAL SUB-PANEL IN SECOND FLOOR AS SHOWN ON PLANS. EXISTING ELECTRICAL PANEL TO REMAIN.

15. ALL EXISTING WINDOWS AND DOORS TO BE REMOVED UNLESS OTHERWISE NOTED.

| LEGEND | |
|--------|------------------------------------|
| | EXISTING FOUNDATION WALL TO REMAIN |
| | EXISTING WALLS TO BE REMOVED. |
| | EXISTING WINDOW TO REMAIN |
| | EXISTING WINDOW TO BE REMOVED |
| | RAILING |
| | EXISTING WALL TO REMAIN |

| REVISION / ISSUE | |
|------------------|------|
| NO | DATE |
| | |
| | |
| | |
| | |

| | |
|---|--|
| M.B. Architectural Design & Consulting | |
| MARTHA BRAZOBAN- Architect AIA | |
| 570 North Broad Street, Suite 15 Elizabeth, NJ 07208 Phone: (908) 316-5337 Fax: (908) 737-7596 https://www.mbarchitecturaldesign.com/ martha@mbarchitecturaldesign.com | |
| M.B. Architectural Design and Consulting, LLC NJ LICENSE/CERTIFICATE #2/AC30109200 | |
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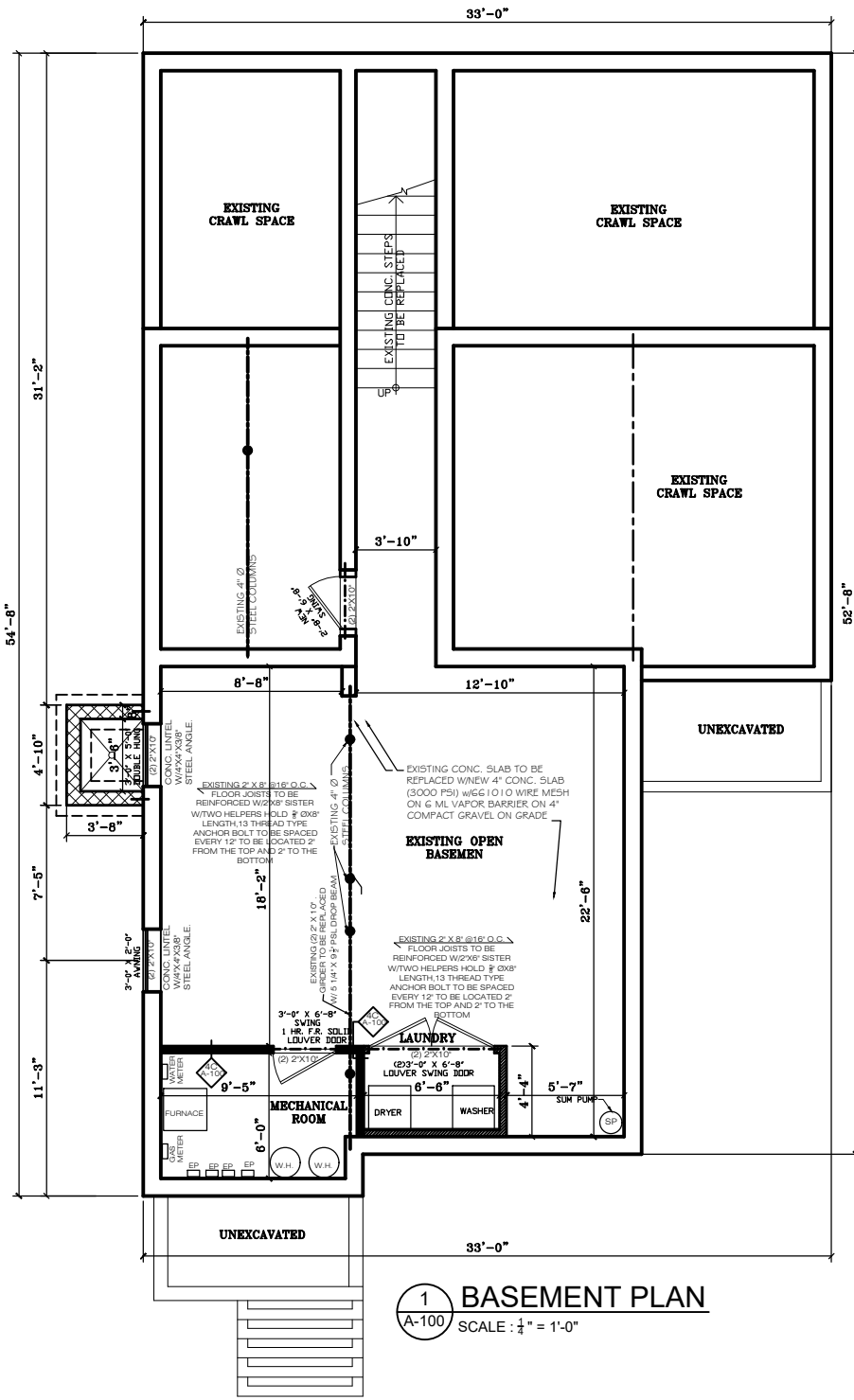
| PROJECT |
|---|
| PROPOSED CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE. |

| OWNER/CLIENT |
|--------------|
| ODETE MENDEZ |

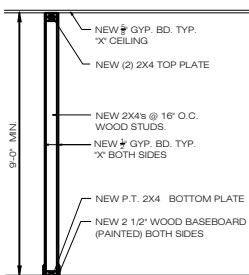
| PROJECT LOCATION |
|--|
| 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK: 57 LOT: 9 |

| DRAWING TITLE | |
|------------------|-------------|
| DEMOLITION PLANS | |
| DRAWN BY: | S.S. |
| CHECKED BY: | M.B. |
| SCALE: | AS NOTED |
| DATE: | 1-31-2022 |
| PROJECT NO: | MBSS 22-002 |

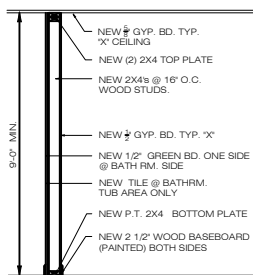
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|---------|-----------|
| DWG NO: | SHEET NO: |
| D-100 | 3 OF 12 |



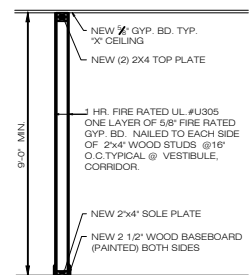
1 BASEMENT PLAN
A-100 SCALE: 1/4" = 1'-0"



A WALL TYPE @ INTERIOR
SCALE: N.T.S.

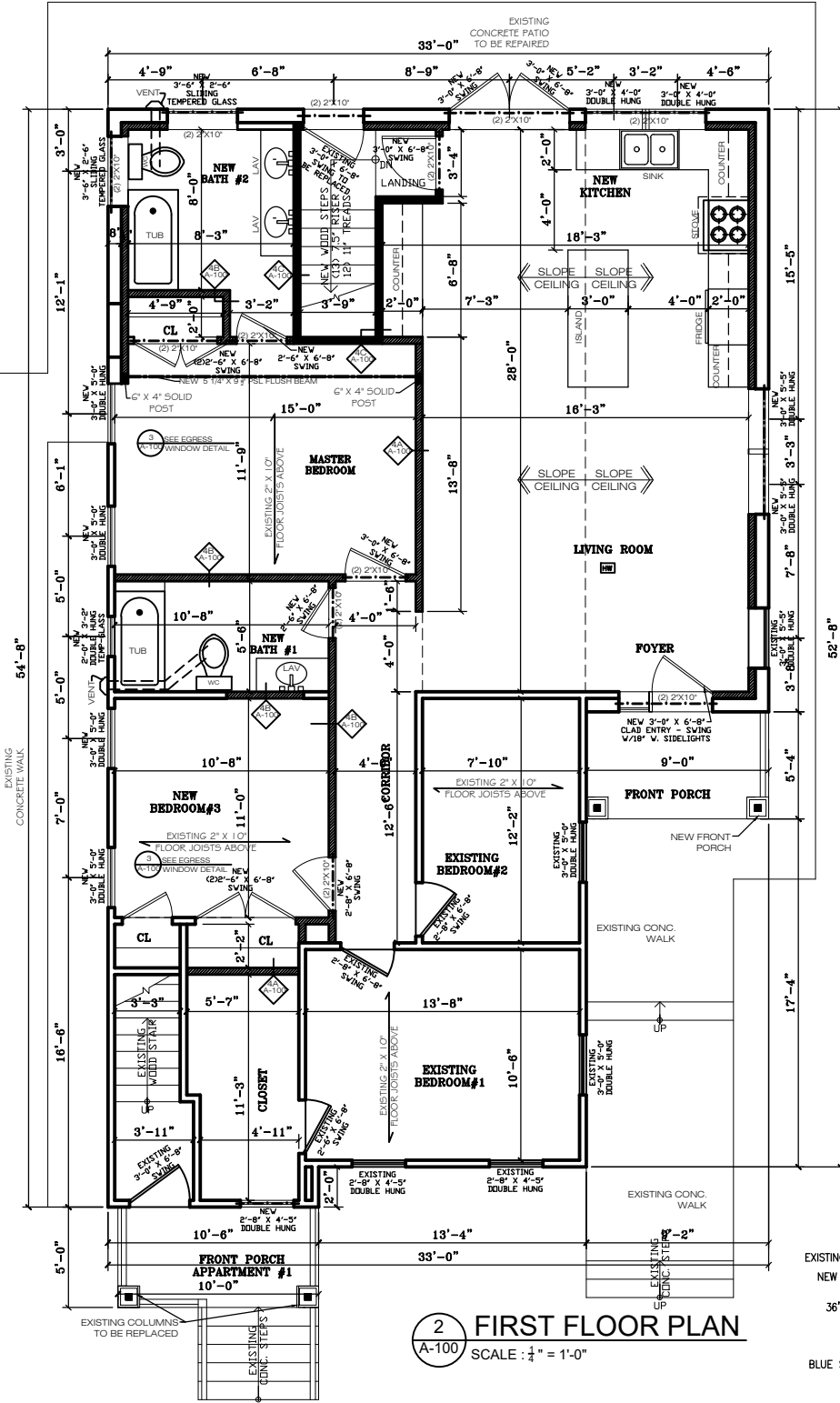


B WALL TYPE @ INTERIOR BAHT
SCALE: N.T.S.

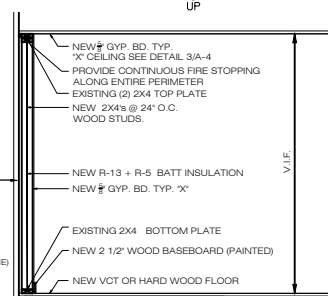


C WALL TYPE @ INTERIOR-1HR RATED
SCALE: N.T.S.

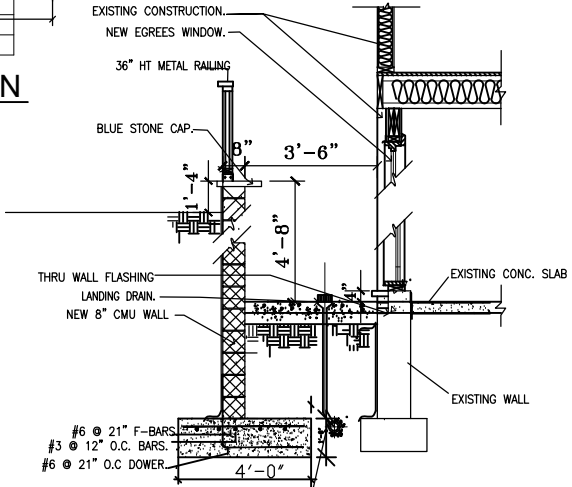
4 WALL TYPES
A-200 SCALE: N.T.S.



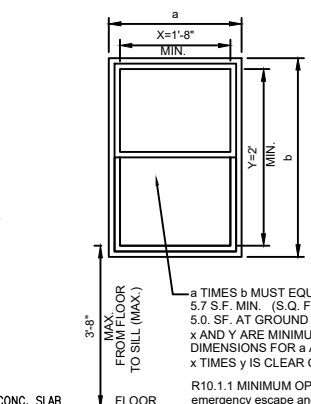
2 FIRST FLOOR PLAN
A-100 SCALE: 1/4" = 1'-0"



D WALL TYPE @ EXTERIOR
SCALE: N.T.S.



5 EGRESS WINDOW DETAIL
A-100 AT BASEMENT LOCATION
SCALE: N.T.S.



3 EGRESS WINDOW DETAIL
A-100 N.T.S.

LEGEND

- PLAN
- ELEVATION
- SECTION
- DETAIL

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW 2"x4" STUD WALL
- CONC. WALL
- NEW INTERIOR 2"x4" STUD WALL
- ONE HR RATED WALL
- WOOD POST
- HARD WOOD

STRAPPING NOTES:

1. PROVIDE HDU4-SDS2.5 SIMPSON HOLD-DOWNS AT LOCATIONS SHOWN ON 2/A-200 USE 1/2" DIA. ANCHOR BOLTS.

GENERAL NAILING SCHEDULE -
(WFCM - TAB. 2)

| JOINT DESCRIPTION | # OF COMMON NAILS | # OF BOX NAILS | # OF BOX NAILS |
|--|-------------------|----------------|----------------------|
| ROOF FRAMING | | | |
| BLOCKING TO RAFTER (TDE-NAILED) | 2 - 8d | 2 - 10d | EACH END |
| RIM BOARD TO RAFTER (END-NAILED) | 2 - 16d | 3 - 16d | EACH END |
| WALL FRAMING | | | |
| TOP PLATES @ INTERSECTIONS (FACE-NAILED) | 4 - 16d | 5 - 16d | AT JOINTS |
| STUD TO STUD (FACE-NAILED) | 2 - 16d | 2 - 16d | 24" O.C. |
| HEADER TO HEADER (FACE-NAILED) | 16d | 16d | 16" O.C. ALONG EDGES |
| FLOOR FRAMING | | | |
| JOIST TO SILL, TOP PLATE OR GIRDER (TDE-NAILED) | 4 - 8d | 4 - 10d | PER JOIST |
| BLOCKING TO JOIST (TDE-NAILED) | 2 - 8d | 2 - 10d | EACH END |
| BLOCKING TO SILL OR TOP PLATE (TDE-NAILED) | 3 - 16d | 4 - 16d | EACH BLOCK |
| LEADER STRIP TO BEAM OR GIRDER (FACE-NAILED) | 3 - 16d | 4 - 16d | EACH JOIST |
| JOIST ON LEDGER TO BEAM (TDE-NAILED) | 3 - 8d | 3 - 10d | EACH JOIST |
| BAND JOIST TO JOIST (END-NAILED) | 3 - 16d | 4 - 16d | EACH JOIST |
| BAND JOIST TO SILL OR TOP PLATE (TDE-NAILED) | 2 - 16d | 3 - 16d | EACH FOOT |
| ROOF SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| RAFTERS OR TRUSSES SPACED UP TO 16' O.C. | 8d | 10d | 6" EDGE / 6" FIELD |
| RAFTERS OR TRUSSES SPACED OVER TO 16' O.C. | 8d | 10d | 4" EDGE / 4" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/D GABLE OVERHANG | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/ STRUCTURAL OUTLETERS | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/ LOOKOUT BLOCKS | 8d | 10d | 4" EDGE / 4" FIELD |
| CEILING SHEATHING | | | |
| GYPSUM WALLBOARD | 5d COOLERS | - | 7" EDGE / 10" FIELD |
| WALL SHEATHING | | | |
| WOOD STRUCTURAL PANELS - STUDS SPACED UP TO 24" O.C. | 8d | 10d | 6" EDGE / 12" FIELD |
| 1/2" AND 5/8" FIBERBOARD PANELS | 8d | - | 3" EDGE / 6" FIELD |
| 1/2" GYPSUM WALLBOARD | 5d COOLERS | - | 7" EDGE / 10" FIELD |
| FLOOR SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| 1" OR LESS | 8d | 10d | 6" EDGE / 12 FIELD |
| GREATER THAN 1" | 10d | 16d | 6" EDGE / 6" FIELD |

| NO | DATE | REVISION / ISSUE |
|----|------|------------------|
| | | |

M.B. Architectural Design & Consulting

MARTHA BRAZOBAN- Architect AIA

570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 316-5337
Fax: (908) 737-7596
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martha@mibarchitecturaldesign.com

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PROJECT

PROPOSED
CONVERSION/RESTORATION AT
EXISTING THREE FAMILY HOUSE

OWNER/CLIENT

ODETE MENDEZ

PROJECT LOCATION

609 FIFTH AVE.
BRADLEY BEACH, N.J.
BLOCK: 57 LOT: 9

DRAWING TITLE

FLOOR PLANS, NAILING
SCHEDULE, WALL TYPES AND
DETAILS

DRAWN BY: S.S.

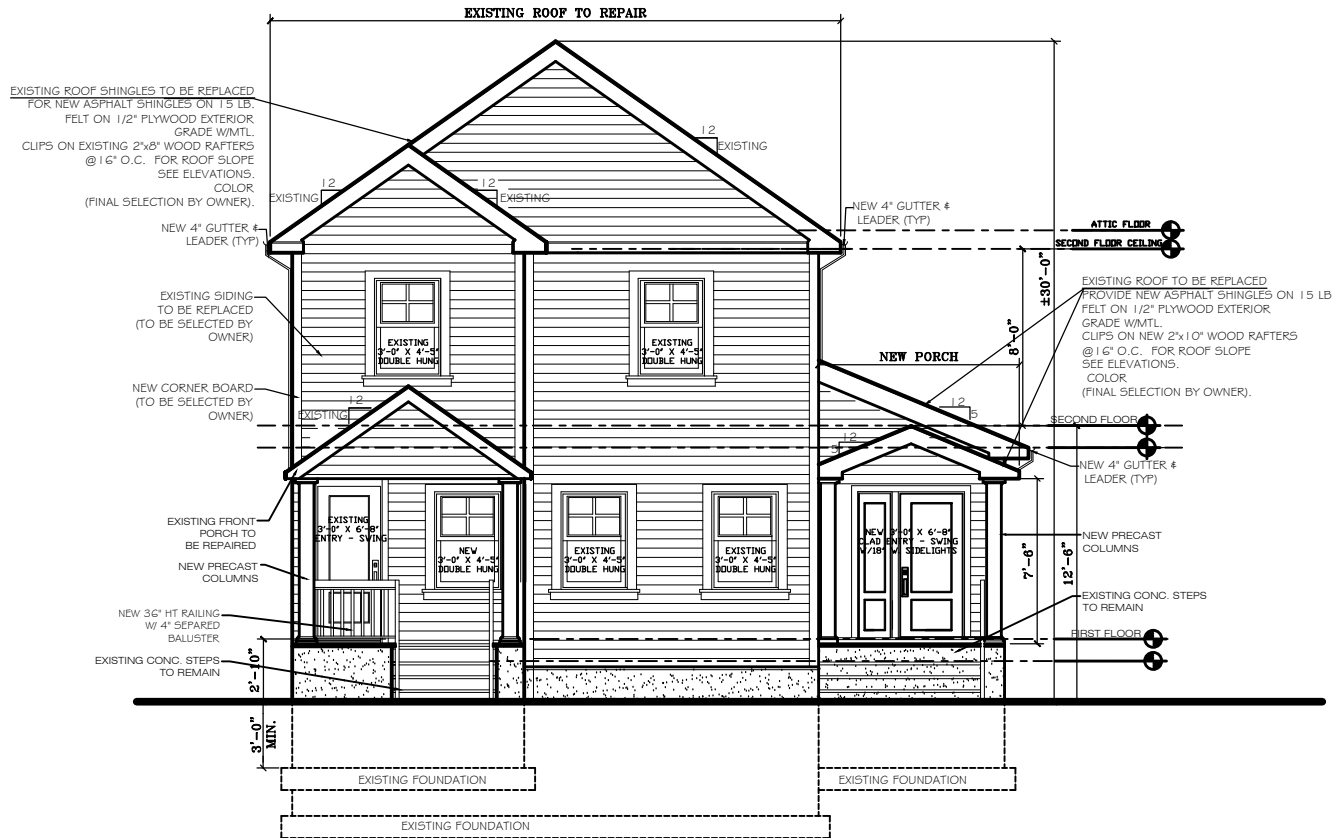
CHECKED BY: M.B.

SCALE: AS NOTED

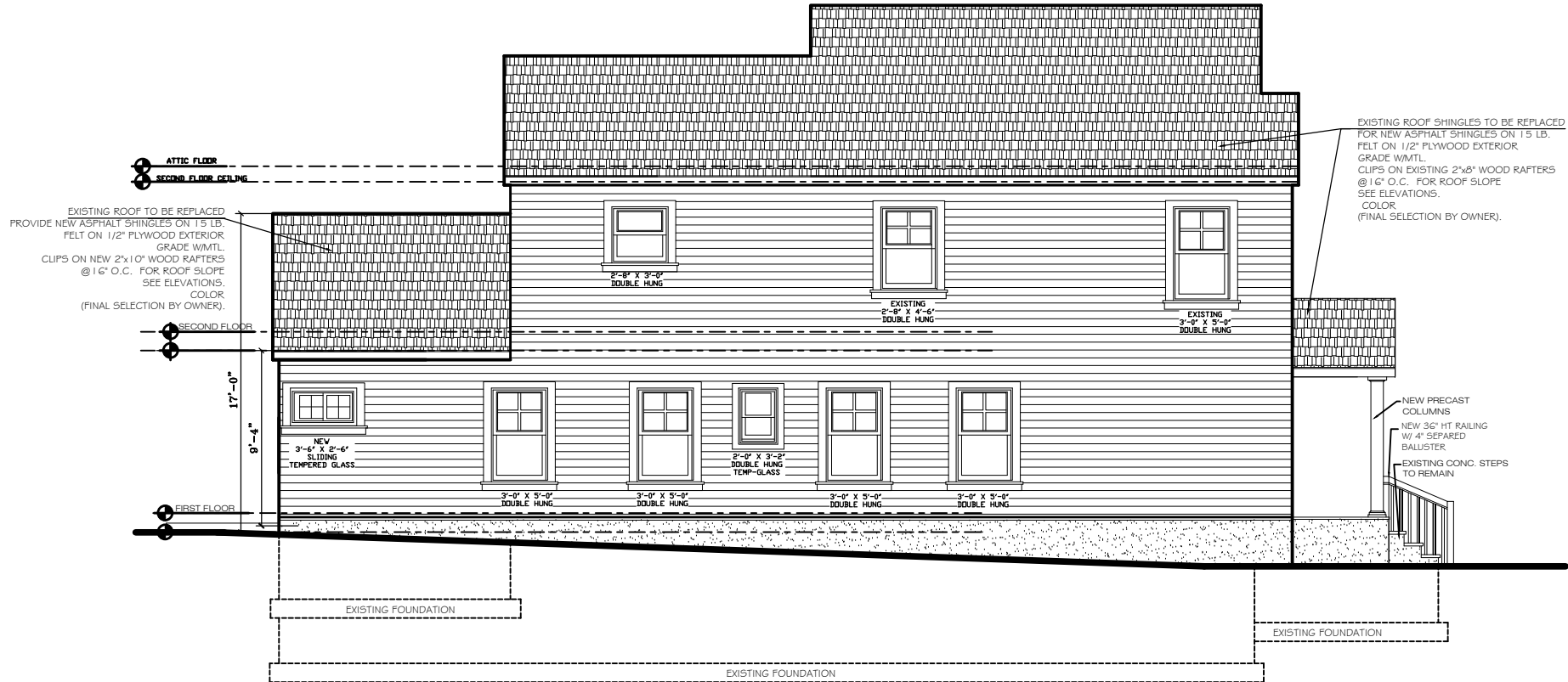
DATE: 1-31-2022

PROJECT NO: MBSS 22-002

| DWG NO: | SHEET NO: |
|---------|-----------|
| A-100 | 4 OF 12 |



1 FRONT ELEVATION
SCALE : $\frac{1}{4}'' = 1'$



2 RIGHT SIDE ELEVATION
SCALE : $\frac{1}{4}'' = 1'$

| REVISION / ISSUE | | DATE | | NO | |
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M.B. Architectural
Design & Consulting

MARTHA BRAZOBAN- Architect AIA
570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 318-5337
Fax: (908) 737-7596
<https://www.mbarchitecturaldesign.com/>
martha@mbarchitecturaldesign.com
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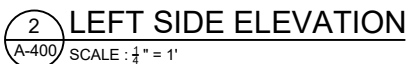
PROJECT
PROPOSED
CONVERSION/RESTORATION AT
EXISTING THREE FAMILY HOUSE

OWNER/CLIENT
ODETE MENDEZ

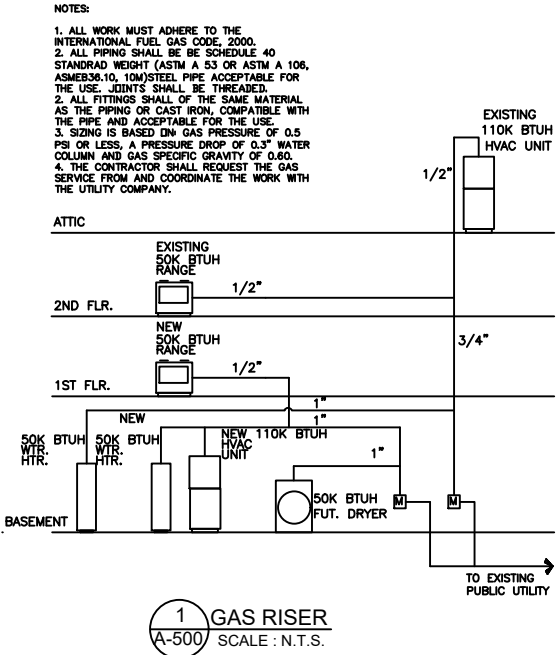
PROJECT LOCATION
609 FIFTH AVE
BRADLEY BEACH, N.J.
BLOCK: 57 LOT: 9

DRAWING TITLE
ELEVATIONS

DRAWN BY: S.S.
CHECKED BY: M.B.
SCALE: AS NOTED
DATE: 1-31-2022
PROJECT NO: MBSS 22-002



| | |
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| DWG NO: | SHEET NO: |
| A-400 | 7 OF 12 |



- HWH: 50,000 BTU
- HWH: 50,000 BTU
- HVAC: 110,000 BTU
- RANGER: 50,000 BTU
- RANGER: 50,000 BTU
- DRYER: 50,000 BTU

COMBUSTION AIR:
MECH ROOM BASEMENT):

ALL AIR FROM OUTDOORS THROUGH HORIZONTAL DUCTS.

50,000 + 50,000 + 110,000 = 210,000 BTU (TOTAL)
1 SQ. IN. FOR EVERY 2000 BTU. (REQUIRED).
210,000 BTU / 2000 BTU = 105.0 SQ. IN. (REQUIRED).
PROVIDE GALVANIZED DUCT PIPE. (INLET AND OUTLET PIPES)
MINIMUM 16" X 7". WITH FOUNDATION VENT AT THE END.
FOUNDATION VENT MODEL BVSII OR EQUAL. (15" X 8" X 2" DEEP)
FREE VENTILATION AREA FOR THIS MODEL: 75 SQ. IN.

LAUNDRY:

ALL AIR FROM OUTDOORS THROUGH WALL VENTS

(1) 50,000 BTU = 50,000 BTU (TOTAL) 50,000 / 1000 = 50 SQ. IN.
(PROVIDE LOUVER PANEL DOOR - TOP AND BOTTOM = 200 SQ. IN. N.F.A.
GREATER THAN REQUIRED (22 SQ. IN.).

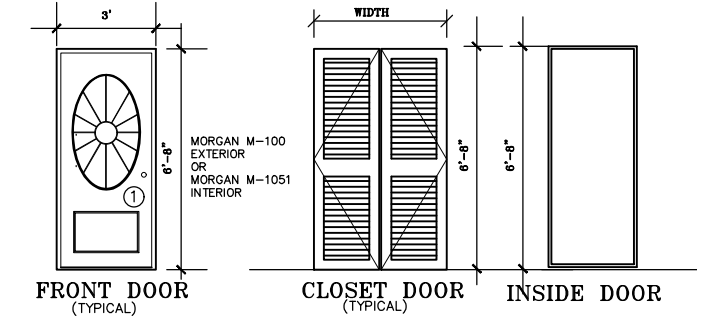
HVAC (ATTIC FLOOR):

ALL AIR FROM OUTDOORS THROUGH HORIZONTAL DUCTS.

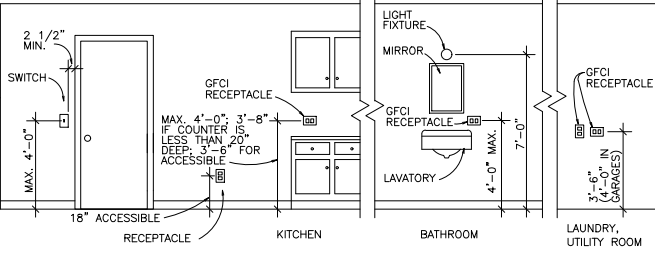
110,000 BTU (TOTAL)
1 SQ. IN. FOR EVERY 2000 BTU. (REQUIRED).
110,000 / 2000 = 55 SQ. IN.
PROVIDE GALVANIZED DUCT PIPE. (INLET AND OUTLET PIPES)
MINIMUM 16" X 7". WITH FOUNDATION VENT AT THE END.
FOUNDATION VENT MODEL FVGSBL OR EQUAL. (16" X 8")
FREE VENTILATION AREA FOR THIS MODEL: 40 SQ. IN.

ALL AIR FROM OUTDOORS THROUGH WALL VENTS

22,000 / 1000 = 22 SQ. IN.



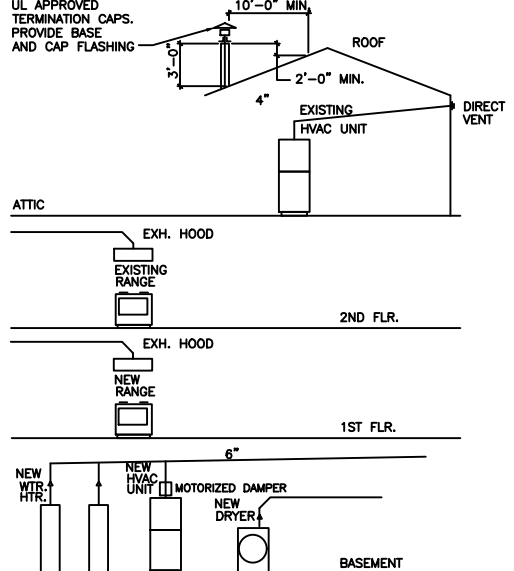
4 TYPICAL DOOR ELEVATION
A-500/N.T.S.



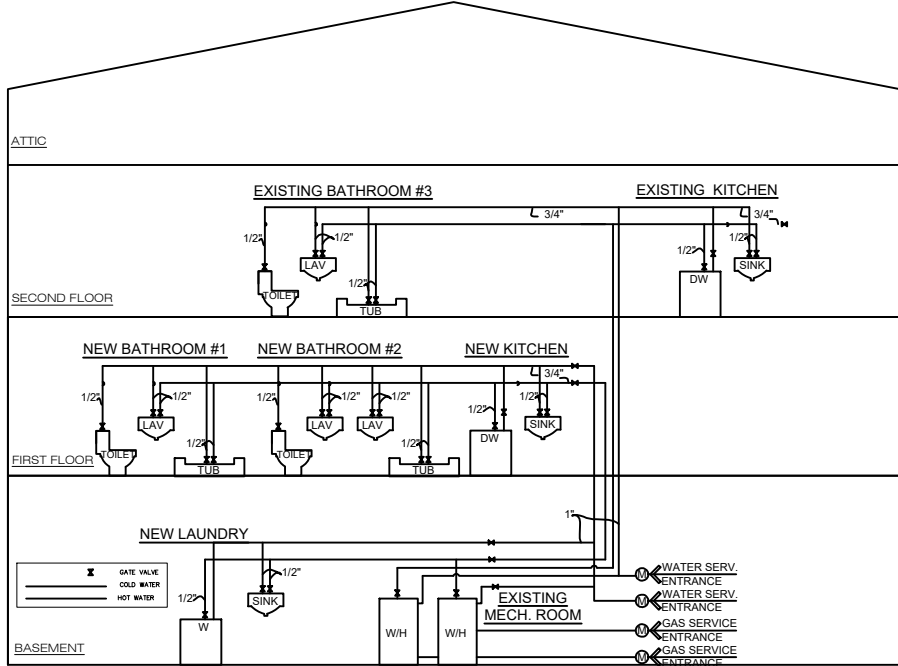
NOTE:
SMOKE DETECTOR &
CARBON MONOXIDE COMBO
DETECTORS SHALL BE
3'-0" MIN. AWAY FROM BATHROOMS

HOOD VENTILATION NOTE:
RANGE HOOD EXHAUST
INSTALLED AS PER
MANUFACTURER'S SPECIFICATIONS.

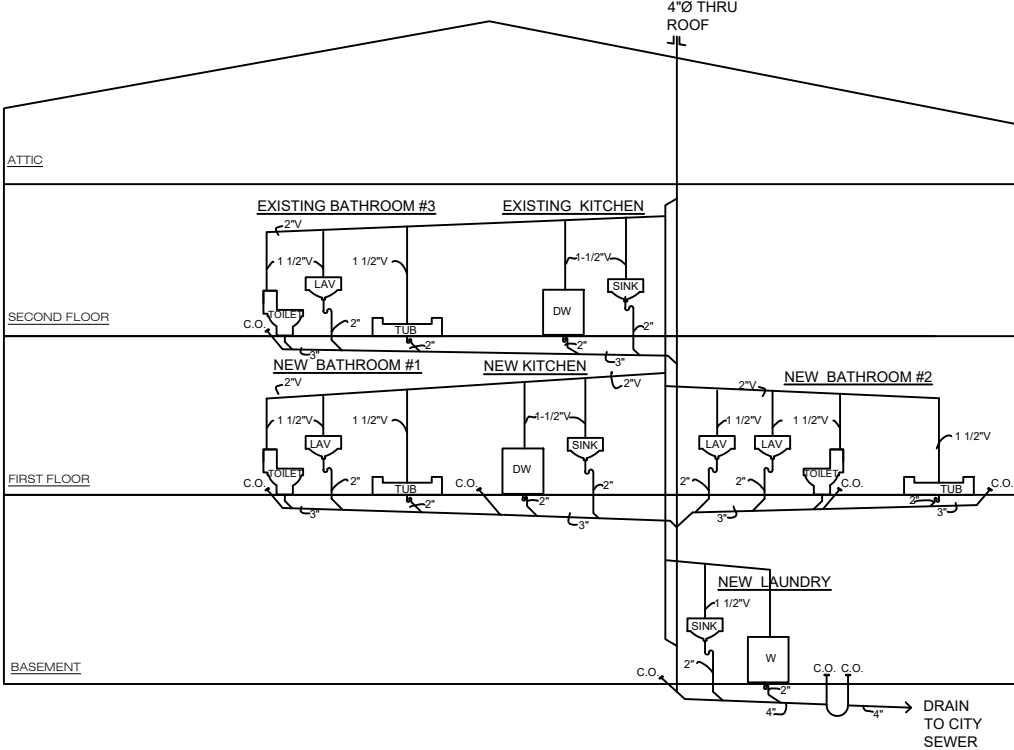
5 TYPICAL ELEC. OUTLETS HGHT. DISTRUBUTION
A-500/N.T.S.



2 EQUIPMENT VENTING RISER
A-500 SCALE: N.T.S.



3 WATER SUPPLY RISER DIAGRAM
A-500 SCALE: N.T.S.



6 PLUMBING RISER DIAGRAM
A-500 SCALE: N.T.S.

| REVISION / ISSUE | |
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Phone: (908) 316-5337
Fax: (908) 737-7596
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martha@mbarchitecturaldesign.com

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PROJECT

PROPOSED
CONVERSION/RESTORATION AT
EXISTING THREE FAMILY HOUSE

OWNER/CLIENT

ODETE MENDEZ

PROJECT LOCATION

609 FIFTH AVE
BRADLEY BEACH, N.J.
BLOCK: 57 LOT: 9

DRAWING TITLE

DIAGRAMS AND
DOOR ELEVATIONS

DRAWN BY: S.S.

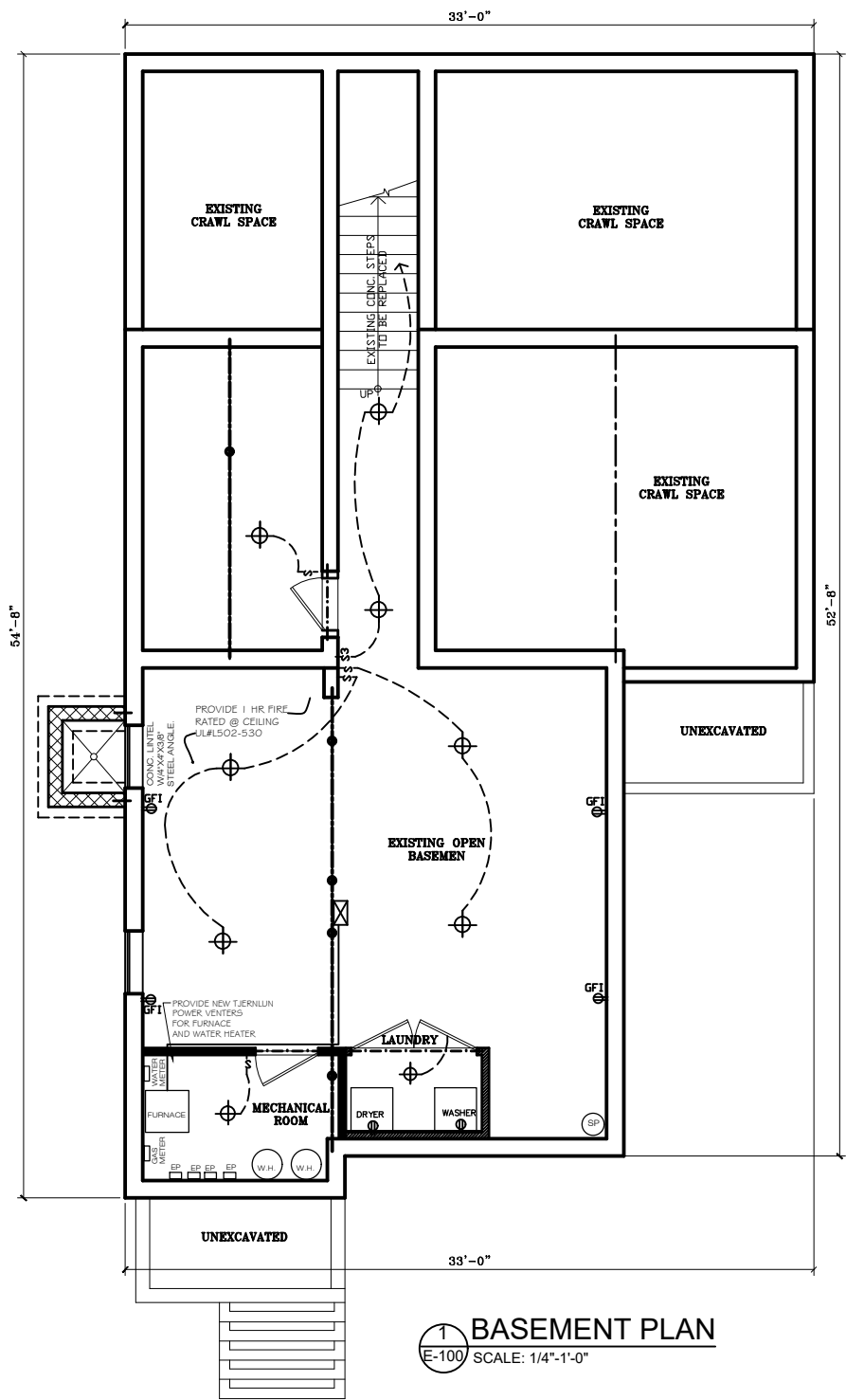
CHECKED BY: M.B.

SCALE: AS NOTED

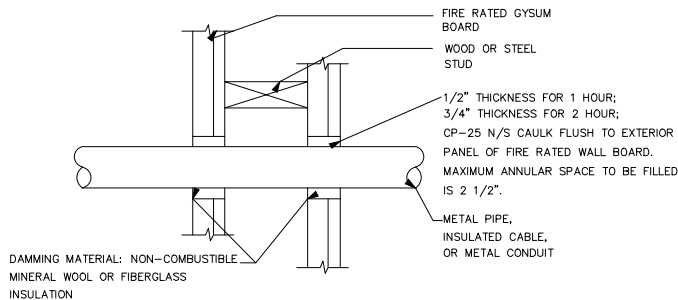
DATE: 1-31-2022

PROJECT NO: MBSS 22-002

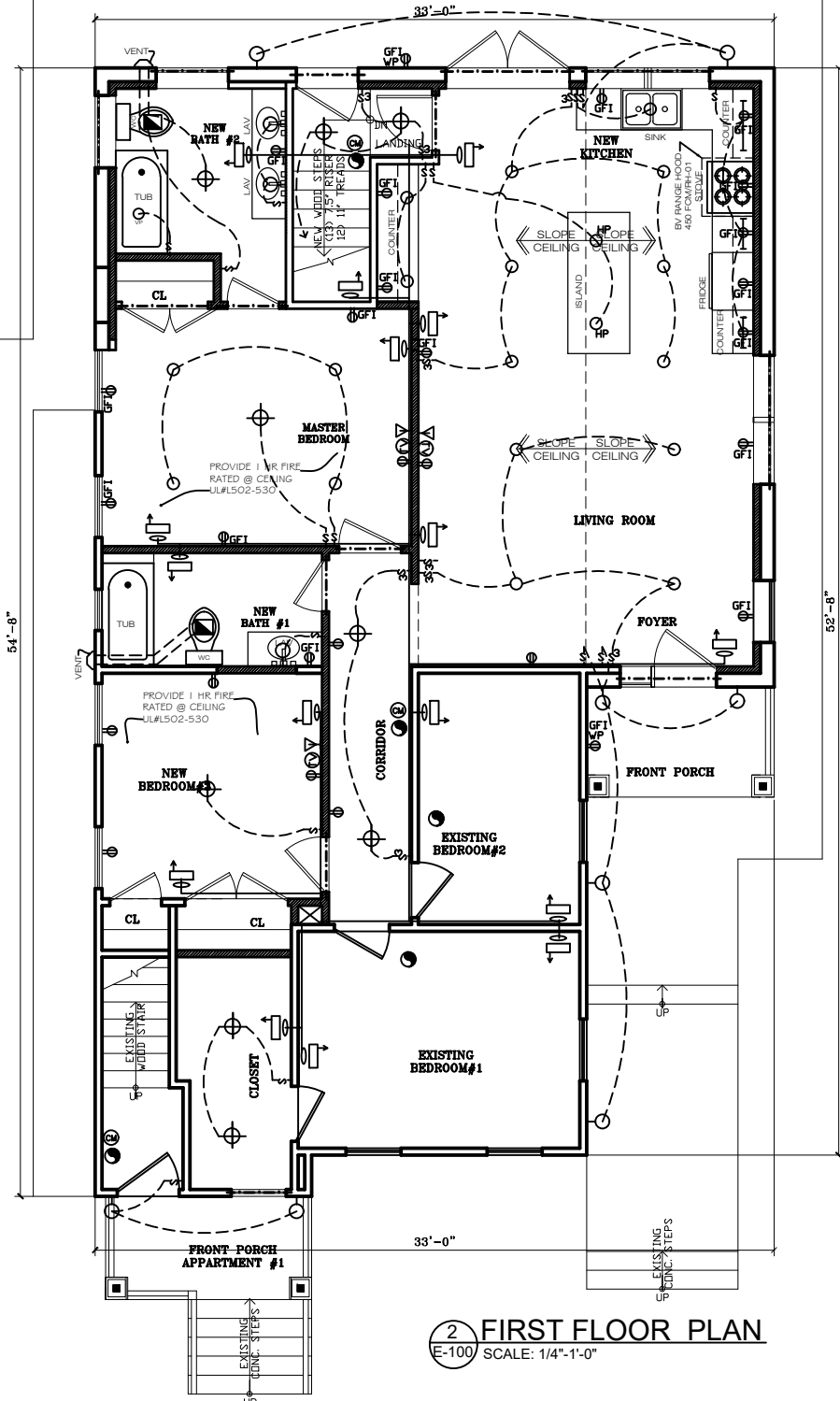
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| DWG NO: | SHEET NO: |
| A-500 | 8 OF 12 |



1 BASEMENT PLAN
E-100 SCALE: 1/4"=1'-0"



3 FIRESTOP OF PENETRATIONS
E-100 N.T.S.



2 FIRST FLOOR PLAN
E-100 SCALE: 1/4"=1'-0"

ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO BE INSTALLED ACCORDING TO REQUIREMENTS OF STATE AND LOCAL AUTHORITIES, PUBLIC SERVICE ELECTRIC AND GAS CO., AND THE CURRENT EDITION OF THE NATIONAL ELECTRIC CODE.
- CONTRACTOR SHALL VERIFY ON SITE ALL CONDITIONS AND MEASUREMENTS SHOWN ON THE DRAWINGS.
- ALL WIRING TO BE COPPER #12 MINIMUM THHN. PROVIDE CONDUITS AS REQUIRED BY CODE. ALL WIRING WITHIN BUILDING SHALL BE INSTALLED IN EMT 3/4" MINIMUM. WIRING GREATER THAN #12 TO BE TYPE RHW.
- PROVIDE GFI RECEPTACLES IN TOILETS.
- PROVIDE HIGH AND LOW VOLTAGE (CONTROL) WIRING, DISCONNECT SWITCHES, TIME CLOCKS, ETC. FOR HVAC UNITS. PROVIDE ALL RELATED TEMPERATURE CONTROLS AND WIRING.
- ALL CIRCUIT BREAKERS SHALL HAVE A MINIMUM A.I.C. RATING OF 10,000 RMS SYMMETRICAL AMPHERES. THE USE OF TANDEM OR DUPLEX BREAKERS IS NOT ACCEPTABLE.
- PROVIDE LUMINAIRES AS SCHEDULED, COMPLETE WITH LAMPS. ALL FLUORESCENT LAMPS TO BE OF THE LOW WATTAGE ENERGY SAVING TYPE 180 WATT HIGH OUTPUT MAIN IN BASEMENT. PROVIDE 400 WATT H.P.S. LIGHTING IN HIGH BAY AREAS.
- DUPLEX RECEPTACLES TO BE RATED AT 15 AMPS, 125 V HUBBELL #5262 OR EQUIVALENT. SINGLE POLE SWITCHES TO BE LEVITON #1101, 15 AMPS, 125 V. CONTRACTOR TO PROVIDE WALL PLATES. OWNER TO SELECT COLOR AND FINISH. 8 DUPLEX OUTLETS MAXIMUM PER CIRCUIT.
- COORDINATE ALL WORK WITH OTHER TRADES.
- CIRCUITS MAY BE GROUPED IN A SINGLE CONDUIT AT CONTRACTOR'S OPTION IN ACCORDANCE WITH THE N.E.C. CONCERNING MAXIMUM NUMBER OF CONDUCTORS IN TRADE SIZES OF CONDUIT OR TUBING. PROVIDE NEUTRAL PER N.E.C. CODE.
- PROVIDE EMERGENCY LIGHT, WIRING, AND EXIT LIGHTS AS SHOWN.
- THE INSTALLATION OF FIXTURES SHALL BE IN ACCORDANCE WITH FIXTURES MOUNTING DETAILS AS SHOWN ON THE DRAWINGS. WHEREVER THE INSTALLATION OF LIGHTING FIXTURES AS SHOWN IS IMPRACTICAL, THE CONTRACTOR SHALL INSTALL THE FIXTURES AT NEW LOCATIONS AS DIRECTED BY THE ARCHITECT/ OWNER.
- ALL CONDUITS SHALL BE IN ACCORDANCE WITH THE N.E.C. CODE BUT NOT LESS THAN 3/4" WHEN EXPOSED AND 1" WHEN CONCEALED. WHERE FIXTURES ARE SUPPORTED FROM CONDUIT THE MINIMUM SIZE OF CONDUIT SHALL BE 1" UNLESS OTHERWISE INDICATED.
- SWITCHES FOR CONTROLLING THE LIGHTS SHALL BE MOUNTED 4'-2" ABOVE FINISHED FLOOR AND LOCATED NEAR STRIKE PLATE OF DOOR REGARDLESS OF SWITCH POSITION SHOWN ON DRAWINGS.
- ALL CONDUITS SHALL BE GALVANIZED RIGID STEEL, UNLESS OTHERWISE NOTED.
- SPACING OF CONDUIT SUPPORTS SHALL NOT EXCEED THE MAXIMUM SPACING BAY THE N.E.C., UNLESS OTHERWISE NOTED.
- COORDINATE WITH OTHER TRADES AND INSTALL CONDUITS AND BOXES TO CLEAR PIPING, DUCTS, OPENINGS, ETC.
- PULL BOXES SHALL BE SIZED IN ACCORDANCE WITH THE N.E.C., UNLESS OTHERWISE INDICATED.
- ALL CONDUITS AND RACEWAYS SHALL BE ELECTRICALLY CONTINUOUS AND GROUNDED.
- ALL OUTLETS, JUNCTIONS AND PULL BOXES, SHALL BE PROVIDED WITH COVERS.
- ALL EXPOSED CONDUITS SHALL BE RUN PARALLEL TO BUILDING LINES.
- MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- WHERE CONDUIT TERMINATES TO A JUNCTION BOX, PULL BOX, CABINET, CONTROLLER, STARTER, DISCONNECT SWITCH OR PANELBOARD ENCLOSURE, IT SHALL BE PROVIDED WITH DOUBLE LOCK NUTS AND AN INSULATED GROUND BUSHING WITH A COPPER GROUND WIRE. THE GROUND WIRE SHALL BE BONDED TO THE CONDUIT AND TO THE EQUIPMENT ENCLOSURES. THE GROUND WIRE SHALL HAVE TWIN TYPE INSULATION. THE MINIMUM SIZE OF THE GROUND WIRE SHALL BE AS FOLLOWS:
A. LIGHTING CIRCUIT: NO. 12 AWG.
B. POWER CIRCUIT: NO. 12 AWG OR AS PERMITTED BY CODE, WHICHEVER IS HIGHER.

| ELECTRICAL SCHEDULE | | |
|---------------------|---------------------------------------|--|
| SYMBOL | DESCRIPTION | REMARKS |
| ⬇ | DUPLEX OUTLET / 20a / 110v | |
| GFI | GROUND FAULT CIRCUIT INT. | 20 AMP. SEP. CIRC. @ 6" ABOVE BACKSPLASH |
| ⊖ | SWITCHABLE DUPLEX OUTLET | |
| WP | WATERPROOF DUPLEX OUTLET | |
| \$ | SINGLE TOGGLE SWITCH 20a /120v | |
| \$3 | THREE-WAY TOGGLE SWITCH 20a /120v | |
| ⊗ | LIGHT FIXTURE / RECESSED | |
| ⊗ | INCANDESCENT LIGHT FIXTURE | |
| ⊗ | LIGHT FIXTURE / EXTERIOR WALL MOUNTED | |
| ⊗ | LIGHT FIXTURE / WALL MOUNTED | |
| ⊗ | LIGHT FIXTURE / WALL MOUNTED | |
| ⊗ | ELECTRIC EXHAUST FAN | 80 CFM / VENT TO EXTR. W/ 3" ~ DUCT |
| SD | SMOKE DETECTOR | 110v W/ BATTERY BACKUP / INTRCNCTD |
| EP | ELECTRICAL PANEL | |
| ▽ | TELEPHONE JACK | |
| ⊗ | TV OULET | |
| ⊗ | HEAT DETECTOR | |
| ⊗ | CARBON MONOXIDE DETECTOR | |

REVISION / ISSUE

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M.B. Architectural Design & Consulting

MARTHA BRAZOBAN- Architect AIA
570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 316-5337
Fax: (908) 737-7596
https://www.mbarchitecturalsdesign.com/
martha@mbarchitecturalsdesign.com

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PROJECT

PROPOSED
CONVERSION/RESTORATION AT
EXISTING THREE FAMILY HOUSE

OWNER/CLIENT

ODETE MENDEZ

PROJECT LOCATION

609 FIFTH AVE
BRADLEY BEACH, N.J.
BLOCK: 57 LOT: 9

DRAWING TITLE

ELECTRICAL / HVAC
FLOOR PLANS

DRAWN BY: S.S.

CHECKED BY: M.B.

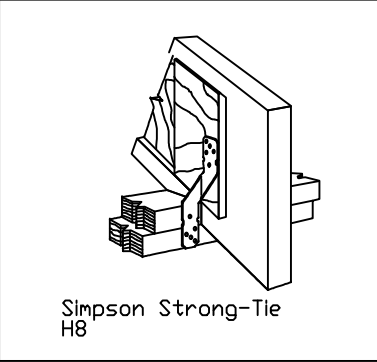
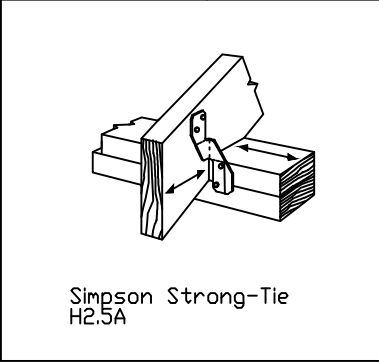
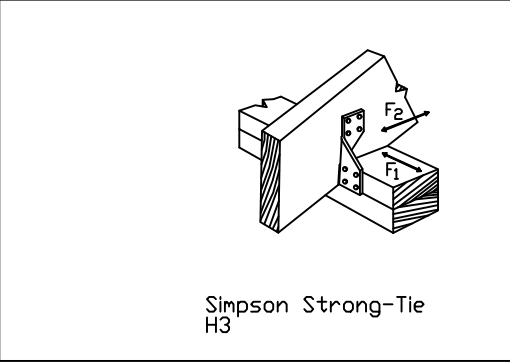
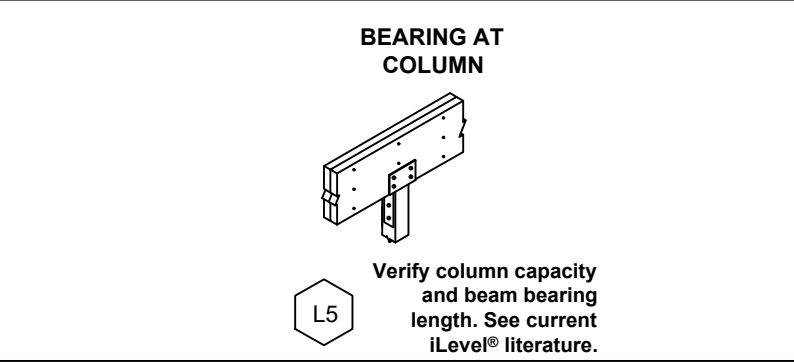
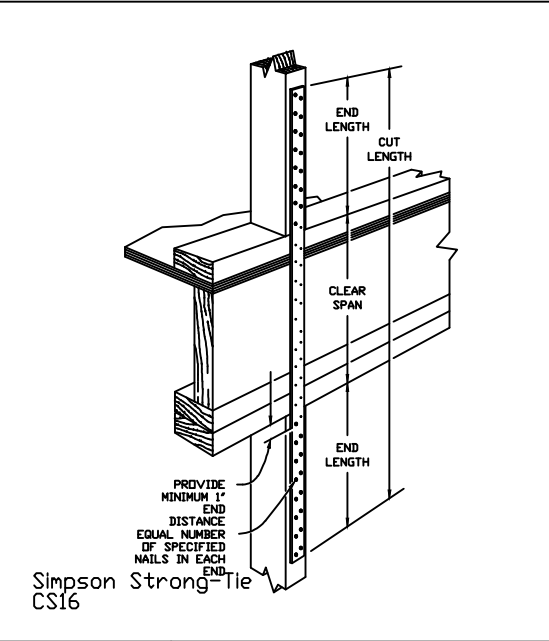
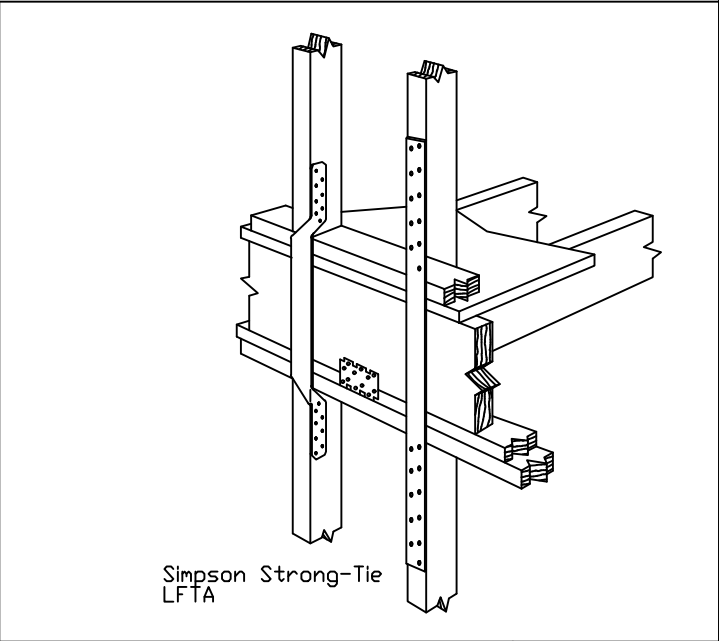
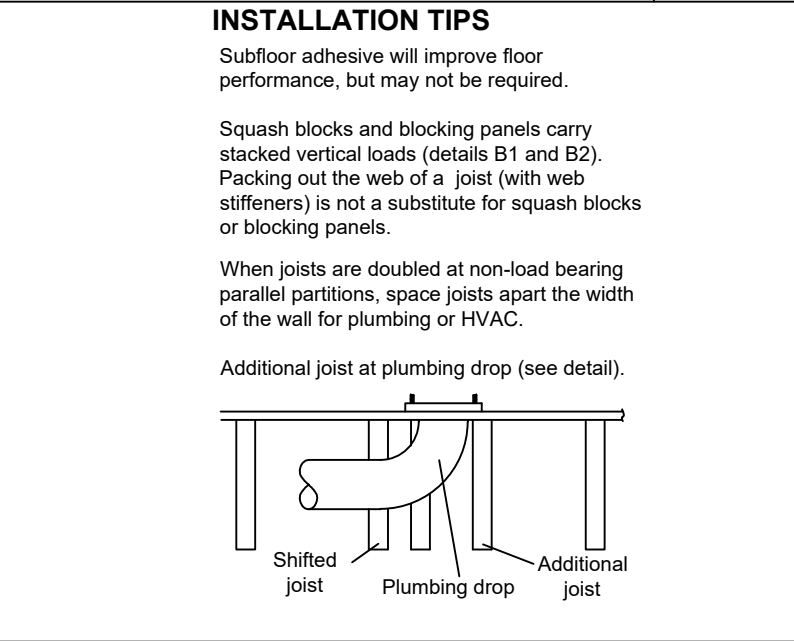
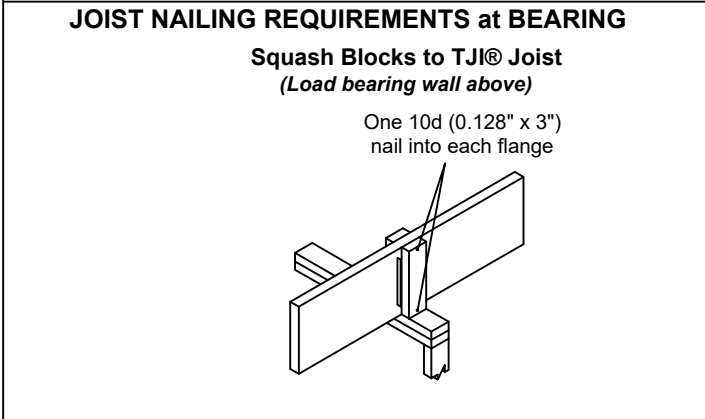
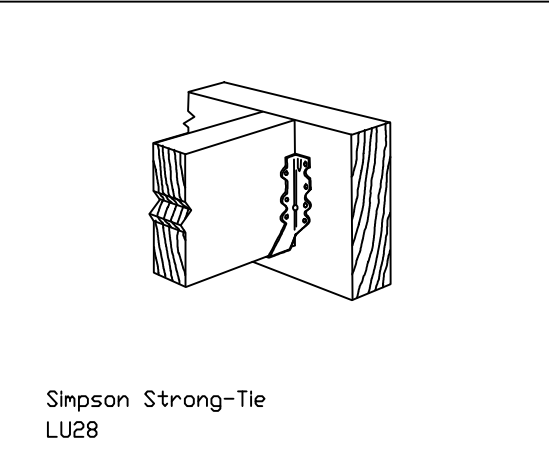
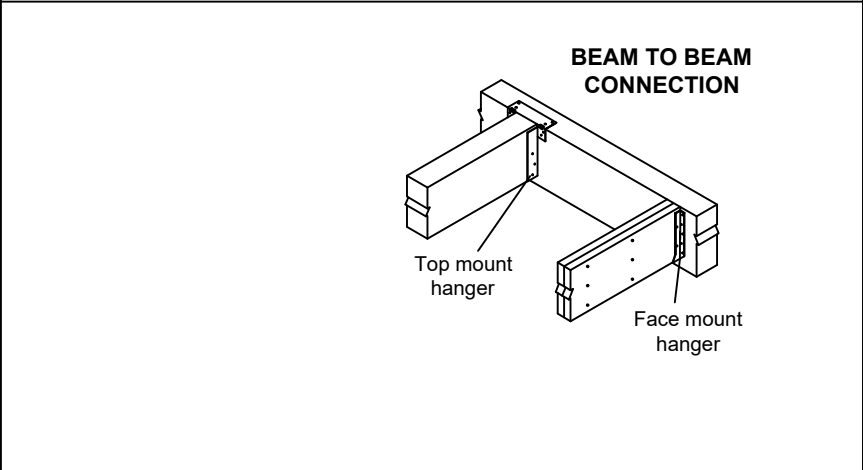
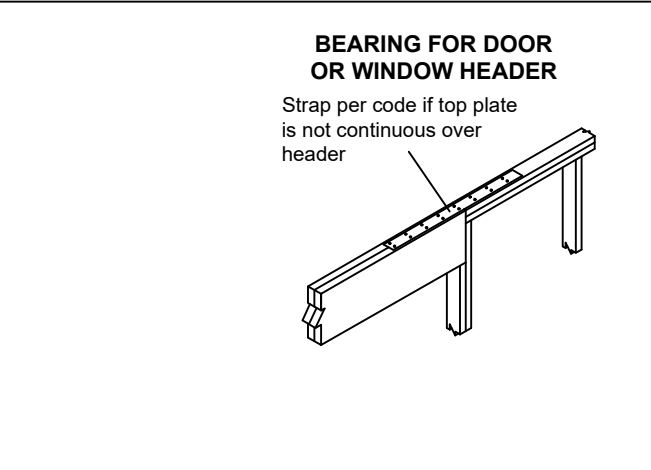
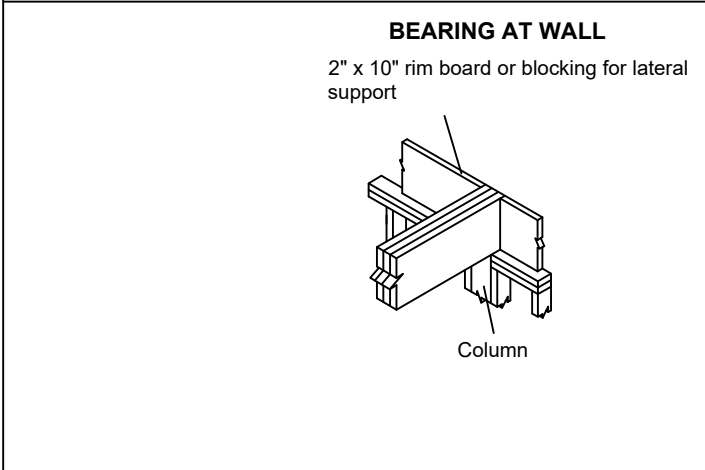
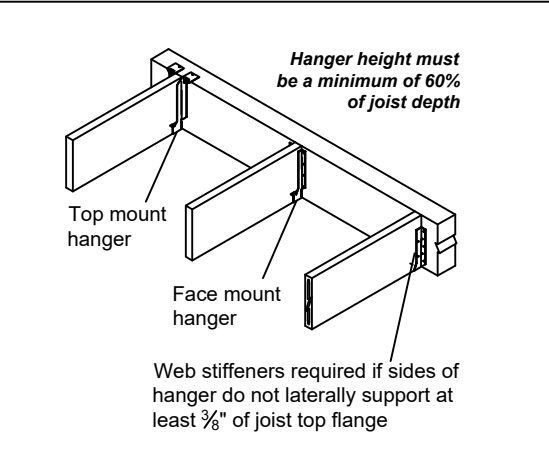
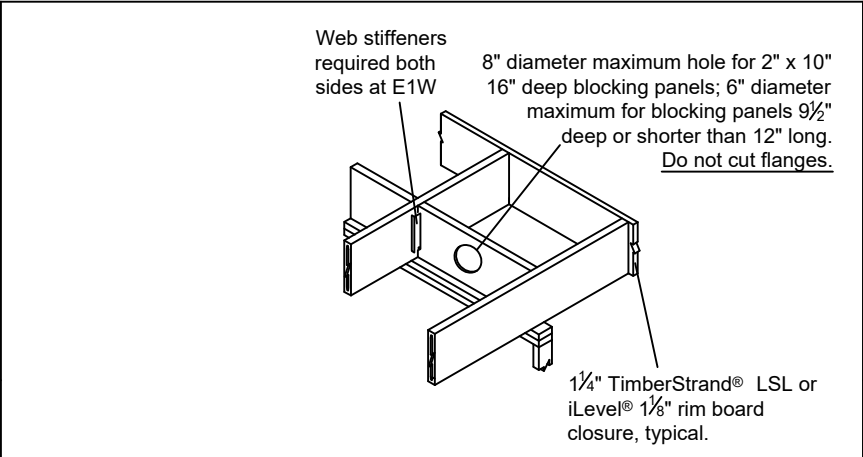
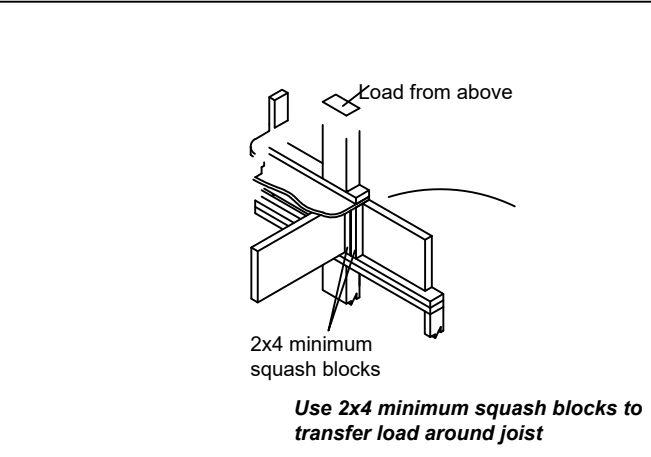
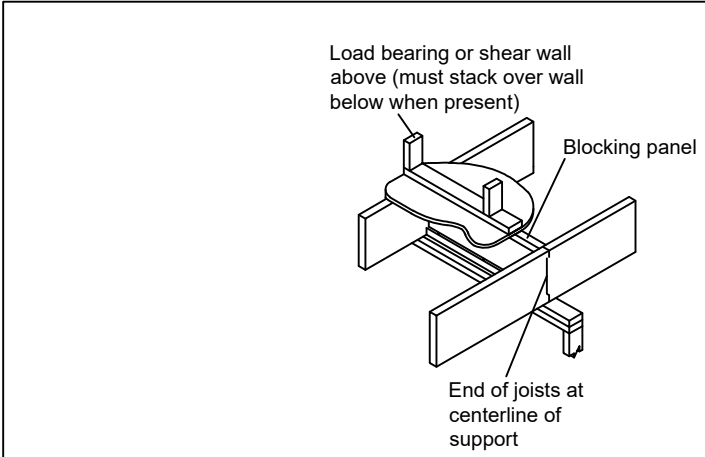
SCALE: AS NOTED

DATE: 1-31-2022

PROJECT NO: MBSS 22-002

DWG NO: SHEET NO:

E-100 9 OF 12



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M B

Architectural
Design & Consulting

MARTHA BRAZCOBAN- Architect AIA
570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 316-5337
Fax: (908) 737-7596
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| PROJECT |
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| PROPOSED CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE |
| OWNER/CLIENT |
| ODETE MENDEZ |
| PROJECT LOCATION |
| 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK: 57 LOT: 9 |

| DRAWING TITLE |
|-------------------------|
| STRUCTURAL DETAILS |
| DRAWN BY: S.S. |
| CHECKED BY: M.B. |
| SCALE: AS NOTED |
| DATE: 1-31-2022 |
| PROJECT NO: MBSS 22-002 |

| DWG NO: | SHEET NO: |
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| S-100 | 10 OF 12 |

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| DIVISION 1-GENERAL DATA | DIVISION 2-SITE WORK | |
| 01010 SUMMARY OF THE WORK | 02050 DEMOLITION | 05520 HANDRAILS AND RAILINGS |
| 1. It shall be the General Contractor's responsibility to provide all labor, material, equipment and services for the complete erection, fabrication, installation, testing and proper operation of the project as described in the contract documents or reasonably implied by same. | 1. The General Contractor is responsible for the removal of those parts of the existing structure as required, to facilitate installation of the intended improvements as well as grade walks, etc. | 1. Guardrails shall be installed in locations indicated on the drawings. Finish height of guardrail shall be 36" above the balcony. Balusters shall be installed at 4" O.C. spacing. Where no specific design is detailed, provide material allowance of \$50.00 per lineal foot.(Design,finish,type to follow) |
| 2. Provide all labor and material that may not be specifically indicated but is otherwise required to complete the installations indicated or reasonably implied. | 2. Removal of all debris and refuse from the site and dispose in accordance with applicable regulations. Observe any and all recycling ordinances. | 2. Unless otherwise noted, all metal components shall be fully welded, shop primed and finished with black alkylid paint. |
| 01015 SUMMARY OF DRAWING AND CONTRACT INTERPRETATION | 02070 SHORING AND BRACING | DIVISION 6-WOOD AND PLASTICS |
| 1. The General Contractor shall be responsible for the verification of all dimensions in the field and shall be responsible for the same in the event of a discrepancy or conflict with the contract documents. The General Contractor shall notify the Architect immediately of any discrepancy before commencing work. | 1. The General Contractor shall provide all shoring, sheet piling and bracing as required to retain earthwork and/or temporary support to the existing structure or construction in progress until the completed structural system, as designed, is permanently in place. | 06060 LIGHT GAUGE METAL FASTENERS |
| 2. All work shall be completed in accordance with the contract documents. No deviation, omission or addition permitted without prior written approval or prior authorization of the Architect. All questions and directions shall be addressed to the Architect if the project observation is part of the Architect's scope of work. | 2. See section 01050 Field Engineering. | 1. Provide all fasteners, metal hangers and connectors required for the intended installation. Any fasteners exposed to the exterior or in direct contact with pressure treated lumber shall be hot dipped galvanized or stainless steel. |
| 3. Large-scale drawings shall supplant smaller scale drawings. | 02100 SITE CLEARING | 06100 ROUGH CARPENTRY |
| 4. Unless otherwise noted, details drawn of a particular assembly are intended to represent similar conditions throughout the project. | 1. The General Contractor shall be responsible for clearing the site as required for the work as designed. Unless otherwise noted, all trees that are indicated for removal shall include the complete removal of stumps. All plant materials that are cleared for construction shall be taken from the site and disposed of lawfully. Topsoil shall be cleared, stockpiled and protected from erosion. The remaining site shall likewise be protected against excessive erosion as required by actual site conditions or the authority having jurisdiction. See Section 01050 Field Engineering. Where indicated on the drawings, provide temporary snow fencing around the trees and plants and not allow vehicles, equipment or construction materials to be parked/stored in these areas. | 1. Reference standard shall be the National Forest Products Association Design Specification for Wood Construction (latest edition) and the American Institute of Timber Construction Manual (latest edition). |
| 5. Do not scale drawings for dimensions. | 02720 STORM WATER DRAINAGE | 2. Whenever possible, the General Contractor shall coordinate the layout of structural framing with the location of built-in electrical fixtures indicated in the drawings. It is intended that the location of these fixtures take precedence over the location of structural framing. 'Plumber's boxes' may be used in certain locations only with prior approval of the Architect. |
| 6. Unless otherwise noted, dimensions are given from stud face to stud face or block face to block face. | 1. Any below grade storm water piping shall be SDR 35 PVC with sizes as indicated on the drawings. Pitch the pipes in accordance with the requirements of the National Standard Plumbing Code. All below grade piping shall be adequately supported by the sub-grade before backfilling. Wherever possible, piping shall be placed far enough below grade to prevent damage by future landscape work. Provide leader shoe and cleanout at all downspout connections. Where areas are indicated on the drawings, provide a bronze or cast iron floor drain with removable slotted cover. Bottom of drain box shall contain space for the accumulation of sediment. See drawings for location of outfalls from below grade drainage system. | 3. Details for dimensional lumber framing including but not limited to nailing, blocking, bridging and fire stopping shall conform to the referenced standards given. Unless otherwise noted, bridging shall be installed at a maximum of 8'-0" on center and shall be coordinated with mechanical work by other trades. Solid wood 'cattling' shall be installed at mid-height in stud walls greater than 8'-0" in height. |
| 01040 PROJECT COORDINATION | 2. Where downspouts are discharged directly on grade, provide pre-cast concrete splash blocks. Grade shall slope away from all structures. | 4. Framing lumber shall be comprised of the following grade and species for the specified use. All lumber shall be grade stamped by a recognized grading agency, surfaced dry; all lumber in contact with masonry shall be pressure treated. |
| 1. General Contractor shall coordinate the installation of all subcontracted work including that contracted separately by the Owner. Such work may include but not be limited to security system, telephone, carpeting, cabinetwork and landscaping. | DIVISION 3-CONCRETE | * Rafters and joists: Douglas Fir/Larch number two (or better). |
| 01050 FIELD ENGINEERING | 03310 CONCRETE WORK | * Studs and plates: Douglas Fir/ Larch stud grade. |
| 1. General Contracting shall provide any field engineering services required for the completion of this project. Such work shall include but not be limited to layout of new construction or additions, benchmark elevations, lines and levels. | 1. Reference standard shall be American Concrete Institute (A.C.I.) 318 (latest edition). | * Stringers and beams: Douglas Fir/Larch select structural. |
| 2. Verify if the authority having jurisdiction requires additional field engineering and provide it. The General Contractor shall provide copies of all documentation of it to the Owner and the Architect if project observation is part of the Architect's scope of work. Such documentation may include but not be limited to foundation survey and location plan, grading plan and soil conservation measures if not included as part of the contract documents. | 2. General Contractor shall provide a 3' concrete mud-sill in the bottom of all footings where concrete is not placed immediately after approval of excavation by the authority having jurisdiction. | * Wood blocking: Douglas Fir/Larch or Pine construction grade. |
| 3. The General Contractor shall provide any structural calculations and design associated with shoring, bracing or formwork. Such work is specifically excluded from the contract documents and is part of the General Contractor's means and methods of construction. | 3. Unless otherwise noted, all concrete shall be 3,500-psi ultimate compressive strength at 28 days made with normal weight stone aggregate. Footings shall be formed as conditions require or as indicated on the drawings. | * Pressure treated lumber: Suitable for contact with the ground (40 pcf). |
| 01060 REGULATORY REQUIREMENTS | 4. All grout shall be non-shrinking type with a minimum compressive strength of 4,500 psi. | 5. Plywood shall be grade stamped by the American Plywood Association for the required span. It shall be made with exterior glue and in the following thickness for the specified use: |
| 1. The contract documents were prepared in accordance with the Uniform Construction Code of the State of New Jersey. The General Contractor shall conform to this code and other applicable local, county, state and federal regulations. | 5. Reinforcing steel shall be deformed bars of new material conforming to American Society of Testing Materials (A.S.T.M.) A615, Grade 60. The size and spacing of bars shall be as indicated on the drawings. Provide chairs or similar means to locate reinforcing. Unless otherwise noted, concrete coverage of reinforcing steel shall be 3". | * Roof and wall: 1/2" CDX. |
| 2. The building sub-code to be referenced for this project is IRC 1996 including all amendments contained within the Uniform Construction Code. | 6. Welded wire fabric shall conform to A.S.T.M. A185 with a minimum tensile strength of 170,000 psi. | * Floors other than attic: 3/4" T&G 'sturdy-floor' glued with B.F. Goodrich PL400 or equal and fastened with ring shank nails. |
| 3. The General Contractor shall apply and pay for all permits required by the State of New Jersey and the authority having jurisdiction. The General Contractor shall arrange for and coordinate all required inspections. | 7. Provide the minimum temperature reinforcing required by A.C.I. 318 in all concrete slabs where no specific reinforcing is indicated. | * Attic floors: 5/8" CDX. |
| 4. The General Contractor shall make all contacts and connections with the local utilities and pay all required fees. In addition, the General Contractor shall call for all required utility mark-outs. | DIVISION 4-MASONRY | * Sheathing below fiberglass deck underlayment: 3/4" T&G 'sturdy-floor', see Section 07535 Fiberglass Membrane. |
| 01090 DEFINITIONS AND STANDARDS | 04210 CONCRETE MASONRY UNIT | * Curved surfaces: two layers 1/4" bendable CDX. |
| 1. See each section for additional information. | 1. Reference standards shall be the National Concrete Masonry Association (N.C.M.A.) Tek Manual for Concrete Masonry Design and Construction and A.S.T.M. C90 (latest edition). | 6. Wood 1" joists, laminated veneer lumber (LVL), parallel strand lumber (PSL) shall be manufactured by Trus-Joist MacMillan Corporation, in the sizes and grade indicated on the drawings. Unless otherwise noted, 'Paralan' shall be 2.0E ES and 'Microlan' (ML) shall be 1.9E. |
| 2. Use an adequate number of skilled workers who are thoroughly trained in the trades required to complete the work contained within the contract documents to a standard of care acceptable to the Owner and Architect. | 2. All concrete masonry units shall be load-bearing normal weight crushed stone or gravel aggregate moisture controlled block conforming to A.S.T.M. C90 (latest edition) Type 1, Grade N. Unless otherwise noted, provide 'bur-o-wall' nine gauge horizontal joint reinforcement at 16" on center vertical spacing. | Provide all required metal connectors as manufactured by Simpson Strong Tie Company, Inc. Unless otherwise noted, follow all manufacturer required nailing patterns and recommendations. All products shall be installed in accordance with the details given in the residential products brochure published by Trus-Joist MacMillan. |
| 01300 SUBMITTALS | 3. Mortar shall conform to A.S.T.M. C270 of the following types: | The General Contractor shall coordinate the work of other trades with respect to cutting and drilling structural members, again in strict accordance with manufacturer recommendations. |
| 1. See each section for requirements. | * Type M-for retaining walls and foundations in contact with the earth. | 06200 FINISHED CARPENTRY |
| 01500 TEMPORARY FACILITIES | 4. Where the drawings require that hollow masonry blocks be filled, use mortar or grout with a comprehensive strength of 4,000 psi in accordance with A.S.T.M. C476, and installed in accordance with A.C.I. 531 for low lift procedures. | Reference standard shall be Architectural Woodwork Institute (A.W.I.) Quality Standards Illustrated (latest edition). |
| 1. The General Contractor shall provide temporary utilities including telephone and portable toilet for the duration of the project. | 5. Coordinate masonry work with all trades requiring work to be built in place including but not limited to windows and doors, pipes, conduits and bean seats. | 1. Interior trim lumber shall be comprised of the following grade and species for the specified use. All lumber shall have moisture content between 6% and 11%. |
| 2. Protect all areas where work is not taking place. | DIVISION 5-METALS | 2. Maintain temperature and humidity conditions during fabrication, storage, installation and finishing. Acclimate all interior trim lumber and do not install it until temperature and humidity have been stabilized and can be consistently maintained. |
| 01700 CLEANING | 05120 STRUCTURAL STEEL | * Standing and running trim: All painted trim shall be clear poplar or finger jointed pine. All lumber shall be completely primed on all sides with alkylid primer before installation. (see : molding schedules for specs,sizes,types) |
| 1. The General Contractor is to maintain the site and building in a reasonably orderly condition and keep it free from accumulation of refuse. The General Contractor shall comply with all local regulations concerning disposal of construction debris and recycling. | 1. Reference standard shall be the American Institute of Steel Construction (A.I.S.C.) Steel Construction Manual (latest edition). | 3. See drawings for details and additional requirements. All interior trim assemblies made from flat or rectangular trim including mitered door and window casings in excess of three inches shall be biscuit jointed and glued. Interior trim shall be installed to minimize the number of end joints. All work shall be made wherever possible to minimize shrinkage, visibility and opening of joints. |
| 2. Provide progress cleaning in areas (if any) of the project that are to be occupied during construction. | 2. Structural steel shall conform to A.S.T.M. specifications for the following type(s): | 4. Exterior trim shall be comprised of the following grade and species for the specific use. All lumber shall have moisture content of 9% to 13%. |
| 3. Provide a final cleaning using skilled workers, cleaning materials and procedures, which are compatible with all built-in materials to the satisfaction of the Owner. The site shall be cleaned of any remaining construction debris with all paved areas and walks broom cleaned. | * A.S.T.M. A36 - including but not limited to lintels, beams, flitch plates and columns (except pipe and tubular columns). | * Flat trim boards: exterior grade cedar, or alternate describe in the specification. |
| 01730 OPERATION AND MAINTENANCE DATA | * A.S.T.M. A53 Type S, Grade B - structural pipe. | * All exterior profiles, shapes and sizes shall be to match existing. |
| 1. The General Contractor shall instruct the Owner in the operation of all mechanical equipment that is intended to be owner-operated or adjustable. | * A.S.T.M. A501 - structural tubing. | |
| 2. Shall acquire, maintain and provide the DYNER WITH all manuals, instructions, service schedules, warranties and product literature for any equipment installed as part of the project. | 3. Connections shall be designed to develop the full strength of the member over the required span. | |
| | 4. Filled connections shall be made with minimum 3/4" diameter high strength bolts conforming to A.S.T.M. A325 or A490 or welded. | |
| | 5. Anchor bolts shall be hot dipped galvanized or stainless steel conforming to A.S.T.M. A307 standards. Unless otherwise noted, anchor bolts shall be 1/2" x 16" long and spaced at a maximum of 6'-0" on center with a minimum of two bolts per section of foundation wall. | |
| | 6. All structural steel shall be shop primed with Tnemec 10-99 or equal. Beams shall be supplied with top and bottom flanges drilled at 2'-0" on center to accept 1/2" diameter bolts for attaching wood plates. | |

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|  | <p>Architectural Design & Consultin</p> |
| <p>MARTHA BRAZOBAN- Architect AIA</p> | |
| <p>570 North Broad Street, Suite 15 Elizabeth, NJ 07208 Phone: (908) 316-5337 Fax: (908) 737-7596 https://www.mbarchitecturaldesign.com/ martha@mbarchitecturaldesign.com</p> | |
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| PROJECT |
| PROPOSED CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE |
| OWNER/CLIENT |
| ODETE MENDEZ |
| PROJECT LOCATION |
| 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK:57 LOT:9 |

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| DRAWING TITLE | |
| SPECIFICATIONS | |
| DRAWN BY: | S.S. |
| CHECKED BY: | M.B. |
| SCALE: | AS NOTED |
| DATE: | 1-31-2022 |
| PROJECT NO: | MBSS 22-002 |

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| DWG NO: | SHEET NO: |
| SP-100 | 11 OF 12 |

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| DIVISION 7-THERMAL AND MOISTURE PROTECTION | DIVISION 10-SPECIALTIES | DIVISION 16- ELECTRICAL |
| | | |
| 07160 DAMP PROOFING | 10600 TOILET AND BATHROOM ACCESSORIES | 15600 HEATING VENTILATION AND AIR CONDITIONING (H.V.A.C.) |
| 1. Use Karnak #100 non-fibrated emulsion damp proofing. Surfaces shall be free from oil, dirt, laitance and other substances, which may impede adhesion of damp proofing. Repair all cracks or holes 1/4" in width or less with Karnak #920 or #925 trowel grade emulsion and #31 fiberglass membrane or #3036 Polymat before applying surface coat. Coverage shall be at the rate of three gallons ± per 100 square feet. Allow film to cure 48 hours before backfilling. Do not apply when rain is imminent and protect from freezing. | 1. The General Contractor shall provide solid blocking in all new bathrooms for accessories that will be provided by same. | |
| 07190 VAPOR BARRIER | 10820 TUB AND SHOWER DOOR AND ENCLOSURES | 16400 GENERAL ELECTRICAL WORK |
| 1. Provide 6 mil polyethylene where indicated. All seams shall be lapped a minimum of 1'-0". | 1. The General Contractor shall provide a polished chrome rod with chrome hooks at each tub/shower combination. | |
| 07200 INSULATION | 10900 CLOSET SPECIALTIES | 16400 GENERAL ELECTRICAL WORK |
| 1. Insulating materials shall be comprised of the following for specific use: | 1. The General Contractor shall provide white ventilated wire shelving at all coat closets and linen closets, Closet Maid or equal. Coat closets shall be provided with one pole and shelf. The linen closets shall be provided with five shelves. | |
| * 2x4 wood stud walls: R13 fiberglass batt with kraft paper facing installed on the warm side. | DIVISION 11-EQUIPMENT | 1. The electrical work required for this project shall be done by a licensed Electrical Contractor in strict accordance with the Electrical Sub-code and finally the approval of the authority having jurisdiction. The Architect and Owner shall rely upon the performance of the Electrical Contractor to comply with these regulations. |
| * 2x6 wood stud walls: R19 fiberglass batt with kraft paper facing installed on the warm side. | | |
| * Floor joist over vented or non-vented crawlspace: R22 fiberglass batt un-faced installed with retaining clips. | 11450 RESIDENTIAL EQUIPMENT | 2. Without restricting the performance requirements, the scope of work shall consist of the following: |
| * Cathedral ceilings, wood framed: R22 fiberglass batt with kraft paper facing installed on the warm side. | | |
| * Attic floor joists, wood framed: R30C or R30 fiberglass batt with kraft paper facing installed on the warm side. | 1. The building Owner shall provide all appliances. The General Contractor shall provide all mechanical and electrical connections and service to residential appliances including the following: | 3. New fixtures and fittings shall be indicated on the Electrical Fixture Schedule and located on the drawings. Take precautions to protect fixtures stored on-site or installed against damage. When the Electrical Contractor or General Contractor are responsible for the purchasing of fixtures, they shall also be responsible for the timely acquisition and condition of same and replace any damaged or imperfect items or missing parts at no additional cost to the Owner. Set fixtures level and in proper alignment with respect to the walls and floors. |
| 07620 FLASHING AND SHEET METAL | * Refrigerator/freezer. | |
| 1. Reference standard shall be the Architectural Sheet Metal Manual published by the Sheet Metal and Air Conditioning Contractors National Association, Incorporated. | * Electric range. | 4. Before wiring of fixtures and receptacles, the Electrical Contractor shall perform a walk-through with the Owner (and the Architect, if the project observation is part of his scope of work). The purpose of this will be to review the location of all items in consideration of other work and Furniture layouts. Approval of the proposed electrical system layout shall not be construed as a waiver of the General Contractor's responsibilities with respect to the system's performance. All additions or deletions of fixtures shall be processed through a change order. |
| 2. Flashing materials shall be comprised of the following for the specific use. Where no specific sheet metal gauge is given, provide material that is of the heaviest gauge given in the reference standard for the specified use. Pre-manufactured pieces may be used provided they meet the specific requirements: | * Combination Microwave/re-circulating hood. | |
| * Visible locations including but not limited to chimney flashing, counter-flashing, exposed crickets with low slope and window head cap flashing: 16 ounce lead coated copper. | DIVISION 12-FURNISHINGS | 5. Unless otherwise noted, switches shall be of the toggle type. Colors of devices and faceplates may vary from room to room and shall be selected by the Owner from samples provided by the Electrical Contractor. The Electrical Contractor shall verify control and options for any ceiling fans before the final connection and closure of the ceilings and walls. |
| * Concealed locations: .019" P.V.C. coated aluminum. | | |
| 3. Provide overlap of building paper at all window and door heads. See drawings for additional flashing details. | DIVISION 13-SPECIAL CONSTRUCTION | 6. Provide smoke detectors where indicated on the drawings and in the following locations. All installations shall be in accordance with NFPA 74. All detectors shall have primary A.C. power source with a battery backup when the primary power source is interrupted. Low voltage systems shall be permitted. All detectors shall be interconnected so that actuation of one detector and alarm shall actuate all alarms throughout the dwelling. |
| 07920 SEALANTS AND CAULKING | N/A | |
| 1. Throughout the project, provide sealants of the highest quality and those that are compatible with all materials that they are in contact with. | DIVISION 14-CONVEYING SYSTEMS | * In the vicinity of the bedrooms. |
| 2. Unless otherwise noted, provide Sikaflex 15 LM (or Sikaflex 1A for radon work) or equal. When requested by the Architect, provide samples or product literature of any proposed substitutions. | | |
| DIVISION 8-DOOR AND WINDOWS | N/A | * In each story of the dwelling, including the basement and attic. |
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| 08600 EXTERIOR DOORS AND WINDOWS | DIVISION 15-MECHANICAL | |
| 1. Interior doors shall be as indicated on the drawings and as selected by the Contractor/Architect. | | |
| Exterior doors and windows shall be as indicated on the drawings and as selected by the Contractor/Architect. | 15400 PLUMBING | |
| 08710 FINISH HARDWARE | The plumbing work required for this project shall be done by a licensed Plumbing Contractor in strict accordance with the Plumbing Sub-code and finally the approval of the authority having jurisdiction. The Architect and Owner shall rely upon the performance of the Plumbing Contractor to comply with these requirements. Provide all labor, materials, equipment and services for the complete installation , testing and proper operation of the systems specified and shown on the drawings and Plumbing Schedule or reasonably implied. | |
| 1. Finish hardware shall be as selected by the Contractor/Architect. | 2. Provide new water supply and sanitary sewer to new residence as required. | |
| DIVISION 9-FINISHES | 3. New supply lines for domestic hot and cold water shall be type 'M' copper when used above ground and type 'K' when used below ground. Fittings shall be copper. All hot and cold water lines that run through un-conditioned spaces shall be insulated with 1" fiberglass and covered with all service jackets. Provide 2" air chamber at all fixtures. Where air chambers cannot be installed, manufactured air chambers are acceptable. All horizontal supply lines shall be pitched upwards in the direction of flow to be completely drained. | |
| 09250 GYPSUM DRYWALL | 4. New waste/vent lines shall be Schedule 40 PVC or ABS with following exceptions: | |
| 1. Reference standard shall be the Gypsum Construction Handbook published by the United States Gypsum Company. | - All waste lines regardless of material shall be insulated for sound with Armaflex Jackets and fiberglass batt insulation. | |
| 2. Materials shall be comprised of the following for the specified use. Provide all accessories of the highest quality required where indicated on the drawings or as needed for a complete installation: | - All horizontal waste/vent lines shall be pitched as required. Where vents pass through the roof, they shall be organized to minimize the amount of roof penetrations. They shall also be installed wherever possible on the 'rear' of the building. | |
| * Interior walls: 1/2" tapered edge. | - Any issues of coordination with respect to the foregoing shall be brought to the attention of the Architect, provided that project observation is part of the scope of work. | |
| * Interior ceilings: 1/2" tapered edge, double layer where so indicated. | 5. New internal gas piping shall be black steel pipe conforming to A.S.T.M. A12 with malleable screwed iron fittings. The exterior exposed pipe and fittings shall be galvanized. Provide an internal shut-off for gas grill line and quick disconnect if indicated on the drawing. | |
| * Interior wall and ceilings of garage: 5/8" Type 'X', one hour rated. | | |
| * Bathroom walls and ceilings: 1/2" 'green board'. | 6. New hose bibs, where indicated on drawings, shall be of a frost-proof design. Provide pitch to back of interior of accessible space and drain cock. | |
| * Tile backer board: Georgia Pacific 1/2" Dens-Shield Tile Backer. | 7. The General Contractor shall select select the new fixtures and fittings. He is to take precautions to protect the fixtures stored on-site or installed. When the Plumbing Contractor or General Contractor is responsible for the purchasing of the fixtures or fittings, they shall also be responsible for the timely acquisition and condition of same and replace any damaged or imperfect items or missing parts, at no additional cost to the Owner. Set fixtures level and in proper alignment with respect to walls and floors. Caulk wall, floor and counter-mounted fixtures and fittings to ensure all installations are water-tight. | |
| 3. Provide a jointing system including reinforcing tape and compound recommended by the wallboard manufacturer. Where gypsum drywall is to be installed over wood framing, it shall be glued and screwed in place. | 8. The General Contractor is to provide all sleeves, flashing boots and similar items required for passage of piping through walls or floors. Provide all brackets, hangers, isolators and other devices required to install rough plumbing to ensure a structurally sound and silent system with proper operation. Provide cleanouts and valves in required locations and that are accessible. Provide escutcheon plates in finishes to match exposed pipe in areas that are exposed to finished spaces. | |
| 09300 CERAMIC AND STONE TILE | | |
| 1. Referenced standard shall be the Handbook for Ceramic Tile Installation published by the Tile Council of America. | | |
| 2. Provide the following material allowance(s) - (Labor and installation materials shall be included in the base bid): | | |
| * Kitchen floor: \$6.00 per square foot, porcelain tile. | | |
| * Bathroom floor and baseboard, tub surround including ceilings: \$4.00 per square foot. | | |
| * Marble saddles: \$45.00 per linear foot (Hollywood bevel). | | |
| 3. See drawings and tile details for specific applications that are referred to in the reference standard. | | |
| 4. Unless otherwise noted, tile shall extend into concealed areas below any built-in furniture without a disruption of the tile pattern. | | |
| 5. Unless otherwise indicated on the drawings, lay tile in a grid pattern. | | |
| 09900 PAINTING | | |
| 1. Interior painting shall be comprised of the following systems for the specified application. For the purpose of bidding, assume one color throughout for walls, ceilings and trim. All paint shall be Benjamin Moore Regal and shall be selected by Owner from the standard color charts: | | |
| * Walls: Latex system, one coat primer with two coats flat finish. | | |
| * Ceilings: Latex system, one coat primer with two coats flat finish. | | |
| * Wood trim: Alkyd system, one coat primer with two coats semi-gloss finish. | | |

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| REVISION / ISSUE | | | | | |
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M BArchitectural Design & Consulting

MARTHA BRAZOBAN- Architect AIA

570 North Broad Street, Suite 15
Elizabeth, NJ 07208
Phone: (908) 316-5337
Fax: (908) 737-7596
<https://www.mbachitecturalsdesign.com/>
martha@mbarchitecturalsdesign.com

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| PROJECT | PROPOSED |
| | CONVERSION/RESTORATION AT EXISTING THREE FAMILY HOUSE |
| OWNER/CLIENT | ODETE MENDEZ |
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| PROJECT LOCATION | 609 FIFTH AVE BRADLEY BEACH, N.J. BLOCK: 57 LOT: 9 |
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| DRAWING TITLE | |
| SPECIFICATIONS | |
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| DRAWN BY: S.S. | |
| CHECKED BY: M.B. | |
| SCALE: AS NOTED | |
| DATE: 1-31-2022 | |
| PROJECT NO: MBSS 22-002 | |

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| DWG NO: | SHEET NO: |
| SP-200 | 12 OF 12 |