ADAPTIVE REUSE OF
FIRST UNITED METHODIST CHURCH
319 LAREINE AVENUE, BRADLEY BEACH, NJ 07720
FOR THE BOROUGH OF BRADLEY BEACH - COMMUNITY CENTER

Project Team

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Drawing Index

Abbreviations

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
@	AT
ACOUS.	ACOUSTIC
ALT.	ALTERNATE
BM.	BEAM
B.E.J.	BUILDING EXPANSION JOINT
BET.	BETWEEN
BLK.	BLOCK OR BLOCKING
BD.	BOARD
BOT.	BOTTOM
BLDG.	BUILDING
B.O.	BOTTOM OF
C.B.	COLLECTOR BOX
CEM.	CEMENT
CEM. PLAS.	CEMENT PLASTER
C.L.	CENTER LINE
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C.J.	CONTROL JOINT
COORD.	COORDINATE
CTSK.	COUNTERSUNK
DET.	DETAIL
DIAM.	DIAMETER
D.F.	DRINKING FOUNTAIN
DR.	DOOR
DN.	DOWN
EA.	EACH
EL.	ELEVATION
E.O.S.	EDGE OF SLAB
EXIST.	EXISTING
EXP. JT.	EXPANSION JOINT
EXP.	EXPOSED
EXT.	EXTERIOR
EXTR.	EXTRUDED
FT.	FEET
FIN.	FINISH
FIN. FLR.	FINISH FLOOR
F.G	FINISH GRADE
F.E	FIRE EXTINGUISHER
F.P.	FIREPROOFING
F.O.	FACE OF
FL.	FLOOR
F.D.	FLOOR DRAIN
F.O.W.	FACE OF WALL
FNDTN.	FOUNDATION
GALV.	GALVANIZED
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
H.R.	HAND RAIL
HDWR.	HARDWARE
H.S.S.	STEEL TUBE BEAM OR COLUMN
HT.	HEIGHT
H.P.	HIGH POINT
H.M.	HOLLOW METAL
HOR.	HORIZONTAL
I.D.	INSIDE DIAMETER
I.D.F.	INTERMEDIATE DISTRIBUTION FRAME
INSUL.	INSULATION
L.D.R.	LEADER
L.P.	LOW POINT
M.H.	MANHOLE
M.O.	MASONRY OPENING
MAX.	MAXIMUM
M.E.P.	MECHANICAL, ELECTRICAL & PLUMBING
M.E.R.	MECHANICAL EQUIPMENT ROOM
MTL.	METAL
M.F.D.	METAL FLOOR DECK
M.F.T.R.	MANUFACTURER
M.R.D.	METAL ROOF DECK
MISC.	MISCELLANEOUS
N.	NORTH
N.J.P.E.	NEW JERSEY PROFESSIONAL ENGR.
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPNG.	OPENING
O.D.	OUTSIDE DIAMETER
O.A.	OVERALL
PART.	PARTITION
PLAS.	PLASTER
PL.	PLATE
PNT.	PAINT
P.T.	PRESSURE TREATED
PTD.	PAINTED
REV.	REVISION
R.	RISERS
R.D.	ROOF DRAIN
RM.	ROOM
R.O.	ROUGH OPENING
SECT.	SECTION
S.P.	STEEL PIPE COLUMN
SPECS.	SPECIFICATIONS
SQ.	SQUARE
SQ. FT.	SQUARE FEET
S.S.	STAINLESS STEEL
ST. STL.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
T.O.	TOP OF
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.STL.	TOP OF STEEL
T.	TREADS
T.O.P.	TOP OF PARAPET
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.C.	WATER CLOSET
W.F.	WIDE FLANGE BEAM OR COLUMN
W.P.	WORK POINT
WPFG.	WATERPROOFING
WWM.	WELDED WIRE MESH
W/	WITH
WD.	WOOD

Symbols

MATERIAL DESIGNATION

GRAVEL OR POROUS FILL
GROUT
CONCRETE
EARTH
PROTECTION BOARD/ GYPSUM BOARD
RIGID INSULATION
CONCRETE MASONRY UNITS
PLYWOOD
NEW PARTITION COORD. WITH PARTITION TYPE (A)
BRICK/ CMU VENEER
STEEL

DETAILS & ELEVATIONS

WALL SECTION (# / A### / SIM)
BUILDING CROSS SECTION (# / A### / SIM)
EXTERIOR ELEVATION (# / A###)
DETAIL (# / A### / SIM)

WINDOWS & DOORS

WINDOW/ ALUMINUM FRAME (X)
DOOR TAG (WITH NO AREA) (100.1)
DOOR TAG (WITH AREA) (A / 100.1)

DATUM REFERENCE

FLOOR LINE LEVEL OR DATUM EL.0'-0" (0'-0")

MISCELLANEOUS

INTERIOR ELEVATION (#)
TOILET ACCESSORY BUILT-IN EQUIPMENT (#)
GENERAL NOTE (##)
(D#)

MATERIAL KEY NOTES

MATERIAL KEY NOTES ARE USED IN LIEU OF STANDARD NOTES IN ORDER TO IMPROVE READABILITY OF DOCUMENTS. MATERIAL KEY NOTES ARE IN CSI FORMAT AND REFER TO SPECIFICATION SECTIONS IN WHICH SPECIFIC MATERIALS APPEAR.

DOCUMENT REVIEW (FOR FUTURE PHASES)

EACH CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL ARCHITECTURAL, CIVIL, STRUCTURAL, HVAC, FIRE PROTECTION, PLUMBING, ELECTRICAL & TECHNOLOGY DRAWINGS. ALL DOCUMENTS CONTAIN INFORMATION WHICH IS COMPLIMENTARY TO EACH TRADE AND MUST BE REVIEWED & UNDERSTOOD PRIOR TO BIDDING THIS PROJECT.

REFERENCE NOTES

NOTES PERTAINING TO SPECIFIC MATERIALS, DIMENSIONS, AND/ OR DESCRIPTIONS OF WORK AS THEY RELATE TO THE DRAWINGS ON WHICH THEY APPEAR. ALL REFERENCE NOTES ARE COMPLIMENTARY TO EACH DRAWING AND ARE TO BE CAREFULLY REVIEWED PRIOR TO CONSTRUCTION.

WORK (FOR FUTURE PHASES)

WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NATIONAL, LOCAL & ALL OTHER APPLICABLE CODES & REQUIREMENTS AS DETERMINED BY AUTHORITIES HAVING JURISDICTION.

Applicable Building Codes

- UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23 - SUBCHAPTERS 1-12)
- 2018 INTERNATIONAL BUILDING CODE - NJ EDITION
- 2018 INTERNATIONAL MECHANICAL CODE (N.J.A.C. 5:23-3.20)
- LIFE SAFETY CODE NFPA-101 2018 EDITION
- 2009 ICC/ANSI A117.1-2009 BARRIER FREE SUB CODE
- REHABILITATION SUB CODE; ALTERATIONS (N.J.A.C. 5:23-6.6)
- STANDARDS FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATING SYSTEMS NFPA 90A-2018
- INSTALLATION OF SPRINKLER SYSTEMS NFPA 13-2016
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70) (N.J.A.C. 5:23-3.16)
- INTERNATIONAL ENERGY CONSERVATION CODE ASHRAE 90.1-2016

USE TYPE

GROUP A-3 OCCUPANCY INCLUDES ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION OR AMUSEMENT AND OTHER ASSEMBLY USES NOT CLASSIFIED ELSEWHERE IN GROUP A INCLUDING, BUT NOT LIMITED TO:

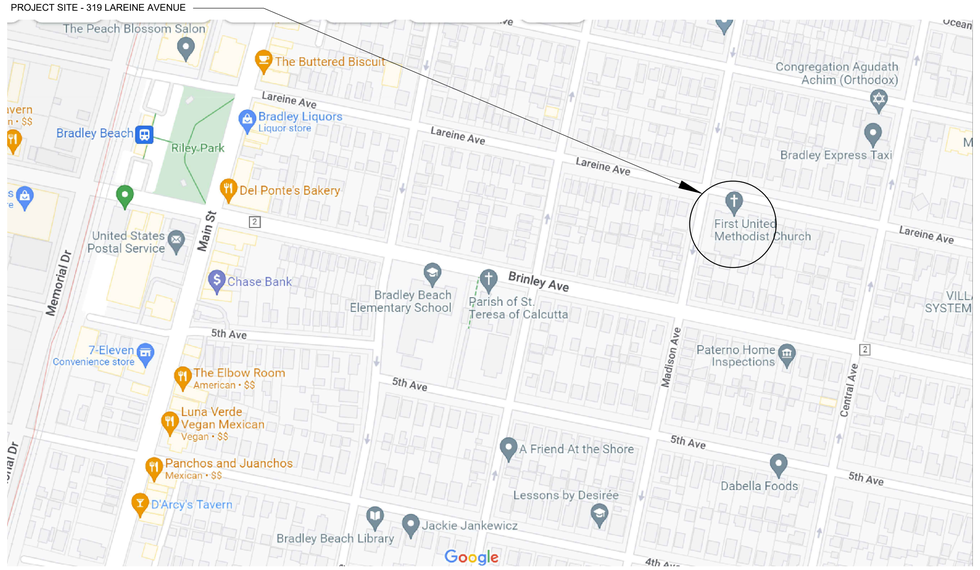
- ART GALLERIES
- COMMUNITY HALLS
- DANCE HALLS (NOT INCLUDING FOOD OR DRINK CONSUMPTION)
- EXHIBITION HALLS
- GYMNASIUMS (WITHOUT SPECTATOR SEATING)
- LECTURE HALLS
- MUSEUMS
- PLACES OF RELIGIOUS WORSHIP

Table 504.3 & 504.4 – Building Height & Number of Stories

A-3	TYPE IIB		TYPE VA		TYPE VB	
NON-SPRINKLERED	55 FT	2 st	50 FT	1 st	40 FT	1 st
SPRINKLERED	75 FT	3 st	70 FT	2 st	60 FT	2 st

Location Map

PROJECT SITE - 319 LAREINE AVENUE



No.	Date	Description
	06.01.22	SCHEMATIC SUBMISSION

Revisions / Issues

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PRELIMINARY
NOT FOR CONSTUCTION

Client:
BOROUGH OF BRADLEY BEACH
719 MAIN STREET
BRADLEY BEACH, NEW JERSEY 07720

Project:
FIRST UNITED METHODIST CHURCH
319 LAREINE AVENUE
BRADLEY BEACH, NEW JERSEY 07720

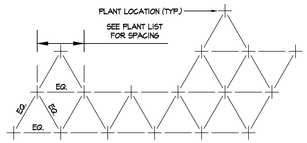
Drawing Information:
Project No: 21.066
Date: 06.01.22
Drawn By: JB/JMB
Checked By: RA

Sheet Name:
COVER SHEET

Sheet No:
A-001
Sheet - of 000

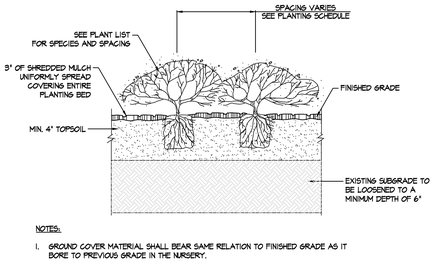
GENERAL NOTES

1. PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY ALLSTATE MAPPING & LAYOUT ON OR ABOUT OCTOBER 21, 2021.
2. HORIZONTAL SYSTEM IS NEW JERSEY STATE PLANE COORDINATE SYSTEM (N.A.D. 1983) AND VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
3. THE CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINT MARKS FROM DAMAGE AND SHALL ESTABLISH OFFSET POINTS AS REQUIRED FOR ITS WORK.
4. NO CONSTRUCTION ACTIVITY IS TO TAKE PLACE OUTSIDE THE LIMIT OF DISTURBANCE UNLESS DIRECTED BY THE ENGINEER.
5. AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL CLEAN AND REMOVE ALL CONSTRUCTION DEBRIS FROM ROADWAYS, THERE SHALL BE NO SEPARATE PAYMENT FOR THIS WORK. COSTS SHALL BE INCLUDED IN THE VARIOUS ITEMS LISTED IN THE PROPOSAL.
6. THERE MAY BE EXISTING IRRIGATION SYSTEMS PRESENT. CONTRACTOR SHALL RESET AS NECESSARY. ANY DAMAGE BY CONTRACTOR SHALL BE REPLACED AT CONTRACTOR'S OWN EXPENSE. THERE SHALL BE NO SEPARATE PAYMENT ITEM.
7. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL CONTACT THE SAFE DIG HOTLINE (811) AND VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO ANY EXCAVATION.
8. THE CONTRACTOR SHALL NOT ORDER ANY MATERIALS UNTIL ALL TEST PITS HAVE BEEN EXCAVATED AND ANALYZED.
9. QUANTITIES FOR CONSTRUCT ITEMS SHOWN ARE APPROXIMATE. ENGINEER MAY ADJUST QUANTITIES IN FIELD.
10. RESTORE TURF AREAS WITH "BORROW TOPSOILING, 4" THICK"; "FERTILIZING & SEEDING, TYPE 'G'"; & "STRAW MULCHING".
11. THE TOPSOIL USED FOR THIS PROJECT SHALL BE IN STRICT CONFORMANCE TO THE PROJECT SPECIFICATIONS. ANY TOPSOIL NOT MEETING THE REQUIREMENTS OF THE SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR SHALL SUBMIT SEED BAG TICKETS TO THE ENGINEER FOR APPROVAL PRIOR TO PLACING SEED.
13. CONTRACTOR SHALL ESTABLISH A FULL STAND OF GRASS WITH NO BARE PATCHES, CRABGRASS OR WEEDS.
14. THE SELECTION OF SPECIES FOR "LARGE DECIDUOUS TREES, 2½" DIAMETER, B&B" SHALL BE MADE BY THE ENGINEER.
15. TREES ARE TO BE MULCHED AROUND THEIR BASE WITH 2–4" OF COMMERCIAL BARK MULCH. MULCH IS TO PLACED LEVEL WITH THE ORIGINAL ELEVATION OF THE SOIL LINE AT THE BASE OF THE TREE.
16. CONTRACTOR IS TO SUPPLY SLOW RELEASE WATERING BAGS FOR TREES PLANTED IN WARM WEATHER AND IS TO KEEP THEM FILLED THROUGH THE WARM WEATHER MONTHS (MAY 1 THROUGH OCTOBER 15).



PLANT SPACING

N.T.S.

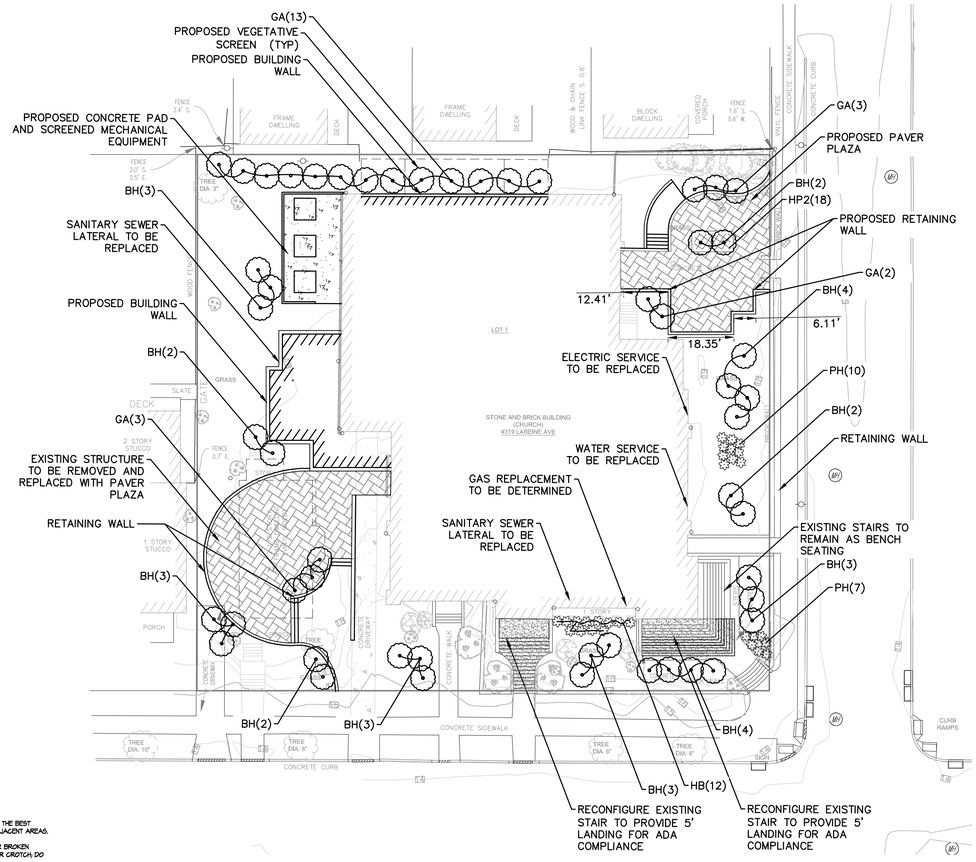


NOTES:

1. GROUND COVER MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.

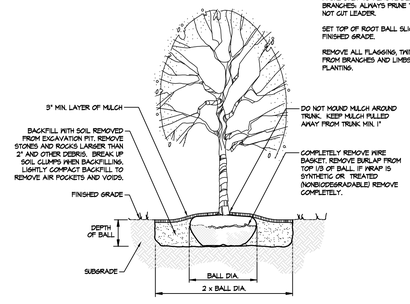
PLUG AND PERENNIAL PLANTING

N.T.S.



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
BH	30	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B & B		8'-10'	MULTI-STEM
CONIFER TREES	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**CAL**	**SIZE**	
GA	22	EMERALD GREEN ARBORVITAE	GREEN ARBORVITAE	B & B		2'-3'	
GRASSES	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**CAL**	**SIZE**	**REMARKS**
PH	17	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.			
GROUND COVERS	**QTY**	**BOTANICAL NAME**	**COMMON NAME**	**CONT**	**CAL**	**SIZE**	**SPACING** **REMARKS**
HP2	18	HEMEROCALLIS X 'PURPLE D'ORO'	PURPLE D'ORO DAYLILY	2 QT			18" o.c.
HB	12	HUMMINGBIRD SUMMERSWEET	HUMMINGBIRD	1 GAL.			18" O.C.



TREE PLANTING - BASIC

N.T.S.

LANDSCAPE PLANTING NOTES AND SPECIFICATIONS:

1. ALL PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN STRICT CONFORMANCE WITH USDA STANDARDS FOR NURSERY STOCK AND THE "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS LATEST EDITIONS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN WORK AREA PRIOR TO COMMENCING WITH ANY EXCAVATIONS AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION.
3. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. IF A DISCREPANCY SHOULD ARISE BETWEEN THE AMOUNT OF PLANTS SHOWN ON THE PLAN VS. THE PLANT SCHEDULE, THE PLAN SHALL GOVERN.
4. ALL PLANTS SHALL BE NURSERY GROWN.
5. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY WELL–DEVELOPED ROOT SYSTEMS.
7. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR IF APPROVED BY THE LANDSCAPE ARCHITECT OR HIS/HER REPRESENTATIVE.
8. ALL AREAS TO BE SHOWN AS LAWN SHALL BE SEEDED, AS SPECIFIED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
9. TREE LOCATIONS MAY NEED TO BE ADJUSTED BASED ON LOCATIONS OF UTILITIES, FIELD CONDITIONS, OR FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR THEIR REPRESENTATIVE IF ADJUSTMENTS ARE NECESSARY.
10. ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD MULCH.
11. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.
12. PLANTS WITH BROKEN ROOT BALLS, TRUNK AND BARK DAMAGE OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED PRIOR TO PLANTING.
13. ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. ALL NON– BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED. WIRE BASKETS SHALL BE CAREFULLY REMOVED ENTIRELY AT THE TIME OF PLANTING, PREFERABLY AFTER THE ROOT BALL HAS BEEN INSTALLED IN THE PLANTING PIT.
14. PREPARATION OF PLANTING: CLEAN SOIL EXCAVATED FROM PLANTING PIT OF ROOTS, PLANTS, STONES LARGER THAN 2", CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
15. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
16. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR HIS/HER EQUAL.
17. INSTALL ALL PLANTS SO THAT THE TOP OF THE ROOTBALL IS SLIGHTLY ABOVE FINISHED GRADE. IN NO CASE SHALL THE PLAN BE INSTALLED WITH NO LESS THAN THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL ROOT CROWN. EXCESS SOIL MAY EXIST AROUND THE ROOT CROWN FROM NURSERY OPERATIONS. THIS EXCESS MATERIAL SHALL BE REMOVED PRIOR TO PLANTING TO DETERMINE THE PROPER BALL INSTALLATION DEPTH.
18. ALL EXISTING TREES THAT ARE TO BE SAVED AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE PROTECTED UNTIL CONSTRUCTION HAS BEEN COMPLETED. AREA WITHIN DRIPLINE SHALL NOT BE TRAVELED ACROSS BY CONSTRUCTION TRAFFIC.
19. TREES PLANTED ALONG STREETS SHALL HAVE A SINGLE STRAIGHT TRUNK THAT DOES NOT FORK BELOW 6'.
20. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL NON–BIODEGRADEABLE ROOT WRAPPING MATERIAL SHALL BE REMOVED AT TIME OF PLANTING.
21. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS MINIMUM.
22. THE CONTRACTOR SHALL LAYOUT WITH IDENTIFIABLE STAKES INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTING ALONG WITH THE ARRANGEMENTS AND OUTLINE OF PLANTING BEDS AS INDICATED ON DRAWING. THE LAYOUT OF PLANTING WILL THEN BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANT BEDS.
23. AT PLANTING TIME, ALL PLANT MATERIAL SHALL TRIMMED TO REMOVE BROKEN AND/OR DEAD VEGETATIVE MATERIAL.
24. ALL PLANTS SHALL BE INSTALLED AS PER THE PLANTING DETAILS AND THE CONTRACT SPECIFICATIONS, WHERE APPLICABLE.
25. ALL PLANTS SHALL BE INSTALLED PLUMB UNLESS OTHERWISE SPECIFIED.
26. ALL PLANTS SHALL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
27. CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
28. WARRANT TREES AND SHRUBS FOR A MINIMUM PERIOD OF ONE (1) YEAR AFTER DATE OF WRITTEN FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR THE OWNERS AUTHORIZED REPRESENTATIVE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MONITOR THE PROJECT PLANTINGS DURING THE WARRANTY PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP. PLANTS THAT DIE DURING THE WARRANTY PERIOD SHALL BE REMOVED IMMEDIATELY AND REPLACED.

20' 10' 0 20' 40'
1" = 20'

NO.	BY	REVISIONS	DATE

BOROUGH OF BRADLEY BEACH
319 LAREINE AVENUE - FUMC
SITE DESIGN
BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

SITE PLAN

T AND M
YOUR GOALS. OUR MISSION.
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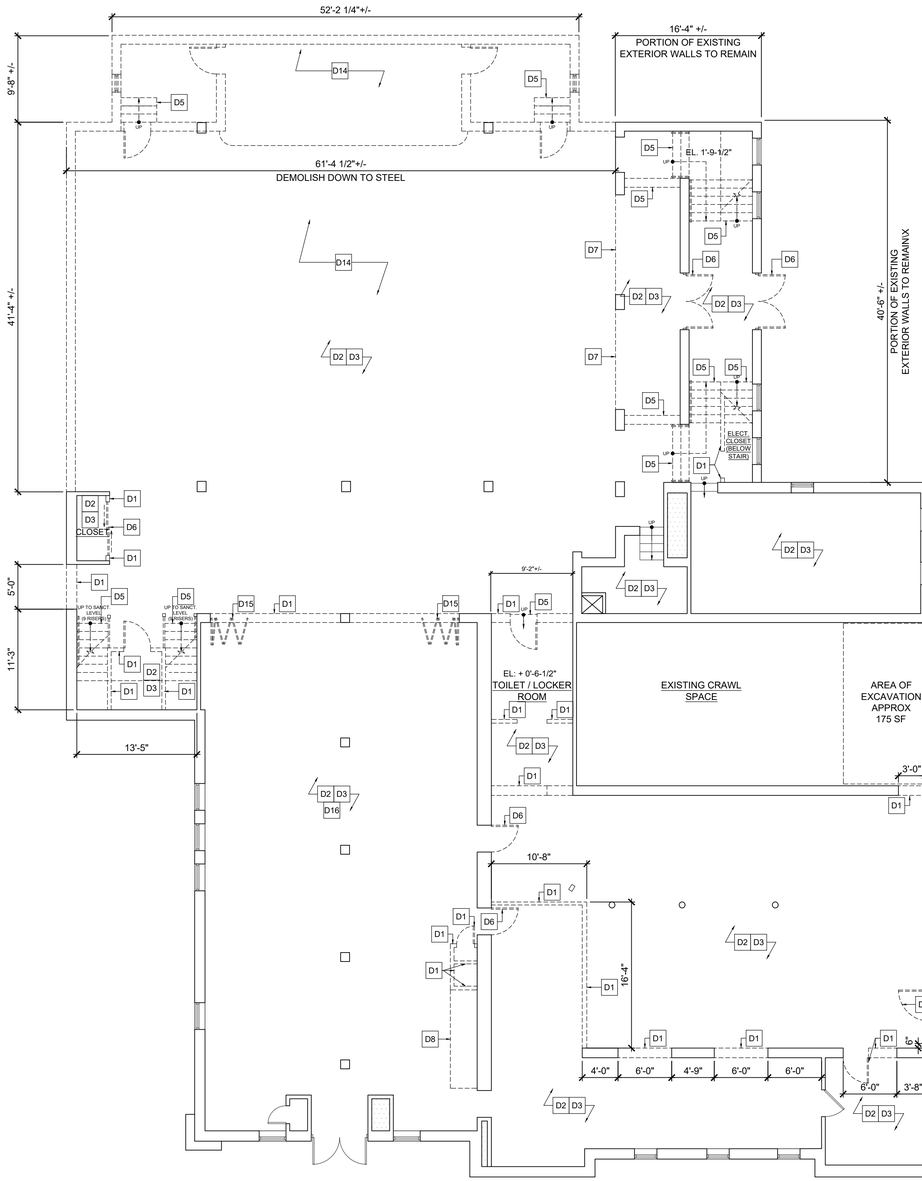
DELAWARE, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA

DESIGNED BY	BMQ
CHECKED BY	EN
DRAWN BY	BMQ
DATE	05/18/2022
SCALE	AS NOTED
PROJ. NO.	00973
DRAWING	S-1

PROJECT: FILE NAME: G:\Projects\BRAD\00973\Plans\BRAD00973_CSP.dwg LAST EDIT: 05/27/2022 - 03:53:29 PM LOGIN: BQuinn



N

1 LOWER LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

Demolition Legend

- **D1** REMOVE ENTIRE EXISTING WALL CONSTRUCTION INCLUDING DOORS, DOOR FRAMES, VISION PANELS, TRIM, ETC. ALL DOORS, HARDWARE AND FRAMES TO BE REMOVED. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE. ANY EXISTING ELECTRICAL OUTLETS, DEVICES OR SWITCHING LOCATED ON WALLS SCHEDULED TO BE DEMOLISHED SHALL BE REMOVED & ALL CIRCUITING / WIRING REMOVED BACK TO THE ELECTRIC PANEL(S) PROVIDING POWER. GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF ALL PLUMBING, MECHANICAL, & ELECTRICAL ITEMS WITH RESPECTIVE CONTRACTORS.
- **D2** REMOVE EXISTING FLOORING FINISH (CARPET, VINYL, COMPOSITION TILE, SEAMLESS VINYL, CERAMIC TILE, SEAMLESS COMPOSITION, ETC.), BASE AND RELATED TRIM PIECES. PATCH, CLEAN, AND PREPARE EXISTING FLOOR SLAB AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH. AREAS WITH DEPRESSED FLOOR SLAB SHALL BE INFILL AND LEVELED AS REQUIRED. FOR EXISTING CARPETED AREAS, SCRAPE ANY GLUE OR RESIDUE FROM UNDERLAYMENT. REPAIR / REPLACE AREAS OF PLANK FLOORING BELOW IN-KIND WHERE NECESSARY.
- **D3** REMOVE ENTIRE EXISTING ACT OR PLASTER CEILING SYSTEMS INCLUDING BUT NOT LIMITED TO SUSPENDED GRID SYSTEM, HVAC DEVICES, FURRING, WIRE SUPPORTS, HANGERS, WOOD TRIM, LATH, FASTENERS, ETC. PREPARE TO RECEIVE NEW CEILINGS AS DESCRIBED IN REFLECTED CEILING PLAN. LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO LOCAL CODES.
- **D4** REMOVE EXISTING PLUMBING FIXTURES, GRAB BARS & TOILET ACCESSORIES COMPLETELY. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING AREAS WHERE AFFECTED BY THEIR REMOVAL. EXISTING PIPING FROM REMOVED FIXTURES SHALL BE CAPPED BELOW EXISTING FLOOR SLABS, BEHIND FACE OF PARTITION, ABOVE CEILINGS. PLUMBING FIXTURES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO LOCAL CODES.
- **D5** REMOVE EXISTING STAIR AND RAILING. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE.
- **D6** REMOVE EXISTING DOOR DOOR ASSEMBLY INCLUDED BUT NOT LIMITED TO THE DOORS, DOOR FRAMES, VISION PANELS, TRIM, ETC. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE.
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- **D8** REMOVE EXISTING BUILT-IN CABINETS, COUNTERS, SHELVING, MILLWORK, PEWS, BLOCKING, TRIM, SUPPORTS, AND CEILING SOFFIT ABOVE UPPER CABINETS. PATCH EXISTING AREAS DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISHES.
- **D9** REMOVE EXISTING MECHANICAL EQUIPMENT.
- **D10** REMOVE EXISTING ROOF ASSEMBLY, DECKING, AND SKYLIGHTS.
- **D11** REMOVE ALL PEWS AT SANCTUARY WITH INTENT TO SALVAGE. POTENTIAL TO RE-PURPOSE IN NEW CONSTRUCTION.
- **D12** REMOVE EXISTING PLASTER FINISH AND LATH DOWN TO WOOD STUDS. INSTALL INSULATION IN WALL CAVITY AND FINISH WITH 5/8" DRYWALL. TAPE AND TWO COATS OF SPACKLE, SANDING BETWEEN COATS, FINISH WITH (2) COATS OF LATEX PAINT AS SCHEDULED.
- **D13** REMOVE EXISTING WINDOW ASSEMBLY. PREPARE EXISTING OPENING TO BE INFILLED; PREPARE SURFACE TO RECEIVE NEW SCHEDULED FINISHES.
- **D14** DEMOLISH GYMNASIUM MASONRY STRUCTURE AND STAGE WOOD FRAME STRUCTURE IN ITS ENTIRETY DOWN TO EXISTING STEEL STRUCTURE. STEEL SUPERSTRUCTURE AND FOOTINGS TO SALVAGED FOR FUTURE REUSE. DEMOLISH AND DISPOSE OF ALL WALLS, CONCRETE SLAB, ROOFING, ELECTRICAL, MECHANICAL SYSTEMS.
- **D15** REMOVE AND SALVAGE EXISTING FOLDING OR ROLLING WOOD PARTITION. CAREFULLY REMOVE ALL WOOD TRIM, MOLDINGS, CASINGS AND ASSOCIATED TRACK. RETURN TO OWNER FOR REUSE.
- **D16** REMOVE AND DISPOSE OF EXISTING WOOD SUBFLOOR AND JOISTS WHICH HAVE DETERIORATED AND ARE NO LONGER SOUND. PREPARE AREA TO RECEIVE NEW POURED CONCRETE SLAB.

No.	Date	Description
	06.01.22	SCHEMATIC SUBMISSION

Revisions / Issues

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Drawing Information:

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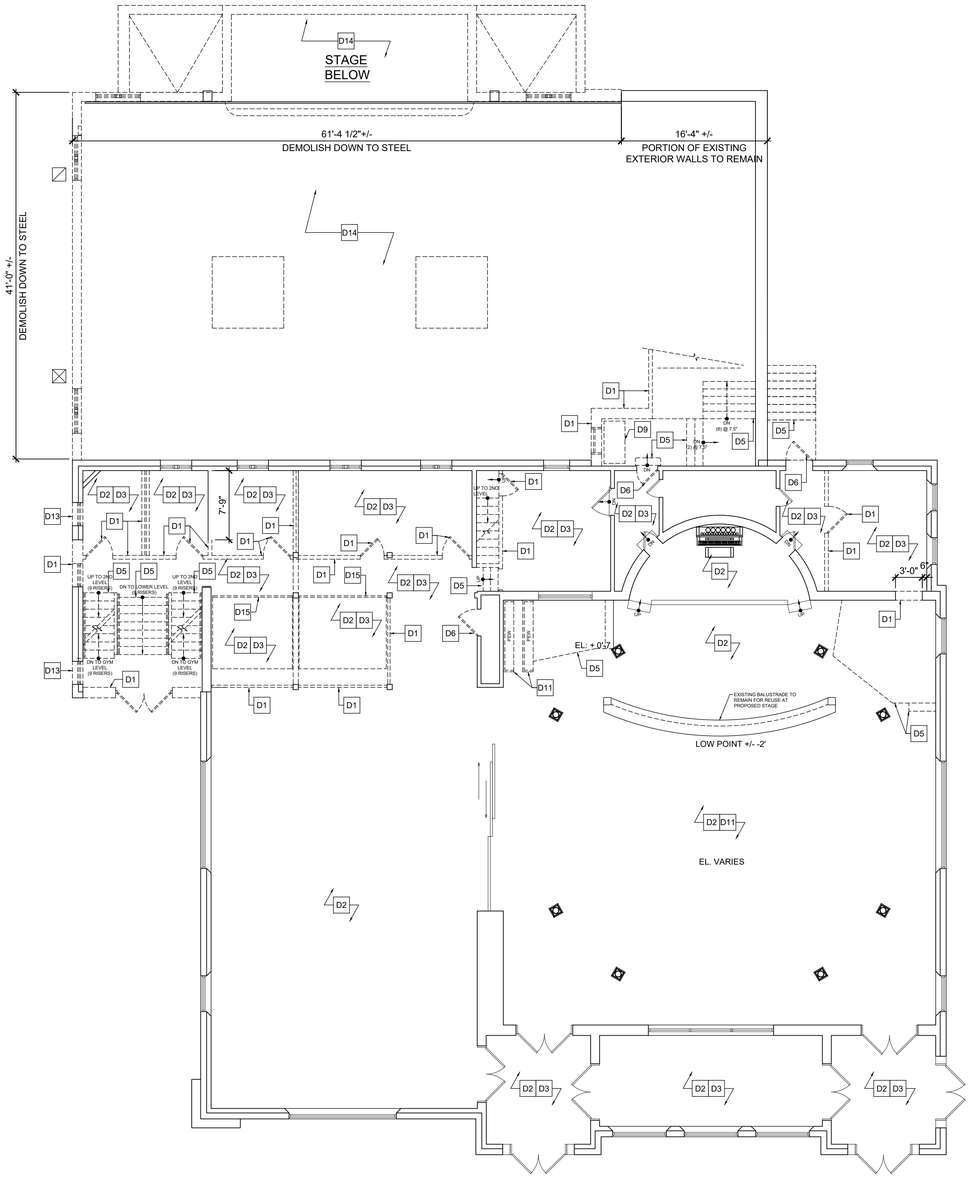
Sheet Name:

LOWER LEVEL DEMOLITION PLAN

Sheet No:

D-100

Sheet - of 000



N

1 **SANCTUARY LEVEL DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

Demolition Legend

- D1 REMOVE ENTIRE EXISTING WALL CONSTRUCTION INCLUDING DOORS, DOOR FRAMES, VISION PANELS, TRIM, ETC. ALL DOORS, HARDWARE AND FRAMES TO BE REMOVED. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE. ANY EXISTING ELECTRICAL OUTLETS, DEVICES OR SWITCHING LOCATED ON WALLS SCHEDULED TO BE DEMOLISHED SHALL BE REMOVED & ALL CIRCUITING / WIRING REMOVED BACK TO THE ELECTRIC PANEL(S) PROVIDING POWER. GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF ALL PLUMBING, MECHANICAL, & ELECTRICAL ITEMS WITH RESPECTIVE CONTRACTORS.
- D2 REMOVE EXISTING FLOORING FINISH (CARPET, VINYL, COMPOSITION TILE, SEAMLESS VINYL, CERAMIC TILE, SEAMLESS COMPOSITION, ETC.), BASE AND RELATED TRIM PIECES. PATCH, CLEAN, AND PREPARE EXISTING FLOOR SLAB AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH. AREAS WITH DEPRESSED FLOOR SLAB SHALL BE INFILL AND LEVELED AS REQUIRED. FOR EXISTING CARPETED AREAS, SCRAPE ANY GLUE OR RESIDUE FROM UNDERLAYMENT. REPAIR / REPLACE AREAS OF PLANK FLOORING BELOW IN-KIND WHERE NECESSARY.
- D3 REMOVE ENTIRE EXISTING ACT OR PLASTER CEILING SYSTEMS INCLUDING BUT NOT LIMITED TO SUSPENDED GRID SYSTEM, HVAC DEVICES, FURRING, WIRE SUPPORTS, HANGERS, WOOD TRIM, LATH, FASTENERS, ETC. PREPARE TO RECEIVE NEW CEILINGS AS DESCRIBED IN REFLECTED CEILING PLAN. LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO LOCAL CODES.
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- D5 REMOVE EXISTING STAIR AND RAILING. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE.
- D6 REMOVE EXISTING DOOR DOOR ASSEMBLY INCLUDED BUT NOT LIMITED TO THE DOORS, DOOR FRAMES, VISION PANELS, TRIM, ETC. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE.
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- D8 REMOVE EXISTING BUILT-IN CABINETS, COUNTERS, SHELVING, MILLWORK, PEWS, BLOCKING, TRIM, SUPPORTS, AND CEILING SOFFIT ABOVE UPPER CABINETS. PATCH EXISTING AREAS DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISHES.
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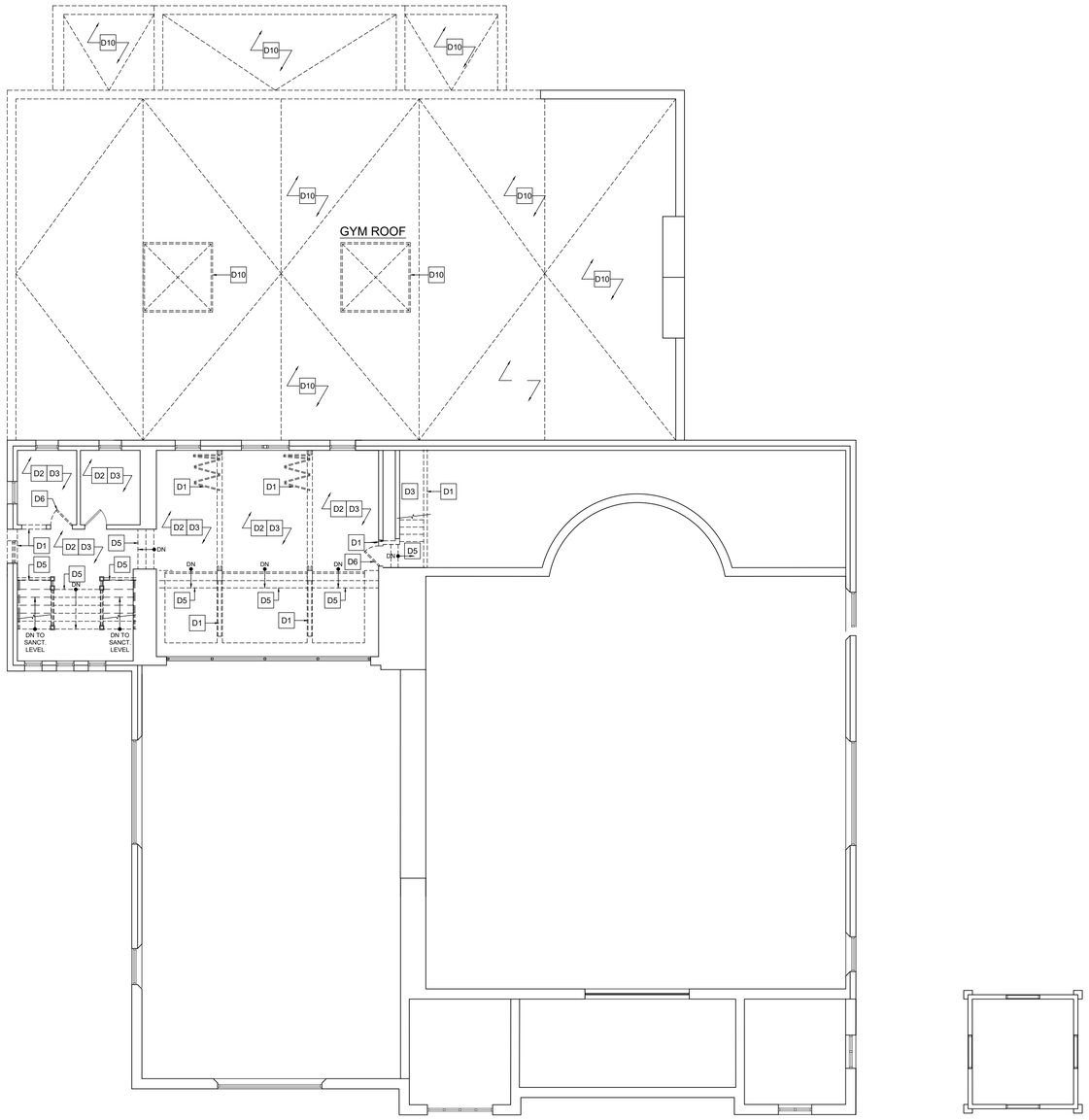
SANCTUARY LEVEL DEMOLITION PLAN

Sheet No:
D-101
Sheet - of 000



1 SECOND LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

N

Demolition Legend

- D1 REMOVE ENTIRE EXISTING WALL CONSTRUCTION INCLUDING DOORS, DOOR FRAMES, VISION PANELS, TRIM, ETC. ALL DOORS, HARDWARE AND FRAMES TO BE REMOVED. PATCH EXISTING ADJACENT AREAS AS REQUIRED THAT HAVE BEEN DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH (REFER TO FINISH SCHEDULE) OR MATCH ADJACENT SURFACES AS REQUIRED IF NOT INCLUDED IN FINISH SCHEDULE. ANY EXISTING ELECTRICAL OUTLETS, DEVICES OR SWITCHING LOCATED ON WALLS SCHEDULED TO BE DEMOLISHED SHALL BE REMOVED & ALL CIRCUITING / WIRING REMOVED BACK TO THE ELECTRIC PANEL(S) PROVIDING POWER. GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF ALL PLUMBING, MECHANICAL, & ELECTRICAL ITEMS WITH RESPECTIVE CONTRACTORS.
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- D3 REMOVE ENTIRE EXISTING ACT OR PLASTER CEILING SYSTEMS INCLUDING BUT NOT LIMITED TO SUSPENDED GRID SYSTEM, HVAC DEVICES, FURRING, WIRE SUPPORTS, HANGERS, WOOD TRIM, LATH, FASTENERS, ETC. PREPARE TO RECEIVE NEW CEILINGS AS DESCRIBED IN REFLECTED CEILING PLAN. LIGHT FIXTURES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO LOCAL CODES.
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Drawing Information:
Project No: 21.066
Date: 06.01.22
Drawn By: JB/JMB
Checked By: RA

Sheet Name:
SECOND LEVEL DEMOLITION PLAN

Sheet No:
D-102
Sheet - of 000

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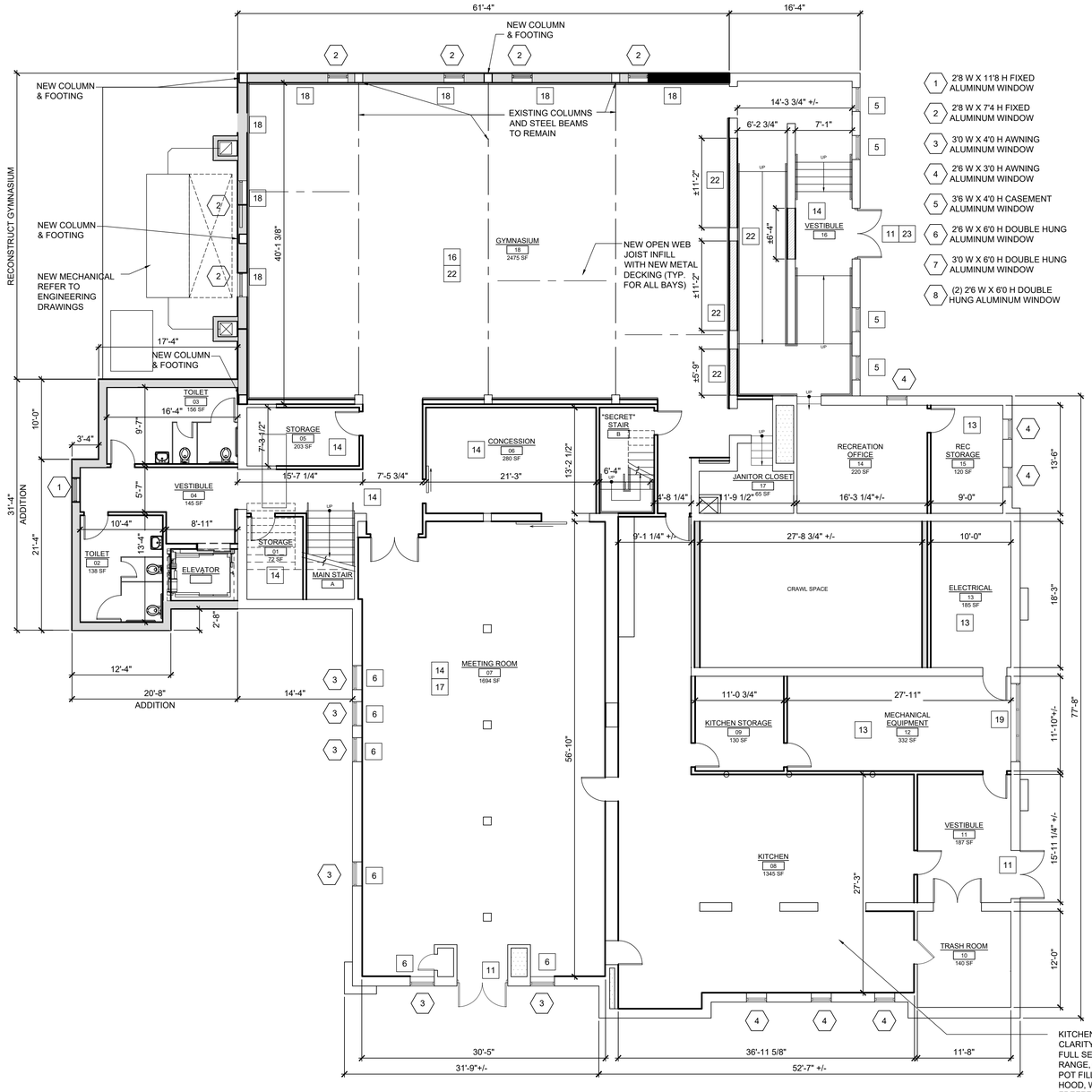

KITCHEN EQUPMENT NOT SHOW FOR CLARITY. THE INTENT IS TO PROVIDE A FULL SERVICE KITCHEN WITH A GAS RANGE, CONVECTION OVEN, STEAMER, POT FILLER, WORK TABLES, EXHAUST HOOD, WALK-IN REFRIGERATOR AND FREEZER, DRY STORAGE, MIXER, SLICER, 3-COMPARTMENT SINK AND WORK SINKS.

N

1 LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

Room No	Room Name	Ceiling	Walls	Flooring	Notes
Lower Level					
A	Main Stair	Gyp - Paint	Ptd Gyp w/ WP to 48"	Rubber treads	Wall Proection (Koroguard, Lumicor)
01	Storage	Gyp - Paint	Gyp - Paint	Marmoleum	
02 & 03	Toilet Rooms (2)	ACT 2	Tile to 60", then ptd gyp	Tile	
04	Vestibule/Corridor	ACT 2	Ptd Gyp w/ WP to 48"	Marmoleum	Wall Protection (Koroguard, Lumicor)
05	Storage	ACT 2	Gyp - Paint	Marmoleum	Shelving in room
06	Café	ACT 3	Ptd Gyp w/ WP to 60"	Marmoleum	FRP
07	Meeting Room	ACT 1	Gyp - Paint	Marmoleum	Column protection, floor pattern 2-3 color
08	Kitchen	ACT 3	Ptd Gyp w/ WP to 60"	Epoxy	FRP
09	Kitchen Storage	ACT 3	Ptd Gyp w/ WP to 60"	Epoxy	FRP
10	Trash Room	ACT 3	Ptd Gyp w/ WP to 60"	Epoxy	FRP
11	Vestibule (service)	ACT 2	Ptd Gyp w/ WP to 60"	Epoxy	FRP
12	Mechanical Eqpt Rm	Paint Existing	Gyp - Paint	VCT	
13	Electrical Room	Paint Existing	Gyp - Paint	VCT	install FRT 3/4 plywood to mnt equpt
14	Recreation Office	ACT 2	Gyp - Paint	Carpet Tile	
15	Rec Storage	ACT 2	Gyp - Paint	VCT	(low clg)
16	Vestibule (Madison)	Gyp - Paint	Gyp - Paint	Marmoleum & Rubber Treads	Handrails
17	Janitor's Closet	Existing to Remain			
B	"Secret" Stair	Gyp - Paint	Gyp - Paint	Rubber treads and Marm	
18	Gymnasium	Exposed structure - Paint	Ab Res Gyp - Paint	Synthetic Sports Floor	Wall Padding on four sides

FINISH SCHEDULE NOTES:
ACT 1 - 2x4
ACT 2 - 2x2
ACT 3 - 2x4 SANITARY TILE FOR FOOD SERVICE
MARMOLEUM SHEET GOODS

INTERIOR SCOPE NOTES

1. AT EXISTING WALLS: REFINISH EXISTING STAINED WOOD TRIM, WAINSCOTING, CHAIR RAILS, CASING, ETC. SAND AND REFINISH THROUGHOUT WITH (3) COATS OF STAIN, SANDING BETWEEN COATS.
2. AT EXISTING FLOORS: SAND AND REFINISH THROUGHOUT WITH (3) COATS OF STAIN, SANDING BETWEEN COATS.
3. CAREFULLY REPAIR AND REFASTEN EXISTING TIN CEILINGS TO JOISTS ABOVE. REPAINT ALL WITH (3) COATS OF FLAT CEILING PAINT. WHERE WOOD TRIM IS LOOSE OR DAMAGED, REFASTEN, SAND AND REFINISH WITH (3) COATS OF SEMI-GLOSS PAINT. IF TRIM IS DAMAGED BEYOND REPAIR DUE TO WATER DAMAGE, REPLACE IN-KIND WITH LIKE PROFILE.
4. FOR PLASTER REPAIRS: CAREFULLY CUT OUT AND GENTLY PULL AWAY DAMAGED AREAS. ANCHOR ADJACENT SALVAGEABLE AREAS, RE-SECURE LOOSE LATH TO STUDS. WHERE LATH IS DAMAGED BY WATER (WARPED, SWOLLEN, OR MOLD RIDDED), REMOVE AND REPLACE IN-KIND WITH NEW. PRE-DRILL LATH TO AVOID SPLITTING. VACUUM OUT ALL DEBRIS. FINISH WITH THREE COATS OF PLASTER, SANDING AND BLENDING INTO SURROUNDING AREAS PRIOR TO FINAL COATS OF PAINT.
5. REMOVE EXISTING STAINED GLASS WINDOW WITH INTENT TO RESTORE. OPENINGS SHALL BE PATCHED, REPAIRED, RE-FLASHED, AND PREPARED FOR REINSTALLATION OF WINDOW. ANY AND ALL WOOD TRIM, OR MUNTINS AT WINDOWS SHALL BE CAREFULLY REMOVED, REPAIRED, AND SANDED AND REFINISHED TO MATCH EXISTING FINISH. (GENERALLY PAINTED AT INTERIOR OF SANCTUARY AND SHEPHERD'S ROOM, CLEAR COAT STAINED AT OTHER LOCATIONS.
6. REMOVE EXISTING WOOD WINDOWS, INSPECT SURROUNDING PLASTER AND OPENING FOR DAMAGE. REPAIR IN ACCORDANCE WITH PLASTER REPAIR NOTES (ABOVE) WHERE INDICATED ON PLAN. WHERE INDICATED ON PLAN, INFILL WALL WITH WOOD STUD CONSTRUCTION TO MATCH EXISTING. CUT NEW OPENING FOR WINDOW AND INSTALL NEW FIXED WINDOWS. SIZE AND LOCATION DETAILED ON PLANS. SEE EXTERIOR SCOPE FOR ADDITIONAL DETAIL.
7. CONSTRUCT NEW ALTER / STAGE AT HEIGHT OF FIRST TIER (APPROXIMATELY 1-8" AFF.). EXTEND FACE OF ALTER / STAGE OUT TO MEET THE EXISTING BALUSTRADE. SALVAGE BALUSTRADE TO SERVE AS FACE OF NEW STAGE PLATFORM. NEW STAIR WITH HANDRAIL AND WHEELCHAIR LIFT FLANK EACH SIDE OF PLATFORM.
8. DURING CONSTRUCTION, EXISTING PIPE ORGAN AND ITS MECHANICS BEYOND THE ALTER SHALL BE PROTECTED FROM DUST, DEBRIS AND DAMAGE. FOLLOWING CONSTRUCTION, PIPE ORGAN SHALL BE CLEANED AND RESTORED TO PRESERVE ITS GENERAL CHARACTER AND APPEARANCE. SCOPE DOES NOT INCLUDE TUNING OR RESTORATION TO OPERATION OF ORGAN AT THIS TIME.
9. OVER-FRAME EXISTING SANCTUARY FLOOR TO IN-FILL CURVED PROFILE. AT INTERSECTION OF OLD AND NEW, DEVISE A REVEAL TO ARTICULATE TRANSITION OF MATERIALS.
10. REMOVE, REPAIR, AND REFURBISH EXISTING DOORS TO SANCTUARY AND VESTIBULES. SAND AND REFINISH WITH CLEAR COAT STAIN AT INTERIORS TO MATCH EXISTING. EXTERIOR FINISH TO BE PAINTED, COLOR AS SELECTED BY ARCHITECT.
11. REMOVE EXISTING EXTERIOR DOORS AND FRAMES AND REPLACE WITH NEW HOLLOW METAL DOORS (INCLUDE VISION GLASS IN DOORS) AND FRAMES. INSPECT OPENINGS FOR WATER DAMAGE AND REPAIR SURROUNDING AS NECESSARY, INSTALL NEW FLASHING AND CAULKING AS RECOMMENDED FOR WATER-TIGHT INSTALLATION.
12. REMOVE AND RESTORE FUNCTIONALITY TO EXISTING LARGE SCALE SLIDING PARTITIONS. REPAIR / REPLACE ANY BROKEN GLASS, SAND AND REFINISH. LUBRICATE FITTINGS AND BEARINGS TO RETURN TO OPERATION.
13. PREPARE SUBFLOOR WITH 1/4" PLYWOOD UNDERLAYMENT IF NECESSARY TO LEVEL FLOORING. INSTALL NEW VINYL TILE AND RUBBER BASE AS SCHEDULED.
14. PREPARE SUBFLOOR TO LEVEL FLOORING AS RECOMMENDED BY MANUFACTURER AND INSTALL NEW RESILIENT SHEET FLOORING, MARMOLEUM, OR EQUIVALENT.
15. REMOVE AND REPLACE EXISTING SUBSTRUCTURE AND SUBFLOORING AS DESCRIBED IN T&M REPORT.
16. GYMNASIUM TO RECEIVE NEW CONCRETE 5" SLAB AND PERFORMANCE SHEET FLOORING.
17. REMOVE EXISTING PLASTER FINISH AND LATH DOWN TO WOOD STUDS. INSTALL INSULATION IN WALL CAVITY AND FINISH WITH ½" DRYWALL. TAPE AND TWO COATS OF SPACKLE. SANDING BETWEEN COATS, FINISH WITH (2) COATS OF LATEX PAINT.
18. INSTALL NEW ALUMINUM WINDOWS AT GYMNASIUM.
19. REMOVE EXISTING WINDOWS. INSTALL NEW CONTINUOUS LINTEL AND PREPARE AREA TO RECEIVE NEW LOUVER FOR FRESH AIR INTAKE. REFER TO MECHANICAL DRAWINGS.
20. EXCAVATE OUT EXISTING PORTION OF CRAWLSPACE. CONSTRUCT NEW RETAINING WALL AT ADJOINING.
21. INSTALL INSULATION AT PERIMETER WALLS.
22. NEW DRYWALL ASSEMBLY AT THE GYMNASIUM IS AS FOLLOWS:
2x6 STUD WITH 3/4" PLYWOOD AND 1/2"GYP. BD.
23. INSTALL NEW 'ORNATE' DECORATIVE WOOD DOORS, CONSISTENT WITH THE ARCHITECTURAL VOCABULARY OF THE SANCTUARY.
24. OVER FRAME BALCONY AT CHOIR AREA TO ALIGN FLOORS.
25. INSTALL NEW RAILINGS AND FULL HEIGHT STOREFRONT SYSTEM ALONG EDGE OF BALCONY.
26. REMOVE EXISTING LOUVERS AT BELL TOWER. REPAIR OPENING. FRAMING AND PREPARE TO RECEIVE NEW FIXED WINDOW.
27. REPAIR FLOOR STRUCTURE AT BELL TOWER. CREATE PLATFORM TO SHOWCASE BELL. PROVIDE COLOR. CHANGE ACCENT LIGHTING.

06.01.22 SCHEMATIC SUBMISSION

No. Date Description

Revisions / Issues

DIGroupArchitecture
ARCHITECTURE FOR CHANGE

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Richard D. Alderiso , AIA
NJ RA AI 15023, NY RA 027416, PA RA 405474

PRELIMINARY
NOT FOR CONSTUCTION

Client:

BOROUGH OF BRADLEY BEACH
719 MAIN STREET
BRADLEY BEACH, NEW JERSEY 07720

Project:

FIRST UNITED METHODIST CHURCH
319 LAREINE AVENUE
BRADLEY BEACH, NEW JERSEY 07720

Drawing Information:

Project No: 21.066
Date: 06.01.22
Drawn By: JB/JMB
Checked By: RA

Sheet Name:

LOWER LEVEL PLAN

Sheet No:

A-100

Sheet - of 000

P:\2021\21.066 BRADLEY BEACH_FIRST UNITED METHODIST CHURCH\DRAWINGS\SCHEM-DESIGN\

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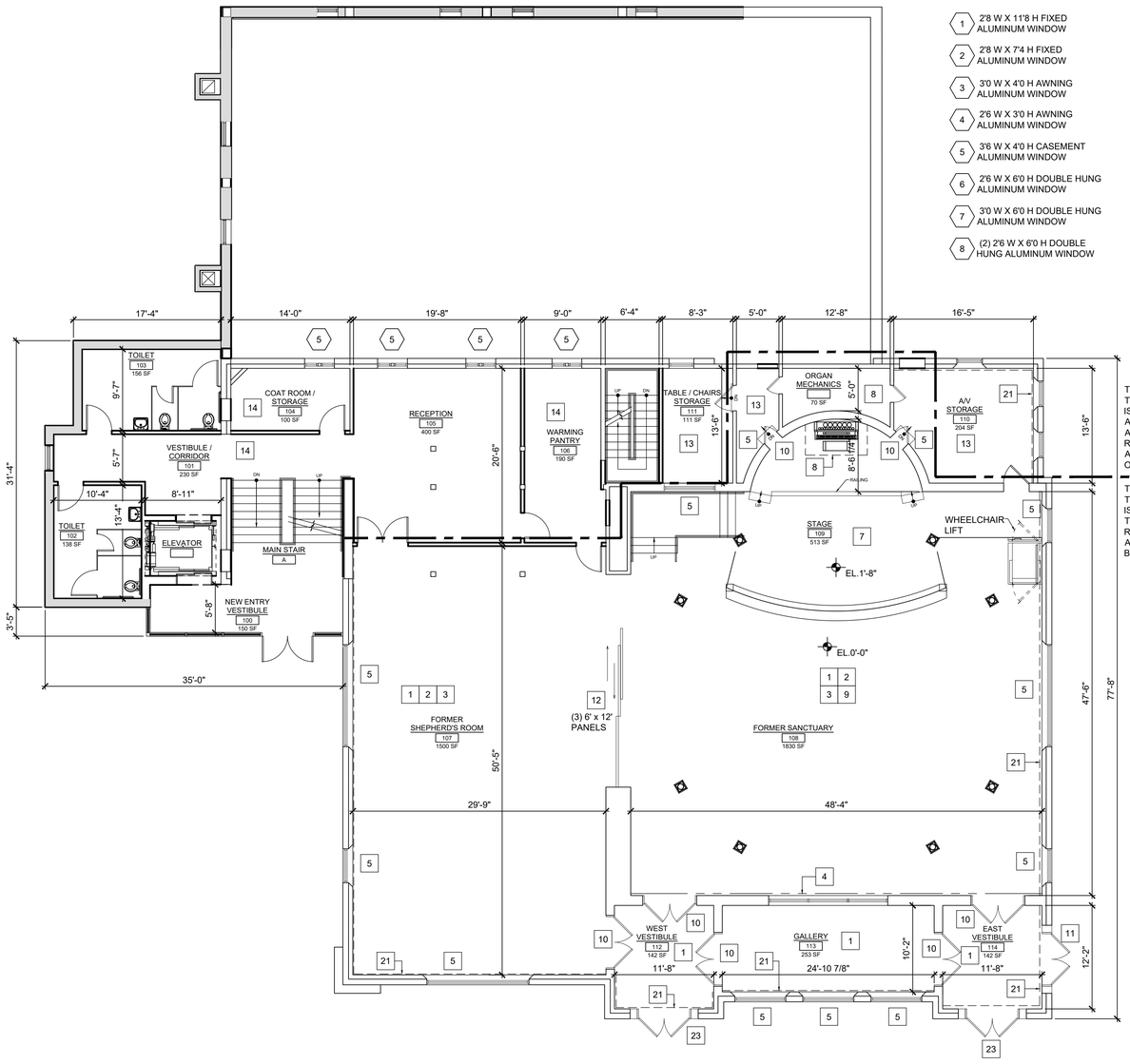

N

1 SANCTUARY LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

Room No	Room Name	Ceiling	Walls	Flooring	Notes
Sanctuary Level (1st Floor)					
100	New Entry Vestibule	Exposed structure?	Gyp - Paint	Entry Mat System w/ Marm	
A	Main Stair	Gyp - Paint	Ptd Gyp w/ WP to 48"	Rubber treads	Wall Proection (Koroguard, Lumicor)
101	Vestibule/Corridor	ACT 2	Ptd Gyp w/ WP to 48"	Marmoleum	Wall Proection (Koroguard, Lumicor)
102 & 103	Toilet Rooms (2)	ACT 2	Tile to 60", then ptd gyp	Tile	
104	Coat Room/Storage	ACT 2	Gyp - Paint	Marmoleum	
105	Reception	Gyp - Paint	Gyp - Paint*	Wood	Chair rail? Wainscotting?
106	Warming Pantry	ACT 3	Ptd Gyp w/ WP to 60"	Marmoleum	FRP
107	Shepherd's Room	(Tin and Plaster) Paint	Plaster - Paint	ETR	extg wainscotting
108	Sanctuary	(Tin and Plaster) Paint	Plaster - Paint	Wood (new & ETR)	extg wainscotting
109	Alter/Stage	(Plaster) Paint	Plaster - Paint	??	
110	Storage Right (A/V)	ACT 1	Gyp - Paint	VCT	
111	Storage Left (T&C)	ACT 1	Gyp - Paint	VCT	
112	West Vestibule	ACT 2 w/ Gyp soffit	Plaster - Paint	WO Carpet	
113	Gallery	ACT 2	Gyp - Paint	WO Carpet	extg wainscotting (only install gyp above)
114	East Vestibule	ACT 2 w/ Gyp soffit	Plaster - Paint	WO Carpet	

FINISH SCHEDULE NOTES:
ACT 1 - 2x4
ACT 2 - 2x2
ACT 3 - 2x4 SANITARY TILE FOR FOOD SERVICE
MARMOLEUM SHEET GOODS

INTERIOR SCOPE NOTES

1. AT EXISTING WALLS: REFINISH EXISTING STAINED WOOD TRIM, WAINSCOTING, CHAIR RAILS, CASING, ETC. SAND AND REFINISH THROUGHOUT WITH (3) COATS OF STAIN, SANDING BETWEEN COATS.
2. AT EXISTING FLOORS: SAND AND REFINISH THROUGHOUT WITH (3) COATS OF STAIN, SANDING BETWEEN COATS.
3. CAREFULLY REPAIR AND REFASTEN EXISTING TIN CEILINGS TO JOISTS ABOVE. REPAINT ALL WITH (3) COATS OF FLAT CEILING PAINT. WHERE WOOD TRIM IS LOOSE OR DAMAGED, REFASTEN, SAND AND REFINISH WITH (3) COATS OF SEMI-GLOSS PAINT. IF TRIM IS DAMAGED BEYOND REPAIR DUE TO WATER DAMAGE, REPLACE IN-KIND WITH LIKE PROFILE.
4. FOR PLASTER REPAIRS: CAREFULLY CUT OUT AND GENTLY PULL AWAY DAMAGED AREAS. ANCHOR ADJACENT SALVAGEABLE AREAS, RE-SECURE LOOSE LATH TO STUDS. WHERE LATH IS DAMAGED BY WATER (WARPED, SWOLLEN, OR MOLD RIDDED), REMOVE AND REPLACE IN-KIND WITH NEW. PRE-DRILL LATH TO AVOID SPLITTING. VACUUM OUT ALL DEBRIS. FINISH WITH THREE COATS OF PLASTER, SANDING AND BLENDING INTO SURROUNDING AREAS PRIOR TO FINAL COATS OF PAINT.
5. REMOVE EXISTING STAINED GLASS WINDOW WITH INTENT TO RESTORE. OPENINGS SHALL BE PATCHED, REPAIRED, RE-FLASHED, AND PREPARED FOR REINSTALLATION OF WINDOW. ANY AND ALL WOOD TRIM, OR MUNTINS AT WINDOWS SHALL BE CAREFULLY REMOVED, REPAIRED, AND SANDED AND REFINISHED TO MATCH EXISTING FINISH. (GENERALLY PAINTED AT INTERIOR OF SANCTUARY AND SHEPHERD'S ROOM, CLEAR COAT STAINED AT OTHER LOCATIONS.
6. REMOVE EXISTING WOOD WINDOWS, INSPECT SURROUNDING PLASTER AND OPENING FOR DAMAGE. REPAIR IN ACCORDANCE WITH PLASTER REPAIR NOTES (ABOVE) WHERE INDICATED ON PLAN. WHERE INDICATED ON PLAN, INFILL WALL WITH WOOD STUD CONSTRUCTION TO MATCH EXISTING. CUT NEW OPENING FOR WINDOW AND INSTALL NEW FIXED WINDOWS. SIZE AND LOCATION DETAILED ON PLANS. SEE EXTERIOR SCOPE FOR ADDITIONAL DETAIL.
7. CONSTRUCT NEW ALTER / STAGE AT HEIGHT OF FIRST TIER (APPROXIMATELY 1-8" AFF.). EXTEND FACE OF ALTER / STAGE OUT TO MEET THE EXISTING BALUSTRADE. SALVAGE BALUSTRADE TO SERVE AS FACE OF NEW STAGE PLATFORM. NEW STAIR WITH HANDRAIL AND WHEELCHAIR LIFT FLANK EACH SIDE OF PLATFORM.
8. DURING CONSTRUCTION, EXISTING PIPE ORGAN AND ITS MECHANICS BEYOND THE ALTER SHALL BE PROTECTED FROM DUST, DEBRIS AND DAMAGE. FOLLOWING CONSTRUCTION, PIPE ORGAN SHALL BE CLEANED AND RESTORED TO PRESERVE ITS GENERAL CHARACTER AND APPEARANCE. SCOPE DOES NOT INCLUDE TUNING OR RESTORATION TO OPERATION OF ORGAN AT THIS TIME.
9. OVER-FRAME EXISTING SANCTUARY FLOOR TO IN-FILL CURVED PROFILE. AT INTERSECTION OF OLD AND NEW, DEVISE A REVEAL TO ARTICULATE TRANSITION OF MATERIALS.
10. REMOVE, REPAIR, AND REFURBISH EXISTING DOORS TO SANCTUARY AND VESTIBULES. SAND AND REFINISH WITH CLEAR COAT STAIN AT INTERIORS TO MATCH EXISTING. EXTERIOR FINISH TO BE PAINTED, COLOR AS SELECTED BY ARCHITECT.
11. REMOVE EXISTING EXTERIOR DOORS AND FRAMES AND REPLACE WITH NEW HOLLOW METAL DOORS (INCLUDE VISION GLASS IN DOORS) AND FRAMES. INSPECT OPENINGS FOR WATER DAMAGE AND REPAIR SURROUNDING AS NECESSARY, INSTALL NEW FLASHING AND CAULKING AS RECOMMENDED FOR WATER-TIGHT INSTALLATION.
12. REMOVE AND RESTORE FUNCTIONALITY TO EXISTING LARGE SCALE SLIDING PARTITIONS. REPAIR / REPLACE ANY BROKEN GLASS, SAND AND REFINISH. LUBRICATE FITTINGS AND BEARINGS TO RETURN TO OPERATION.
13. PREPARE SUBFLOOR WITH 1/4" PLYWOOD UNDERLAYMENT IF NECESSARY TO LEVEL FLOORING. INSTALL NEW VINYL TILE AND RUBBER BASE AS SCHEDULED.
14. PREPARE SUBFLOOR TO LEVEL FLOORING AS RECOMMENDED BY MANUFACTURER AND INSTALL NEW RESILIENT SHEET FLOORING, MARMOLEUM, OR EQUIVALENT.
15. REMOVE AND REPLACE EXISTING SUBSTRUCTURE AND SUBFLOORING AS DESCRIBED IN T&M REPORT.
16. GYMNASIUM TO RECEIVE NEW CONCRETE 5" SLAB AND PERFORMANCE SHEET FLOORING.
17. REMOVE EXISTING PLASTER FINISH AND LATH DOWN TO WOOD STUDS. INSTALL INSULATION IN WALL CAVITY AND FINISH WITH ½" DRYWALL, TAPE AND TWO COATS OF SPACKLE, SANDING BETWEEN COATS, FINISH WITH (2) COATS OF LATEX PAINT.
18. INSTALL NEW ALUMINUM WINDOWS AT GYMNASIUM.
19. REMOVE EXISTING WINDOWS. INSTALL NEW CONTINUOUS LINTEL AND PREPARE AREA TO RECEIVE NEW LOUVER FOR FRESH AIR INTAKE. REFER TO MECHANICAL DRAWINGS.
20. EXCAVATE OUT EXISTING PORTION OF CRAWLSPACE. CONSTRUCT NEW RETAINING WALL AT ADJOINING.
21. INSTALL INSULATION AT PERIMETER WALLS.
22. NEW DRYWALL ASSEMBLY AT THE GYMNASIUM IS AS FOLLOWS:
2x6 STUD WITH 3/4" PLYWOOD AND 1/2"GYP. BD.
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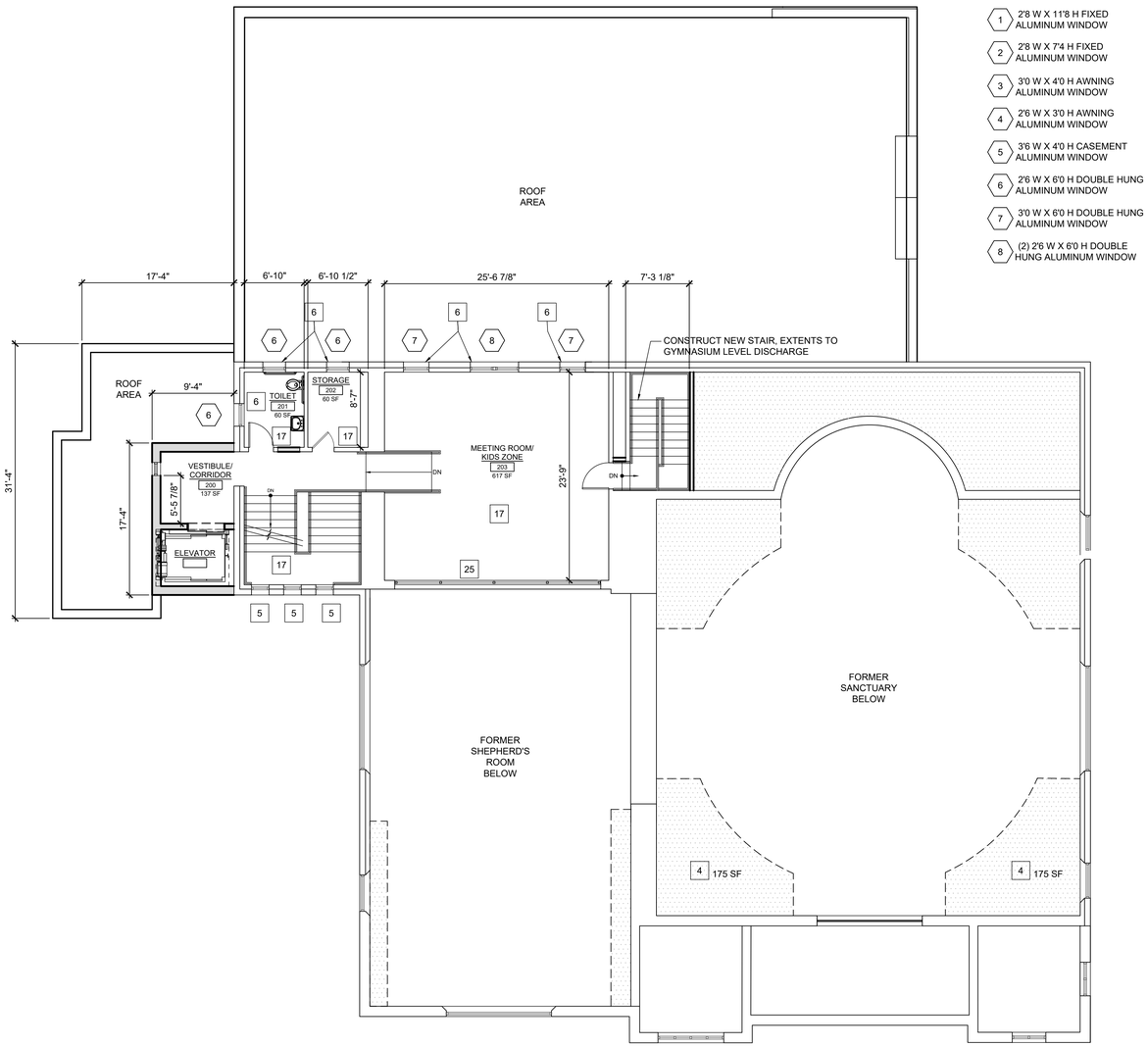
Drawn By: JB/JMB
Checked By: RA

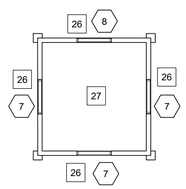
Sheet Name:
SANCTUARY LEVEL PLAN

Sheet No:
A-101
Sheet - of 000

P:\2021\21-066 BRADLEY BEACH_FIRST UNITED METHODIST CHURCH\DRAWINGS\SCHEM-DESIGN\



1 2'8 W X 11'8 H FIXED ALUMINUM WINDOW
2 2'8 W X 7'4 H FIXED ALUMINUM WINDOW
3 3'0 W X 4'0 H AWNING ALUMINUM WINDOW
4 2'6 W X 3'0 H AWNING ALUMINUM WINDOW
5 3'6 W X 4'0 H CASEMENT ALUMINUM WINDOW
6 2'6 W X 6'0 H DOUBLE HUNG ALUMINUM WINDOW
7 3'0 W X 6'0 H DOUBLE HUNG ALUMINUM WINDOW
8 (2) 2'6 W X 6'0 H DOUBLE HUNG ALUMINUM WINDOW



UPPER BELL TOWER

1 SECOND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

Room No	Room Name	Ceiling	Walls	Flooring	Notes
Upper Level (2nd Floor)					
200	Vestibule/Corridor	Gyp - Paint	Gyp - Paint	Marmoleum	
201	Toilet	ACT 2	Tile to 60", then ptd gyp	Tile	
202	Storage	ACT 2	Gyp - Paint	Marmoleum	
203	Meeting/Kids Zone	ACT 2 w/ Gyp Soffit	Gyp - Paint	Marmoleum	Pattern - assume 2-3 colors

FINISH SCHEDULE NOTES:
ACT 1 - 2x4
ACT 2 - 2x2
ACT 3 - 2x4 SANITARY TILE FOR FOOD SERVICE
MARMOLEUM SHEET GOODS

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1. AT EXISTING WALLS: REFINISH EXISTING STAINED WOOD TRIM, WAINSCOTING, CHAIR RAILS, CASING, ETC. SAND AND REFINISH THROUGHOUT WITH (3) COATS OF STAIN, SANDING BETWEEN COATS.
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27. REPAIR FLOOR STRUCTURE AT BELL TOWER. CREATE PLATFORM TO SHOWCASE BELL. PROVIDE COLOR. CHANGE ACCENT LIGHTING.

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Drawing Information:
Project No: 21.066
Date: 06.01.22
Drawn By: JB/JMB
Checked By: RA

Sheet Name:
SECOND LEVEL PLAN

Sheet No:
A-102
Sheet - of 000

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

2 WEST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR NEW WORK NOTES

1. DEMOLISH EXISTING SHINGLE ROOF SYSTEM IN ITS ENTIRETY DOWN TO WOOD DECKING AND DISPOSE. PROVIDE AND INSTALL NEW ASPHALT SHINGLE ROOF SYSTEM, OVER #30 BUILDING PAPER, OVER EXISTING WOOD DECKING.
APPROX. 13,707 SF TOTAL.

2. DEMOLISH EXISTING ALUMINUM SIDING AND SHEATHING AT ORIGINAL BELL TOWER OPENING. PREP EXISTING ROUGH OPENING FOR INSTALLATION OF NEW FIXED WINDOW(S).
APPROX. 200 SF TOTAL (4 UNITS)

3. DEMOLISH EXISTING ALUMINUM SIDING AND UNDERLAYMENT DOWN TO EXISTING SHEATHING. PROVIDE AND INSTALL NEW HARDIE SHINGLE STRAIGHT EDGE SIDING OVER NEW #15 BUILDING PAPER, OVER EXISTING SHEATHING.
APPROX. 1,970 SF TOTAL

4. DEMOLISH EXISTING BRICK CHIMNEY BELOW EXISTING ROOF LINE AND CAP.
APPROX. 3'-0 SQ. x 26'-0" HIGH

5. REMOVE EXISTING ALUMINUM SOFFIT AND FASCIA TO EXPOSE ORIGINAL CORNICE AND TRIM. REPAIR, REPLACE, AND PAINT EXISTING WOOD FASCIA, CORNICE, AND TRIM IN ITS ENTIRETY ALONG ROOF EDGE.
APPROX. 510 LF TOTAL

6. REPLACE EXISTING ALUMINUM FASCIA AND SOFFIT IN ITS ENTIRETY ALONG ROOF EDGE.
APPROX. 140 LF TOTAL

7. CAREFULLY REMOVE EXISTING ORNAMENTAL STAINED GLASS WINDOW IN ITS ENTIRETY TO BE RESTORED OFF SITE. REPAIR WINDOW OPENINGS TO BE SQUARE AND TRUE. INSTALL NEW FLASHING AND PREPARE FOR REINSTALLATION OF RESTORED STAINED GLASS WINDOW.

8. REMOVE EXISTING DOUBLE HUNG / AWNING / CASEMENT WINDOW IN ITS ENTIRETY AND DISPOSE. INSTALL NEW WINDOW TO MATCH EXISTING.

9. REMOVE EXISTING DOUBLE HUNG WINDOW IN ITS ENTIRETY AND DISPOSE. INFILL ROUGH OPENING AT SILL TO REDUCE HEIGHT BY 50%. INSTALL NEW AWNING WINDOW IN NEW ROUGH OPENING.

10. RECONSTRUCTION OF ORNAMENTAL BRICK PARAPET TO MATCH ORIGINAL DESIGN.
APPROX. 27 LF TOTAL

11. EXCAVATE, REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY, RE-FRAME NEW DOOR AND TRANSOM ROUGH OPENING AT LOWER ELEVATION. REFER TO PLANS FOR ADDITIONAL INFORMATION.

12. DEMOLISH EXISTING CONCRETE STAIRS IN THEIR ENTIRETY. FORM AND POUR NEW REINFORCED CONCRETE STAIRS TO MEET COMPLIANCE.
APPROX. 400 SF TOTAL

13. BRICK PIER - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BRICK, REPOINT EXISTING PIER AND APPLY PARGE COAT IN ITS ENTIRETY.
APPROX. 200 SF TOTAL - REPOINTING & PARGE COAT
APPROX 35 SF TOTAL - BRICK REPLACEMENT

14. BRICK FOUNDATION - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BRICK AND APPLY PARGE COAT.
APPROX. 5 SF TOTAL - BRICK & PARGE COAT

15. CINDER FOUNDATION - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BLOCK AND APPLY PARGE COAT.
APPROX. 50 SF TOTAL - BLOCK & PARGE COAT

16. BRICK REPOINTING - REMOVE EXISTING JOINT SEALANT. REPOINT EXISTING MORTAR JOINTS.
APPROX. 3,275 SF TOTAL

17. BRICK HEADER REPAIR - RESET EXISTING BRICK HEADER AND REPOINT MORTAR JOINTS.
APPROX. 35 SF TOTAL

18. BRICK SILL REPAIR - RESET BACKPITCHED SILLS TO SLOPE AWAY FROM FACADE AND REPOINT MORTAR JOINTS.
APPROX. 70 LF TOTAL

19. MASONRY OPENING LINTEL - INSTALL LINTELS AT EXISTING MASONRY ROUGH OPENINGS. EXISTING OPENINGS CURRENTLY NOT SUPPORTED BY LINTELS.
APPROX. 16 LF TOTAL

20. EXTERIOR DOORS - REMOVE EXISTING EXTERIOR DOORS AND FRAMES IN THEIR ENTIRETY AND DISPOSE. INSTALL NEW DOORS AND FRAMES TO MATCH EXISTING.

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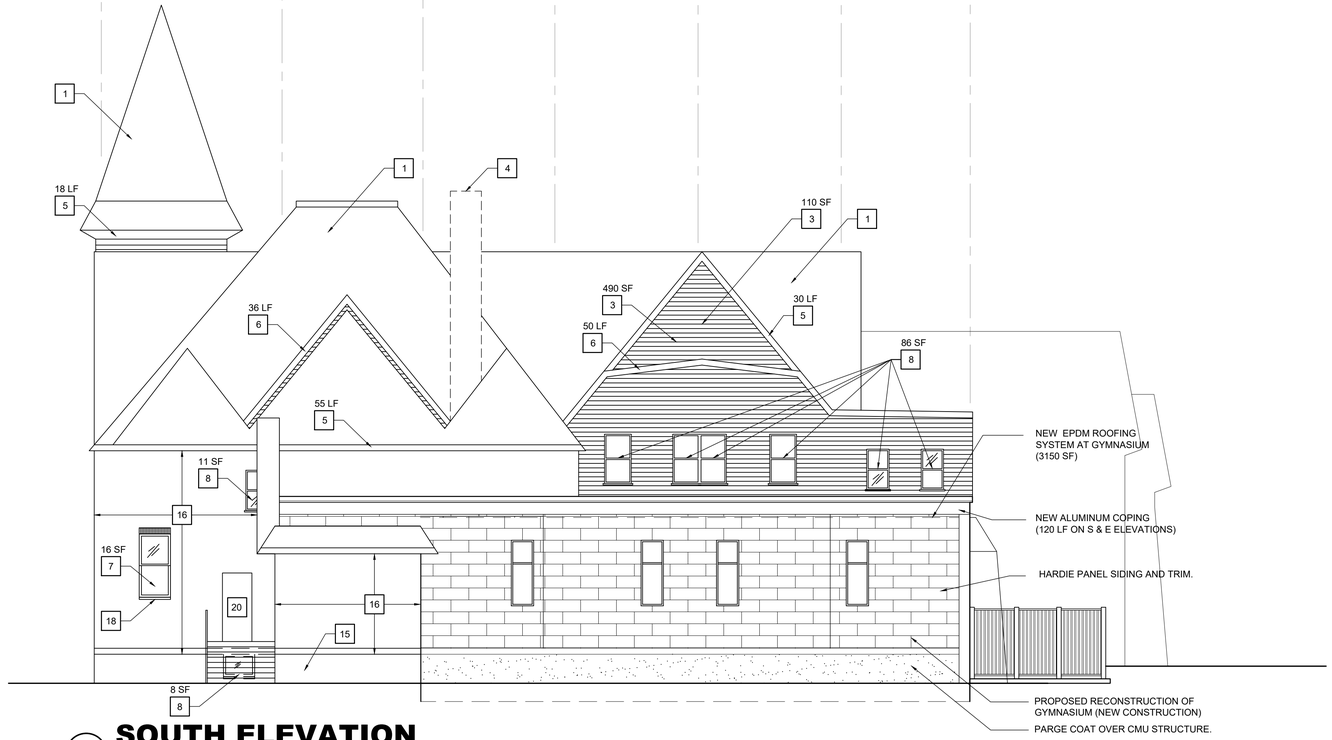
BUILDING ELEVATIONS

Sheet No:
A-201
Sheet - of 000



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2 EAST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR NEW WORK NOTES

1. DEMOLISH EXISTING SHINGLE ROOF SYSTEM IN ITS ENTIRETY DOWN TO WOOD DECKING AND DISPOSE. PROVIDE AND INSTALL NEW ASPHALT SHINGLE ROOF SYSTEM, OVER #30 BUILDING PAPER, OVER EXISTING WOOD DECKING.
   APPROX. 13,707 SF TOTAL.
2. DEMOLISH EXISTING ALUMINUM SIDING AND SHEATHING AT ORIGINAL BELL TOWER OPENING. PREP EXISTING ROUGH OPENING FOR INSTALLATION OF NEW FIXED WINDOW(S).
   APPROX. 200 SF TOTAL (4 UNITS)
3. DEMOLISH EXISTING ALUMINUM SIDING AND UNDERLAYMENT DOWN TO EXISTING SHEATHING. PROVIDE AND INSTALL NEW HARDIE SHINGLE STRAIGHT EDGE SIDING OVER NEW #15 BUILDING PAPER, OVER EXISTING SHEATHING.
   APPROX. 1,970 SF TOTAL
4. DEMOLISH EXISTING BRICK CHIMNEY BELOW EXISTING ROOF LINE AND CAP.
   APPROX. 3'-0 SQ. x 26'-0" HIGH
5. REMOVE EXISTING ALUMINUM SOFFIT AND FASCIA TO EXPOSE ORIGINAL CORNICE AND TRIM. REPAIR, REPLACE, AND PAINT EXISTING WOOD FASCIA, CORNICE, AND TRIM IN ITS ENTIRETY ALONG ROOF EDGE.
   APPROX. 510 LF TOTAL
6. REPLACE EXISTING ALUMINUM FASCIA AND SOFFIT IN ITS ENTIRETY ALONG ROOF EDGE.
   APPROX. 140 LF TOTAL
7. CAREFULLY REMOVE EXISTING ORNAMENTAL STAINED GLASS WINDOW IN ITS ENTIRETY TO BE RESTORED OFF SITE. REPAIR WINDOW OPENINGS TO BE SQUARE AND TRUE. INSTALL NEW FLASHING AND PREPARE FOR REINSTALLATION OF RESTORED STAINED GLASS WINDOW.
8. REMOVE EXISTING DOUBLE HUNG / AWNING / CASEMENT WINDOW IN ITS ENTIRETY AND DISPOSE. INSTALL NEW WINDOW TO MATCH EXISTING.
9. REMOVE EXISTING DOUBLE HUNG WINDOW IN ITS ENTIRETY AND DISPOSE. INFILL ROUGH OPENING AT SILL TO REDUCE HEIGHT BY 50%. INSTALL NEW AWNING WINDOW IN NEW ROUGH OPENING.
10. RECONSTRUCTION OF ORNAMENTAL BRICK PARAPET TO MATCH ORIGINAL DESIGN.
    APPROX. 27 LF TOTAL
11. EXCAVATE, REMOVE EXISTING DOOR AND TRANSOM IN ITS ENTIRETY, RE-FRAME NEW DOOR ROUGH OPENING AT LOWER ELEVATION. REFER TO PLANS FOR ADDITIONAL INFORMATION.
12. DEMOLISH EXISTING CONCRETE STAIRS IN THEIR ENTIRETY. FORM AND POUR NEW REINFORCED CONCRETE STAIRS TO MEET COMPLIANCE.
    APPROX. 400 SF TOTAL
13. BRICK PIER - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BRICK, REPOINT EXISTING PIER AND APPLY PARGE COAT IN ITS ENTIRETY.
    APPROX. 200 SF TOTAL - REPOINTING & PARGE COAT
    APPROX 35 SF TOTAL - BRICK REPLACEMENT
14. BRICK FOUNDATION - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BRICK AND APPLY PARGE COAT.
    APPROX. 5 SF TOTAL - BRICK & PARGE COAT
15. CINDER FOUNDATION - DEMOLISH EXISTING SPALLED PARGE COAT. REPLACE BROKEN / FRACTURED BLOCK AND APPLY PARGE COAT.
    APPROX. 50 SF TOTAL - BLOCK & PARGE COAT
16. BRICK REPOINTING - REMOVE EXISTING JOINT SEALANT. REPOINT EXISTING MORTAR JOINTS.
    APPROX. 3,275 SF TOTAL
17. BRICK HEADER REPAIR - RESET EXISTING BRICK HEADER AND REPOINT MORTAR JOINTS.
    APPROX. 35 SF TOTAL
18. BRICK SILL REPAIR - RESET BACKPITCHED SILLS TO SLOPE AWAY FROM FACADE AND REPOINT MORTAR JOINTS.
    APPROX. 70 LF TOTAL
19. MASONRY OPENING LINTEL - INSTALL LINTELS AT EXISTING MASONRY ROUGH OPENINGS. EXISTING OPENINGS CURRENTLY NOT SUPPORTED BY LINTELS.
    APPROX. 16 LF TOTAL
20. EXTERIOR DOORS - REMOVE EXISTING EXTERIOR DOORS AND FRAMES IN THEIR ENTIRETY AND DISPOSE. INSTALL NEW DOORS AND FRAMES TO MATCH EXISTING.

No.	Date	Description
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ARCHITECTURE FOR CHANGE
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1417 N. 2nd St, Ste.3M • Philadelphia, PA 19122 • T: 215.634.3400

Richard D. Alderiso , AIA
NJ RA AI 15023, NY RA 027416, PA RA 405474

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DO NOT SCALE. DRAWING MAY BE PRINTED AT REDUCED SCALE. CONSULT WITH ARCHITECT FOR DIMENSIONS.

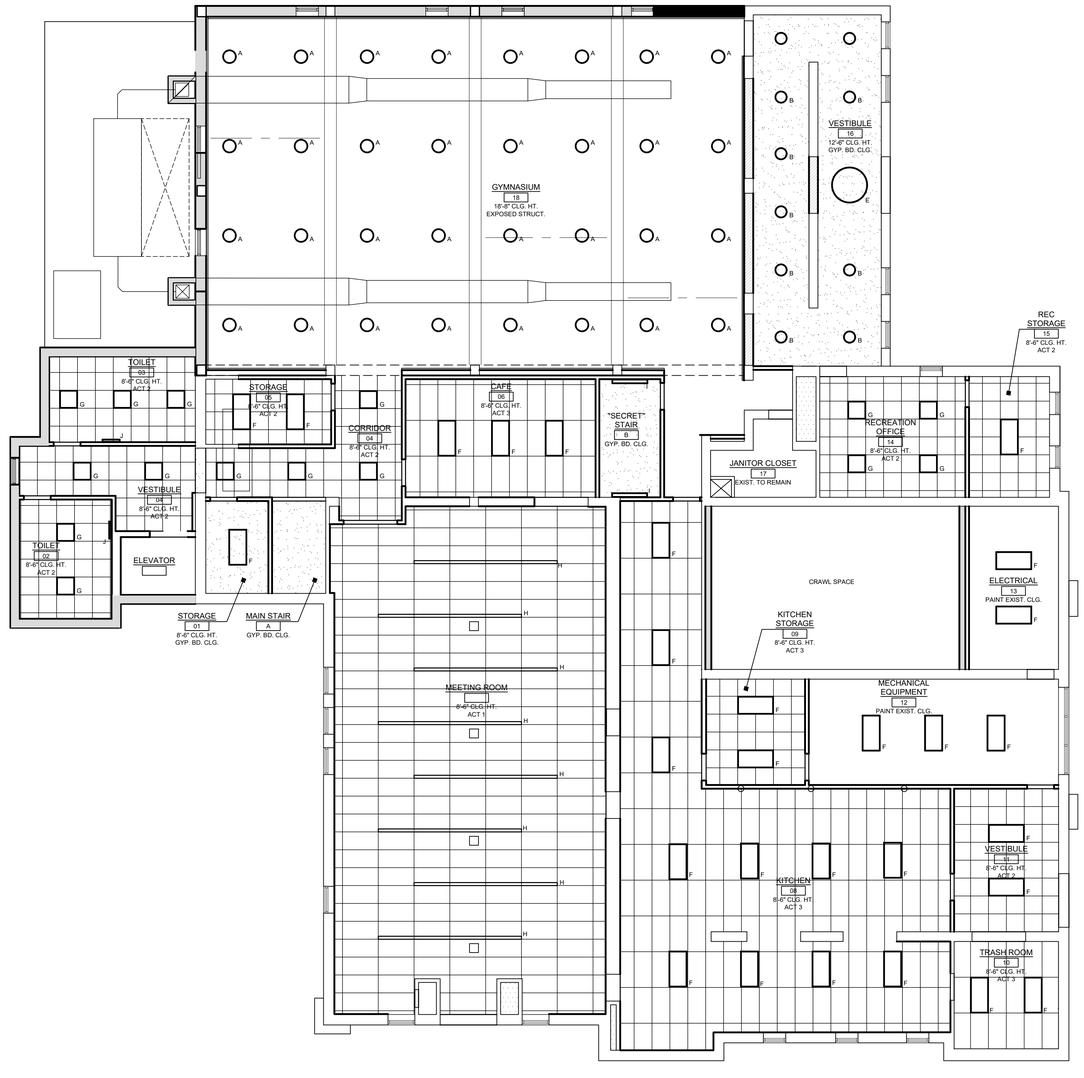
Client:
BOROUGH OF BRADLEY BEACH
719 MAIN STREET
BRADLEY BEACH, NEW JERSEY 07720

Project:
FIRST UNITED METHODIST CHURCH
319 LAREINE AVENUE
BRADLEY BEACH, NEW JERSEY 07720

Drawing Information:
Project No: 21.066
Date: 06.01.22
Drawn By: JB/JMB
Checked By: RA

Sheet Name:
BUILDING ELEVATIONS

Sheet No:
A-202
Sheet - of 000



RCP LEGEND

- A - GYMNASIUM 18" PENDANT
- B - 12" RECESSED LIGHT
- C - 24" RING PENDANT
- D - 36" RING PENDANT
- E - 48" RING PENDANT
- F - 2 x 4 LED PANEL
- G - 2 x 2 LED PANEL
- H - 4" LINEAR SLOT LIGHT FIXTURES
- I - 4' WALL MOUNTED LINEAR SCONCE
- J - VANITY FIXTURE
- L - DIRECTIONAL WALL WASH
- M - 4" DOWN LIGHT
- N - COVE LIGHTING
- O - TWO WIRE ADJUSTABLE SYSTEM LIGHTING
- P - WALL MOUNTED SCONCE

N

1 **LOWER LEVEL REFLECTED CEILING PLAN**

SCALE: 1/8" = 1'-0"

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Sheet Name:

LOWER LEVEL REFLECTED CEILING PLAN

Sheet No:

A-400

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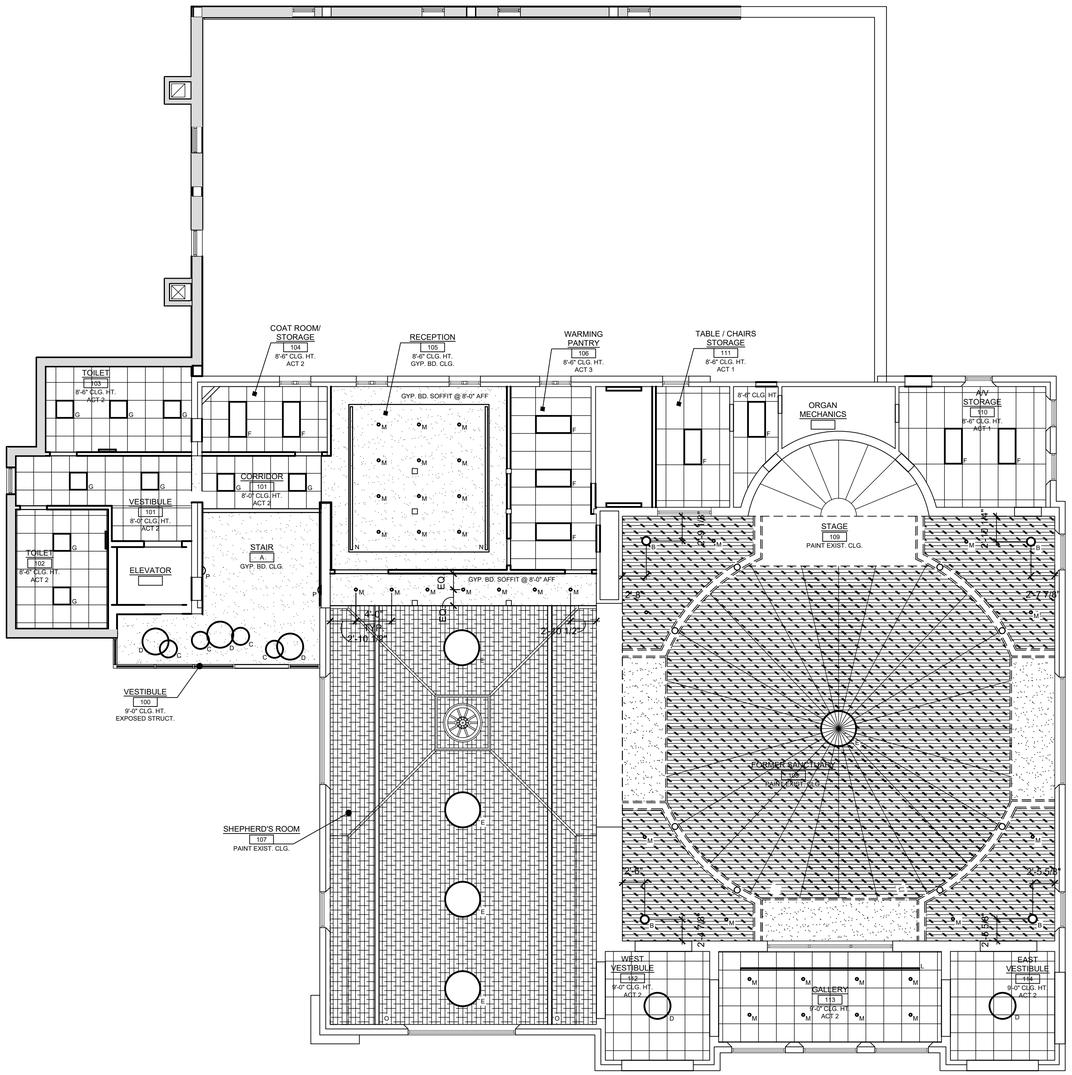

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1 SANCTUARY LEVEL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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- A - GYMNASIUM 18" PENDANT
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BRADLEY BEACH, NEW JERSEY 07720

Drawing Information:

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Sheet Name:

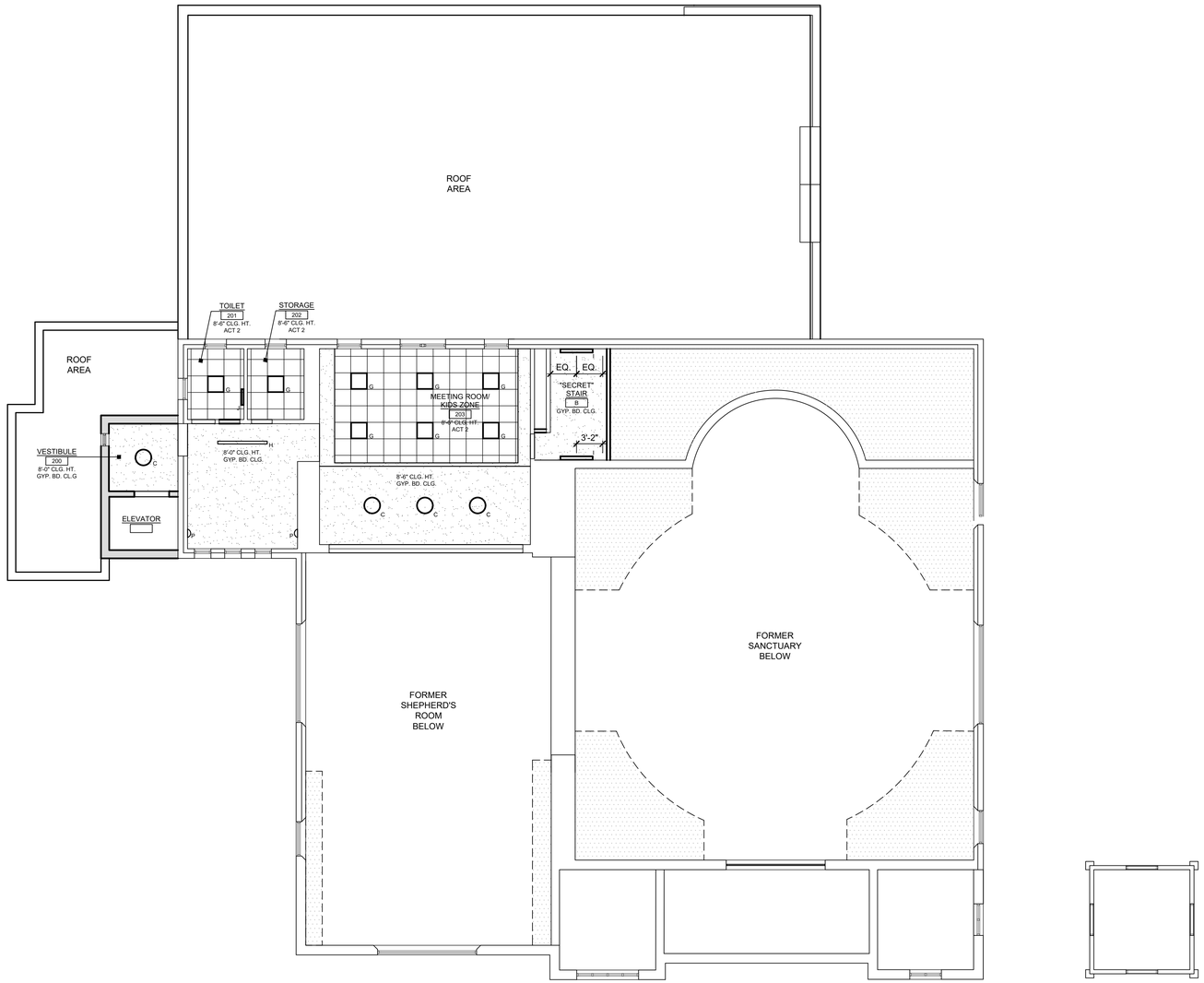
SANCTUARY LEVEL REFLECTED CEILING PLAN

Sheet No:

A-401

Sheet - of 000

P:\2021\21-066 BRADLEY BEACH_FIRST UNITED METHODIST CHURCH\DRAWINGS\SCHEM-DESIGN\



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- P - WALL MOUNTED SCONCE

N

1 SECOND LEVEL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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Sheet Name:

SECOND LEVEL
REFLECTED CEILING PLAN

Sheet No:

A-402

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MECHANICAL GENERAL INFORMATION

010000 GENERAL REQUIREMENTS

1. GENERAL
   A. DEFINITIONS:
      a. FURNISH: TO PURCHASE, PROCURE, ACQUIRE AND DELIVER, COMPLETE WITH RELATED ACCESSORIES.
      b. INSTALL: TO ERECT, MOUNT AND CONNECT, COMPLETE WITH RELATED ACCESSORIES.
      c. PROVIDE: TO FURNISH AND INSTALL.
      d. MECHANICAL CONTRACTOR, THE CONTRACTOR, THIS CONTACTOR: THE CONTRACTOR FOR MECHANICAL WORK, WHICH IS SPECIFIED HEREIN AND SHOWN ON THE DRAWINGS.
      e. OWNER: THE INDIVIDUAL OR ENTITY HOLDING OWNERSHIP OF THE PROPERTY, OR A DESIGNATED REPRESENTATIVE THEREOF, WHERE THE WORK IS TO BE PERFORMED, AND SHALL INCLUDE TENANTS LEASING SPACE AT THE LOCATION OF THE PROJECT, WHERE APPLICABLE.
   B. COMPLY WITH THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
      a. INTERNATIONAL BUILDING CODE – NEW JERSEY EDITION (IBC–NJ);
      b. INTERNATIONAL MECHANICAL CODE (IMC);
      c. NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC);
      d. NATIONAL STANDARD PLUMBING CODE (NSPC);
      e. INTERNATIONAL FUEL GAS CODE (IFGC);
      f. NATIONAL ELECTRIC CODE (NEC/NFPA 70);
      g. AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR–CONDITIONING ENGINEERS (ASHRAE);
      h. SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA);
      i. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA);
      j. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM);
      k. FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA);
      l. NEW JERSEY BARRIER–FREE REQUIREMENTS;
      m. APPLICABLE UNION AND EQUAL OPPORTUNITY STANDARDS OR REQUIREMENTS.
   C. CONTRACTOR–FURNISHED PRODUCTS
      a. CONTRACTOR SHALL FURNISH PRODUCTS INDICATED. THE WORK INCLUDES DELIVERING, UNLOADING, HANDLING, STORING AND PROTECTING CONTRACTOR–FURNISHED PRODUCTS AS DIRECTED AND TURNING THEM OVER TO OWNER AT PROJECT CLOSEOUT.
      b. SPARE PARTS
         b.1. PROVIDE ONE SET OF SPARE BELTS FOR ALL BELT DRIVEN EQUIPMENT.
         b.2. PROVIDE ONE SET OF REPLACEMENT FILTERS FOR ALL EQUIPMENT FURNISHED WITH THROWAWAY FILTERS.
   D. ACCESS TO SITE
      a. KEEP DRIVEWAYS, PARKING GARAGE, LOADING AREAS, ENTRANCES, ETC. SERVING PREMISES CLEAR AND AVAILABLE TO OWNER, OWNER'S EMPLOYEES AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS.

2. PRODUCTS
   A. PROVIDE ALL MATERIALS, TOOLS, SUPERVISION AND LABOR REQUIRED FOR THE MECHANICAL INSTALLATION SHOWN OR DESCRIBED ON THE DRAWINGS AND IN THESE SPECIFICATIONS.
   B. ALL PRODUCTS AND MATERIALS SHALL BE NEW AND LISTED BY A RECOGNIZED TESTING LABORATORY.
   C. COLOR AND FINISH SELECTIONS FOR ALL PRODUCTS AND MATERIALS SHALL BE AS DIRECTED OR APPROVED BY THE ARCHITECT.
   D. ALL COMPONENTS AND ACCESSORIES OF EQUIPMENT AND PRODUCTS OF THE MECHANICAL WORK SHALL BE INCLUDED SO AS TO MAKE THE WORK COMPLETE IN ALL RESPECTS, EVEN IF NOT INDICATED OR SPECIFIED.

3. EXECUTION
   A. OBTAIN ALL PERMITS, PAY ALL FEES AND SCHEDULE ALL REQUIRED INSPECTIONS. COPIES OF ALL PERMITS AND INSPECTION CERTIFICATES SHALL BE FORWARDED TO THE OWNER FOR RECORD.
   B. CONTACT UTILITY SERVICE PROVIDERS, COORDINATE AND ARRANGE FOR THE INSTALLATION OF ALL UTILITY SERVICES INCLUDING PAYMENT OF ALL APPLICABLE FEES.
   C. THE GENERAL CONDITIONS OF THE CONTRACT AND ALL DIVISION 1 REQUIREMENTS APPLY TO THE WORK OF THIS SECTION.
   D. COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF ALL UTILITY SERVICE PROVIDERS AND ALL AUTHORITIES HAVING JURISDICTION.
   E. COMPLY WITH ALL THE REQUIREMENTS OF THE OWNER'S INSURANCE CARRIER.
   F. WHERE APPLICABLE, COMPLY WITH THE PUBLISHED REQUIREMENTS OR STANDARDS OF THE LANDLORD OR PROPERTY MANAGER.
   G. INSTALL DUCTWORK, PIPING, AND EQUIPMENT IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES TO ENSURE THE INSTALLATION COMPLIES WITH REQUIREMENTS AND SERVES INTENDED PURPOSES. MAINTAIN ALL REQUIRED AND RECOMMENDED CLEARANCES.
   H. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING BID TO DETERMINE ALL CONDITIONS AFFECTING HIS SCOPE OF WORK AND BID PRICE.
   I. SUBMITTALS:
      a. SUBMIT SHOP DRAWINGS FOR THE FOLLOWING:
         a.1. ALL SCHEDULED MECHANICAL EQUIPMENT;
         a.2. SHEET METAL SHOP STANDARDS, INCLUDING BUT NOT LIMITED TO:
            (a) RECTANGULAR DUCTS AND FITTINGS;
            (b) ROUND DUCTS AND FITTINGS;
            (c) SHEET METAL MATERIALS;
            (d) SEALANTS AND GASKETS;
            (e) HANGERS AND SUPPORTS;
            (f) AIR DUCT ACCESSORIES
         a.3. SHEET METAL LAYOUT: DETAIL AT 3/8" SCALE, THE DUCTWORK LAYOUT INDICATING SIZES, CONFIGURATION, STATIC=PRESSURE CLASSES, ELEVATIONS OF TOP AND BOTTOM OF DUCTS, AND DIMENSIONS OF MAIN DUCT RUNS FROM BUILDING GRID LINES.
         a.4. PIPING SHOP STANDARDS, INCLUDING BUT NOT LIMITED TO:
            (a) HYDRONIC PIPING SPECIALTIES;
            (b) REFRIGERANT PIPING SPECIALTIES;
            (c) SPECIAL DUTY VALVES.
         a.5. PIPING LAYOUT: DETAIL AT ¼" SCALE, THE PIPING LAYOUT, FABRICATION OF PIPE ANCHORS, HANGERS, SUPPORTS, ALIGNMENT GUIDES, EXPANSION JOINTS AND LOOPS AND ATTACHMENTS OF THE SAME TO THE BUILDING STRUCTURE.
         a.6. BALANCING CONTRACTOR QUALIFICATIONS;
         a.7. TEST AND BALANCING REPORTS;
         a.8. AUTOMATIC TEMPERATURE CONTROLS;
      b. SUBMIT CLOSE–OUT DOCUMENTS, INCLUSIVE OF ALL EQUIPMENT O&M MANUALS, WARRANTIES, AND AS–BUILT DRAWINGS INDICATING ALL ALTERNATIONS, ADDITIONS AND DELETIONS OF THE SYSTEMS DESIGNED AND AS SHOWN ON THE CONTRACT DOCUMENTS.
      c. SUBMITTALS FROM SUPPLIERS OR MANUFACTURERS WHICH DO NOT BEAR THE STAMP OF THE SUBMITTING CONTRACTOR INDICATING THAT THE CONTRACTOR HAS REVIEWED THE SUBMITTAL FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS WILL BE RETURNED REJECTED.
      d. THE ENGINEER'S REVIEW OF SUBMITTALS IS A COURTESY WHICH DOES NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, REGARDLESS OF THE ACTION INDICATED BY THE SHOP DRAWING STAMP.
      e. SUBSTITUTIONS: ALL SPECIFIED EQUIPMENT SHALL SERVE AS THE BASIS OF DESIGN. ALL BIDS SHALL BE BASED ON THE SPECIFIED MANUFACTURER(S). SUBSTITUTIONS OF OTHER MANUFACTURER'S EQUIPMENT SHALL BE CONSIDERED BY THE ENGINEER, PROVIDED THE SUBSTITUTION IS INDICATED PRIOR TO BIDDING, WITH THE REASON FOR THE PROPOSED SUBSTITUTION IDENTIFIED, AND THE PROPOSED CREDIT TO THE OWNER INDICATED. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR COORDINATING THE WORK OF OTHER TRADES THAT ARE AFFECTED BY SUBSTITUTIONS, INCLUSIVE OF ALL RELATED COSTS.
   J. DRAWINGS
      a. THE DRAWINGS ARE DIAGRAMMATIC AND SHOW THE APPROXIMATE LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, CONTROLS, ETC. EXACT LOCATIONS OF SUCH ITEMS SHALL BE COORDINATED IN THE FIELD WITH THE ARCHITECTURAL DRAWINGS AND/OR THE OWNER AS CONSTRUCTION PROCEEDS. COORDINATE THE MECHANICAL WORK WITH THE WORK OF OTHER TRADES.
      b. PROVIDE ALL NECESSARY INCIDENTAL MATERIALS AND ACCESSORIES REQUIRED TO COMPLETE WORK IN ALL RESPECTS, EVEN IF NOT PARTICULARLY SHOWN OR SPECIFIED.
      c. VERIFY EXISTING CONDITIONS BEFORE COMMENCING WORK, AND REPORT ANY DISCREPANCIES TO THE ENGINEER. BY COMMENCING WORK THE CONTRACTOR ACKNOWLEDGES HIS CONFIRMATION OF ALL EXISTING CONDITIONS IS ACCEPTABLE WITH REFERENCE TO HIS CONTRACT, SCOPE OF WORK AND BID PRICE.
   K. ACCESS PANELS
      a. ALL MANUAL VOLUME DAMPERS, FIRE DAMPERS, SMOKE DAMPERS, BALANCING VALVES, SHUT–OFF VALVES, MOTORIZED VALVES, EQUIPMENT, DISCONNECT SWITCHES, ETC. REQUIRING FUTURE ACCESS OR SERVICE SHALL BE CLEARLY IDENTIFIED AND COMMUNICATED TO THE GENERAL CONTRACTOR.
      b. FOR ALL AREAS WHICH THE GENERAL CONSTRUCTION WILL LIMIT THE ACCESS TO THE ABOVE DEVICES, THE MECHANICAL CONTRACTOR SHALL FURNACE ACCESS PANELS TO BE TURNED OVER TO THE GENERAL CONTRACTOR FOR INSTALLATION.
      c. ACCESS PANELS SHALL BE PAINTED STEEL WITH A CONTINUOUS HINGE AT ONE SIDE AND A SCREW LOCK OPPOSITE THE HINGE.
      d. ACCESS PANEL SIZE SHALL BE AS REQUIRED TO PROVIDE PROPER ACCESS TO THE DEVICE SERVED.
   L. BASIC MECHANICAL METHODS
      a. ROUTE DUCTWORK AND PIPING IN AN ORDERLY MANNER, PLUMB AND PARALLEL TO BUILDING FEATURES. INSTALL WORK TO CONSERVE BUILDING SPACE.
      b. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS OR CONNECTED EQUIPMENT.
      c. REDUCTIONS IN PIPE SIZES SHALL BE MADE WITH ONE PIECE REDUCING FITTINGS. BUSHINGS ARE NOT ACCEPTABLE. PROVIDE FLANGED FITTINGS AT BASE OF RISERS.
      d. ALL WORK WHICH REQUIRES DISRUPTION OF THE ROOFING SHALL BE DONE BY A CONTRACTOR CERTIFIED BY THE ROOFING MANUFACTURER AS REQUIRED TO MAINTAIN ANY EXISTING ROOF WARRANTIES.
      e. EXTERIOR INSTALLATIONS TO BE WEATHER PROOF IN ALL RESPECTS.
      f. EXTERIOR MATERIALS AND EQUIPMENT SHALL BE PAINTED TO PREVENT CORROSION, COLOR PER ARCHITECT.
      g. ALL MOTOR OPERATED EQUIPMENT SHALL BE PROVIDED WITH VIBRATION ISOLATORS.
      h. ALL PIPING AND DUCTWORK PENETRATIONS THROUGH PARTITIONS OR FLOOR/CEILING ASSEMBLIES SHALL BE STEEL SLEEVED. PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR/CEILING ASSEMBLIES SHALL BE SEALED WITH 3M BRAND UL RATED FIRE BARRIER CAULK OR APPROVED EQUAL.
      i. INSTALL SLEEVE–SEAL SYSTEMS IN SLEEVES IN EXTERIOR CONCRETE WALLS AND SLABS–ON–GRADE AT SERVICE PIPING ENTRIES INTO BUILDING. SLEEVE–SEAL SYSTEMS SHALL BE AS MANUFACTURED BY LINKSEAL MODULAR SEALS OR APPROVED EQUAL.
      j. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING ASSOCIATED WITH THE MECHANICAL WORK. FINISHED OPENINGS SHALL MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES.
      k. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE EQUIPMENT OR PRODUCT MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
      l. ALL SYSTEMS SHALL OPERATE WITHOUT OBJECTIONABLE NOISE OR VIBRATION.
      m. ALL DUCTWORK AND PIPING IN FINISHED SPACES SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
      n. INSTALL PIPING, VALVES AND DUCTWORK ACCESSORIES ABOVE ACCESSIBLE CEILINGS TO ALLOW FOR CEILING PANEL REMOVAL.
      o. INSTALL PIPE TO ALLOW FOR VALVE OPERATION AND MAINTENANCE AND SERVICE OF EQUIPMENT.
      p. CLEAN INTERIOR OF DUCTWORK AND PIPING. REMOVE DIRT AND DEBRIS AS WORK PROGRESSES. PLUG ENDS OF UNCOMPLETED PIPING AT THE END OF EACH DAY AND WHEN WORK STOPS.
      q. REAM ENDS OF PIPES AND TUBES AND REMOVE BURRS. REMOVE SCALE, SLAG, DIRT AND DEBRIS FROM INSIDE AND OUTSIDE PIPES, TUBES AND FITTINGS BEFORE ASSEMBLING. BEVEL PLAIN ENDS OF STEEL PIPE.
      r. LOW VOLTAGE WIRING SHALL BE PROVIDED BY THIS CONTRACTOR. THE CONTRACTOR FOR ELECTRICAL WORK SHALL BE RESPONSIBLE FOR LINE VOLTAGE WIRING.
      s. PIPING AND DUCTWORK SHALL NOT BE SUPPORTED FROM OTHER PIPE, CONDUIT OR DUCTWORK.
      t. PIPING HANGERS AND SUPPORTS SHALL BE IN ACCORDANCE WITH MSS SP–58.
      u. SEISMIC RESTRAINTS SHALL BE PROVIDED IN ACCORDANCE WITH IBC SECTION 1613.
      v. ALL EQUIPMENT SHALL BE PROVIDED WITH APPROPRIATE SUPPORTS.
      w. PROVIDE CHROME–PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGS IN ALL FINISHED SPACES EXPOSED TO VIEW.
      x. PREPARE PIPING CONNECTIONS TO EQUIPMENT WITH FLANGES AND UNIONS.
   M. EXISTING CONDITIONS.
      a. VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WITH THE MECHANICAL WORK.
      b. VERIFY EXISTING CONDITIONS BEFORE COMMENCING WORK, AND REPORT ANY DISCREPANCIES TO THE ENGINEER. BY COMMENCING WORK THE CONTRACTOR ACKNOWLEDGES HIS CONFIRMATION OF ALL EXISTING CONDITIONS AS ACCEPTABLE WITH REFERENCE TO HIS CONTRACT, SCOPE OF WORK AND BID PRICE.
      c. USE EXISTING CONNECTIONS AT MAINS AND RISERS WHEN AVAILABLE FOR THE CONNECTION OF NEW DUCTWORK AND PIPING.
   N. WARRANTY
      a. EQUIPMENT, MATERIALS AND WORKMANSHIP OF THE MECHANICAL INSTALLATION SHALL BE WARRANTED BY THE CONTRACTOR FOR MECHANICAL WORK FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
      b. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROMPTLY REPAIR AND CORRECT ANY FAULTY MATERIALS, WORKMANSHIP OR EQUIPMENT. ALL SETTLEMENTS OF SURFACES THAT OCCUR WITHIN THAT PERIOD SHALL ALSO BE PROMPTLY REPAIRED.
      c. ALL UNIT COMPRESSORS SHALL HAVE AN EXTENDED 5 YEAR WARRANTY.

024119 DEMOLITION

1. GENERAL
   A. DEFINITIONS
      a. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND DISPOSE OF THEM OFF–SITE UNLESS INDICATED TO BE SALVAGED FOR REINSTALLED.
      b. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER READY FOR REUSE.
      c. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
      d. EXISTING TO REMAIN: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.
   B. MATERIALS OWNERSHIP
      a. UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.
      b. WHERE INDICATED, REMOVE AND SALVAGE EXISTING ITEMS TO BE RETAINED BY THE OWNER.
   C. FIELD CONDITIONS
      a. CONDUCT DEMOLITION SO OWNER'S OPERATIONS WILL NOT BE DISRUPTED.
      b. NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION. THE DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING ITEMS.
      c. DISPOSE OF ALL REMOVED ITEMS AND MATERIALS AS SOON AS POSSIBLE, AND AT THE END OF EACH WORK SHIFT.
   D. WARRANTY
      a. REMOVE, REPLACE, PATCH AND REPAIR MATERIALS AND SURFACES CUT OF DAMAGED DURING DEMOLITION, BY METHODS AND WITH MATERIALS AND USING APPROVED CONTRACTORS SO AS NOT TO VOID EXISTING WARRANTIES. NOTIFY WARRANTOR BEFORE PROCEEDING.

2. PRODUCTS
   A. PERFORMANCE REQUIREMENTS
      a. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
      b. ANY EXISTING EQUIPMENT OR PIPING CONTAINING REFRIGERANT WHICH IS INDICATED TO BE DEMOLISHED, SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CLEAN AIR ACT OF 1990 AND ALL REGULATORY AGENCIES.
      c. ANY EXISTING EQUIPMENT OR PIPING CONTAINING GLYCOL WHICH IS INDICATED TO BE DEMOLISHED, SHALL BE DISPOSED ON IN ACCORDANCE WITH REQUIREMENTS OF ALL REGULATORY AGENCIES.

3. EXECUTION
   A. EXAMINATION
      a. VERIFY THAT ALL UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS.
   B. UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS
      a. EXISTING SERVICES/SYSTEMS TO REMAIN: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE.
   C. PROTECTION
      a. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS, FACILITIES OR TENANTS.
      b. EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION.
      c. REINSTALL ITEMS IN LOCATIONS INDICATED. COMPLY WITH INSTALLATION REQUIREMENTS FOR NEW MATERIALS AND EQUIPMENT. PROVIDE CONNECTS, SUPPORTS AND MISCELLANEOUS MATERIALS NECESSARY TO MAKE ITEM FUNCTIONAL FOR USE.

MECHANICAL GENERAL SYMBOLS

XX / #	EQUIPMENT MARK, SEE SCHEDULES, THIS SHEET.
XX / #	EXISTING EQUIPMENT MARK FOR EQUIPMENT TO REMAIN.
XX / #	EXISTING EQUIPMENT MARK FOR EQUIPMENT TO BE REMOVED.
	EQUIPMENT, DUCTWORK OR PIPING TO BE REMOVED.
(X)	DRAWING KEYNOTE.

MECHANICAL AIRSIDE SYMBOLS

	GALVANIZED SHEET METAL DUCTWORK.
	EXISTING GALVANIZED SHEET METAL DUCTWORK TO REMAIN.
	EXISTING GALVANIZED SHEET METAL DUCTWORK TO BE REMOVED.
	45 DEGREE DUCT BRANCH TAKE–OFF.
	ACCESS DOOR/PANEL.
	DUCT TURNING DOWN.
	DUCT TURNING UP.

GENERAL ABBREVIATIONS

AMPS	AMPERES
BTUH	BRITISH THERMAL UNIT PER HOUR
CFM	CUBIC FEET PER MINUTE
F	FAHRENHEIT
KW	KILOWATT
MBH	THOUSAND BTU PER HOUR
MFG	MANUFACTURER
V/PH/Hz	VOLTS/PHASE/FREQUENCY (HERTZ)

EQUIPMENT ABBREVIATIONS

ACC	AIR COOLED CONDENSER
AHU	AIR HANDLING UNIT
DOAS	DIRECT OUTDOOR AIR SYSTEM
B	BOILER
KEF	KITCHEN EXHAUST FAN
P	PUMP
RTU	ROOFTOP UNIT
VRV	VARIABLE REFRIGERANT VOLUME SYSTEM

PROJECT INFORMATION:
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FILE NAME: M000.dwg
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STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH
319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN
BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

MECHANICAL GENERAL INFORMATION

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DATE 10-21-2021	OF 29
SCALE NONE	
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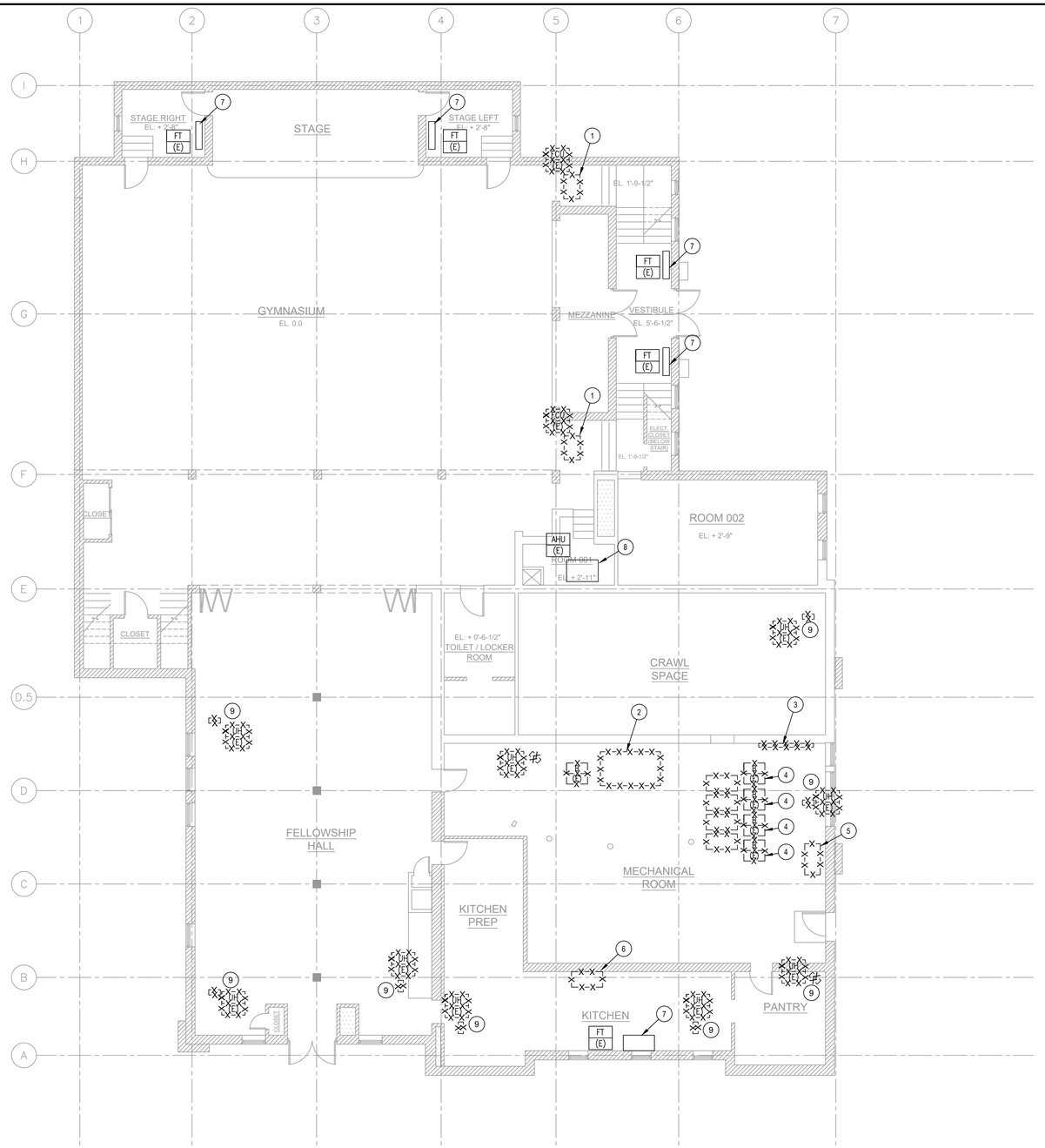

M1 / M100 LOWER LEVEL DEMOLITION PLAN

1' 0 8' 16'

1/8" = 1'-0"

LOWER LEVEL DEMOLITION PLAN KEYNOTES SYMBOL = (#)

1. DEMOLISH AND REMOVE EXISTING FAN COIL UNIT.
2. DEMOLISH AND REMOVE EXISTING BOILER.
3. DEMOLISH AND REMOVE EXISTING FUEL OIL PUMP SET AND ASSOCIATED PIPING.
4. DEMOLISH AND REMOVE EXISTING BOILER, MAIN PIPNG, AND EXHAUST FLUE. CAP BRANCH PIPING TO SPACE RADIATORS FOR REUSE.
5. DEMOLISH AND REMOVE EXISTING FUEL OIL TANK.
6. DEMOLISH AND REMOVE EXISTING KITCHEN RANGE HOOD
7. EXISTING RADIATOR TO REMAIN.
8. EXISTING ORGAN FAN SYSTEM TO REMAIN.
9. UNINSTALL EXISTING UNIT HEATER AND RETURN TO THE OWNER.

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BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

MECHANICAL LOWER LEVEL DEMOLITION PLAN

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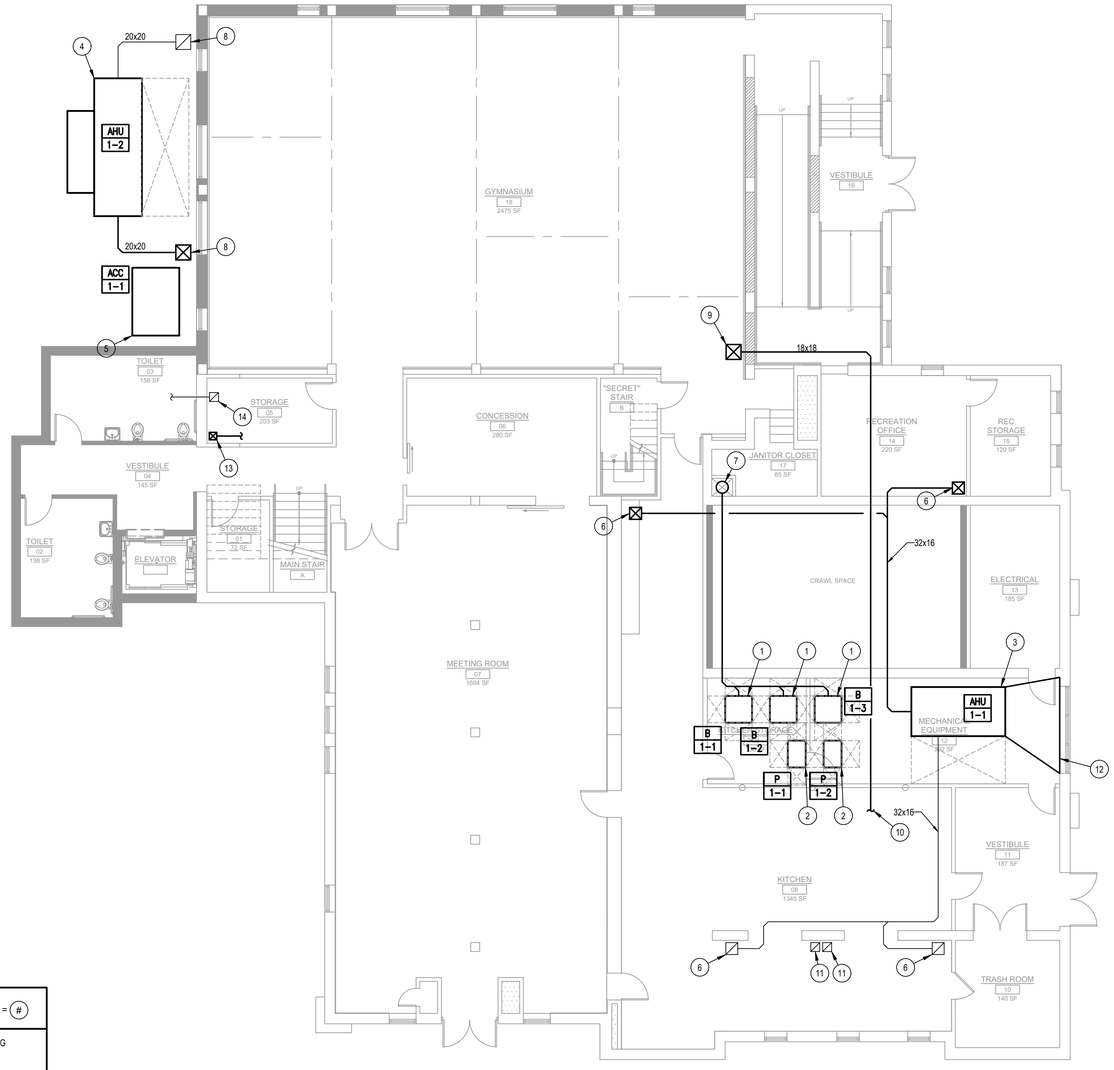

M200 LOWER LEVEL

1" 0 8" 16"

1/8" = 1'-0"

LOWER LEVEL PLAN KEYNOTES

SYMBOL = (#)

1. PROVIDE CONDENSING BOILERS. PROVIDE HOT WATER PIPING TO/FROM NEW PUMPS. PROVIDE EXHAUST FLUE TO EXISTING CHIMNEY UP TO THE ROOF.
2. PROVIDE INLINE PUMP CONNECTED TO HOT WATER BOILERS. CONNECT PUMP SUPPLY TO EXISTING CAPPED BRANCHES TO SPACE RADIATORS.
3. PROVIDE SPLIT SYSTEM AIR HANDLER ON 4" CONCRETE EQUIPMENT PAD. REPLACE BASEMENT WINDOWS WITH WIND DRIVEN RATED LOUVERS FOR OUTSIDE AIR AND EXHAUST DUCT CONNECTION. REFRIGERANT PIPE CONNECTED TO ACC-1-1.
4. PROVIDE AIR HANDLING UNIT ON 4" CONCRETE EQUIPMENT PAD. SUPPLY AND RETURN DUCTWORK SUPPORTED ON OUTER WALL WITH WALL PENETRATION TIGHT TO STRUCTURE.
5. PROVIDE SPLIT SYSTEM OUTDOOR CONDENSER ON 4" CONCRETE EQUIPMENT PAD. REFRIGERANT PIPE CONNECTED TO AHU-1-1.
6. 16x16 DUCT UP TO SANCTUARY OVERHEAD DIFFUSERS. REFER TO M201 FOR CONTINUATION.
7. COMBINED BOILER EXHAUST FLUE UP TO ROOF THROUGH EXISTING CHIMNEY. REFER TO M201 FOR CONTINUATION.
8. 20x20 GYMNASIUM DUCT UP TIGHT TO GYM STRUCTURE. REFER TO M201 FOR CONTINUATION.
9. 18x18 KITCHEN MAKEUP AIR DUCT UP TO ROOF. REFER TO M201 FOR CONTINUATION.
10. KITCHEN MAKEUP AIR DUCT CONTINUATION TO KITCHEN.
11. 12x12 KITCHEN HOOD EXHAUST DUCTS UP. EXTEND HORIZONTAL DUCTWORK TO LOCATION OF KITCHEN HOODS TO BE DETERMINED.
12. PROVIDE A 3 SF NET FREE AREA LOUVER FOR OUTDOOR AIR INTAKE.
13. 10x10 OUTSIDE AIR DUCT UP. HORIZONTAL DUCTWORK TO MEETING ROOM, CONCESSION AND VESTIBULE.
14. 6x6 TOILET EXHAUST AIR DUCT UP. HORIZONTAL DUCTWORK TO TOILETS.

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BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

MECHANICAL LOWER LEVEL PLAN

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DATE	10-21-2021
SCALE	1/8"=1'-0"
PROJ. NO.	BRAD00973
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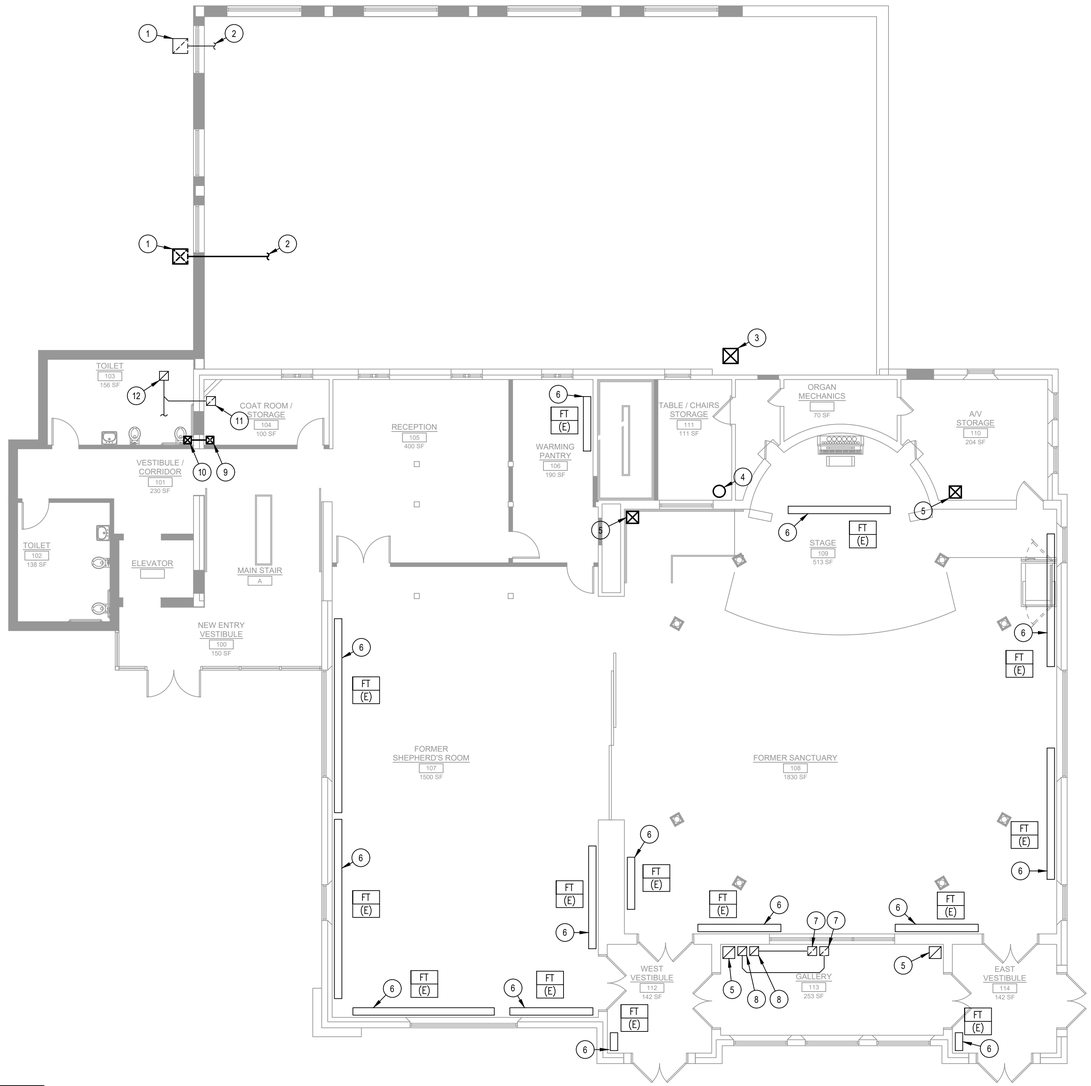
SHEET	3 OF 29



M201 SANCTUARY LEVEL

1' 0 8' 16'

1/8" = 1'-0"

SANCTUARY LEVEL PLAN KEYNOTES

SYMBOL = (#)

1. 20x20 GYMNASIUM DUCT DOWN TO AHU. REFER TO M200 FOR CONTINUATION.
2. DUCTWORK TO SERVE GYMNASIUM.
3. 18x18 KITCHEN MAKEUP AIR DUCT UP TO ROOF AND DOWN TO KITCHEN. REFER TO M200 AND M202 FOR CONTINUATION.
4. COMBINED BOILER FLUE UP TO ROOF AND DOWN TO MECHANICAL ROOM WITHIN EXISTING MASONRY CHIMNEY. REFER TO M200 AND M202 FOR CONTINUATION.
5. 16x16 DUCT UP TO SERVE FORMER SANCTUARY. ARCHITECT TO PROVIDE WALL CHASE FOR DUCT RISER.
6. EXISTING FIN TUBE RADIATOR OR DECORATIVE RADIATOR TO REMAIN. PROVIDE CONTROL VALVE AND NEW BOILER CONNECTION AT LOWER LEVEL.
7. 12x12 KITCHEN HOOD EXHAUST DUCT DOWN TO KITCHEN. PROVIDE DUCT CLEANOUT WITHIN 10 FEET OF EACH CHANGE IN DIRECTION.
8. 12x12 KITCHEN HOOD EXHAUST DUCT UP TO ROOF. PROVIDE DUCT CLEANOUT WITHIN 10 FEET OF EACH CHANGE IN DIRECTION.
9. 10x10 OUTDOOR AIR DUCT DOWN.
10. 10x10 OUTDOOR AIR DUCT UP TO ROOF.
11. 6x6 TOILET EXHAUST DUCT DOWN.
12. 8x8 TOILET EXHAUST DUCT UP TO ROOF. HORIZONTAL DUCTWORK TO TOILET ROOMS.

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BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

MECHANICAL SANCTUARY LEVEL PLAN

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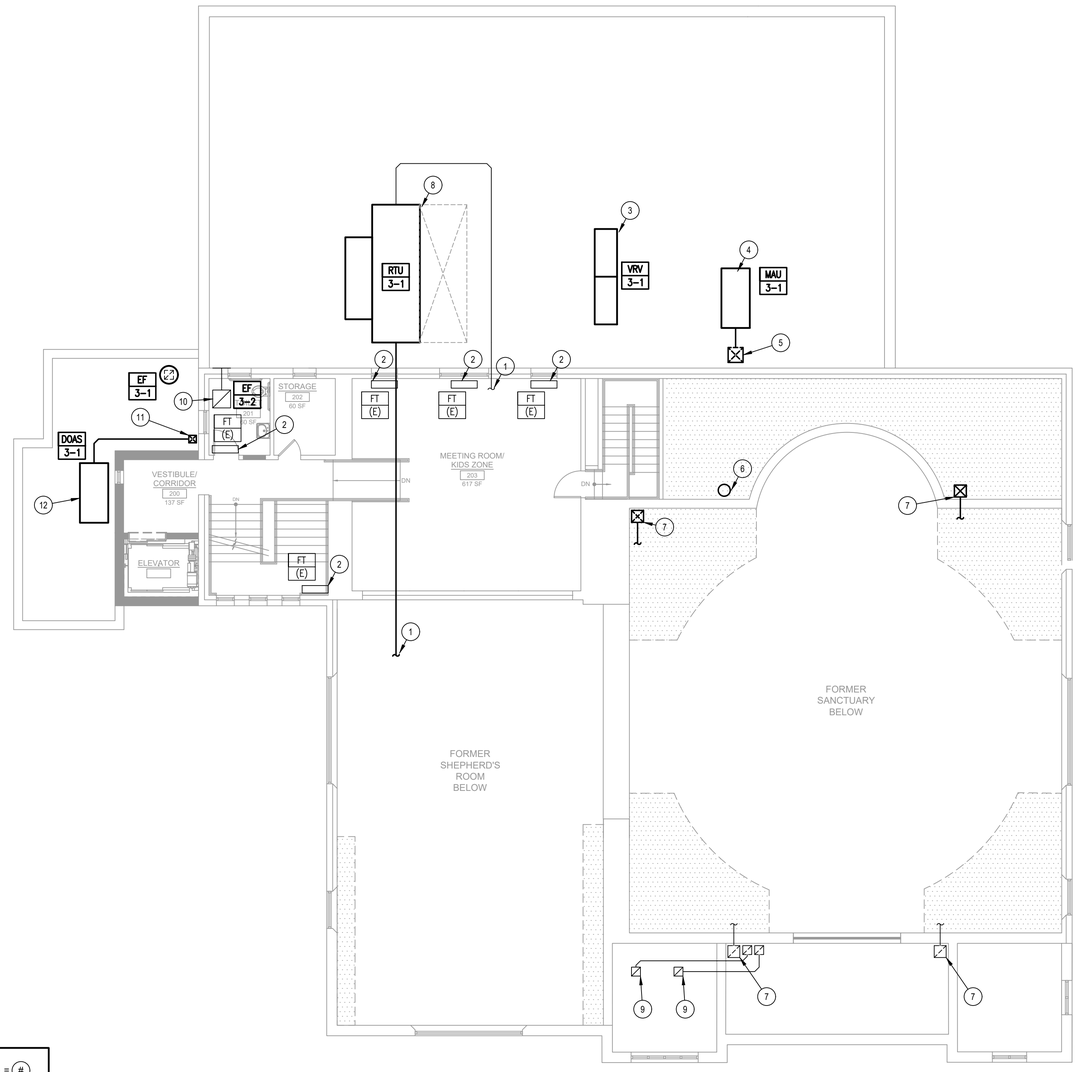

M1 / M202 UPPER LEVEL
1' 0 8' 16'
1/8" = 1'-0"

UPPER BELL TOW

UPPER LEVEL PLAN KEYNOTES

SYMBOL = (#)

1. DUCTWORK TO/FROM FORMER SHEPHERD'S ROOM, MEETING ROOM, AND RECEPTION.
2. EXISTING FIN TUBE RADIATOR OR DECORATIVE RADIATOR TO REMAIN. PROVIDE CONTROL VALVE AND NEW BOILER CONNECTION AT LOWER LEVEL.
3. PROVIDE VARIABLE REFRIGERANT VOLUME OUTDOOR HEAT RECOVERY UNIT ON MANUFACTURER MOUNTING STANDS. INDOOR UNITS IN EACH SPACE EXCEPT WHERE COOLING IS SERVED BY AIR HANDLING UNITS.
4. PROVIDE MAKEUP AIR UNIT ON MANUFACTURER PROVIDED ROOF CURB.
5. 18x18 KITCHEN MAKEUP AIR DUCT DOWN TO KITCHEN. REFER TO M200 AND M201 FOR CONTINUATION.
6. COMBINED BOILER FLUE UP TO ROOF AND DOWN TO MECHANICAL ROOM WITHIN EXISTING MASONRY CHIMNEY. REFER TO M201 AND M203 FOR CONTINUATION.
7. 16x16 DUCT DOWN TO FORMER SANCTUARY AIR HANDLING UNIT. ARCHITECT TO PROVIDE WALL CHASE FOR DUCT RISER. HORIZONTAL DUCTWORK TO LINEAR DIFFUSERS AT SANCTUARY DOME FASCIA.
8. PROVIDE AIR HANDLING UNIT ON MANUFACTURER PROVIDED ROOF CURB.
9. 12x12 KITCHEN HOOD EXHAUST DUCT UP TO ROOF AND DOWN TO KITCHEN.
10. CEILING EXHAUST FAN. DUCT TO SIDEWALL LOUVER.
11. 10x10 OUTSIDE AIR DUCT DOWN.
12. ROOFTOP DIRECT OUTSIDE AIR UNIT.

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LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

MECHANICAL UPPER LEVEL PLAN

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DATE 10-21-2021	OF 29
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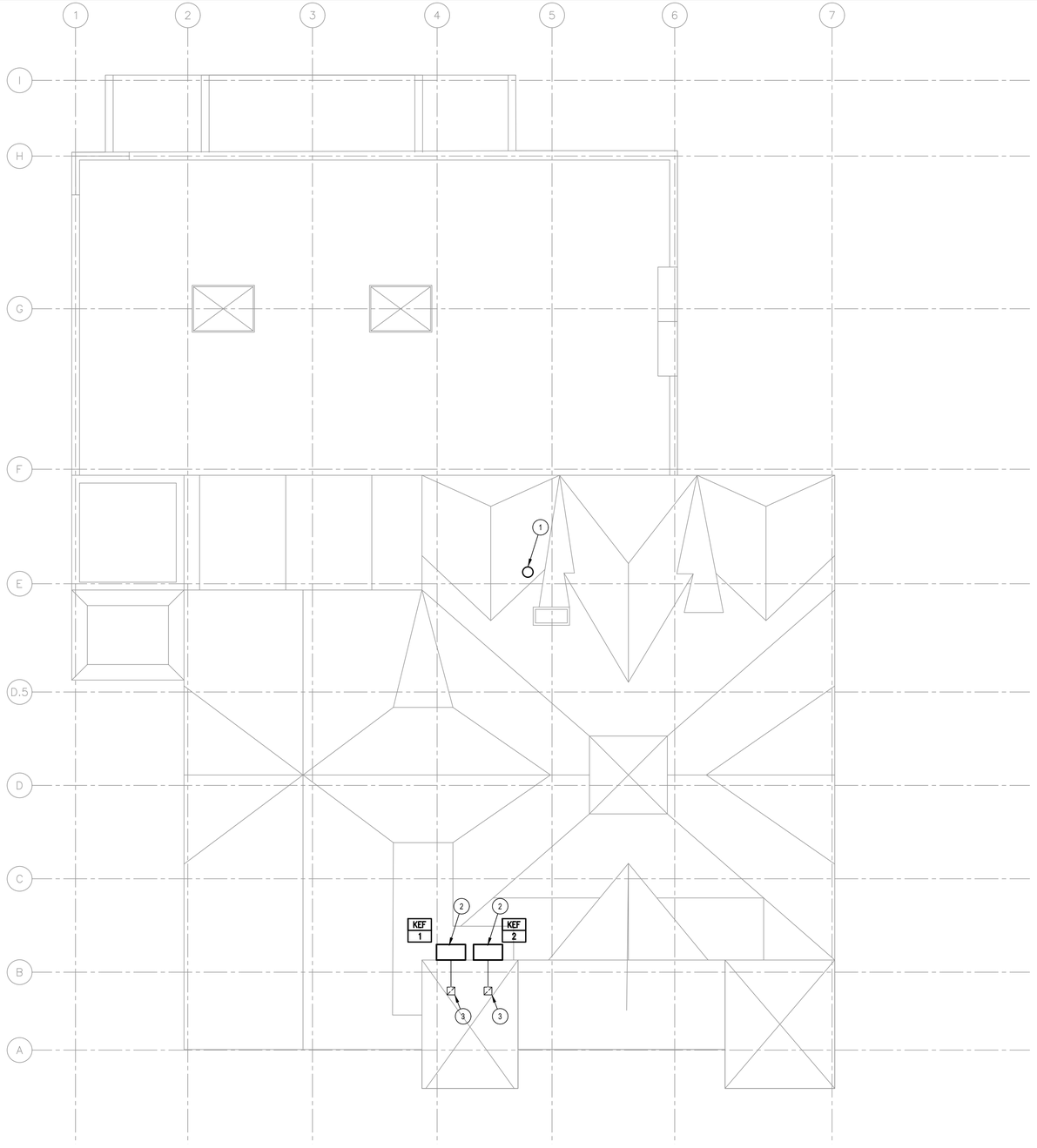

M203 1 ROOF PLAN

1' 0 8' 16'

1/8" = 1'-0"

ROOF PLAN KEYNOTES

SYMBOL = (#)

1. COMBINED BOILER FLUE DOWN TO MECHANICAL ROOM WITHIN EXISTING MASONRY CHIMNEY. REFER TO M202 FOR CONTINUATION. FLUE SHALL TERMINATE NO LESS THAN 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN A HORIZONTAL DISTANCE OF 10 FEET.
2. SIDEWALL KITCHEN EXHAUST FAN WITH DUCTWORK CONNECTION. EXHAUST OUTLETS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM PARTS OF THE SAME CONTIGUOUS BUILDING.
3. 12x12 KITCHEN HOOD EXHAUST DUCTWORK DOWN TO KITCHEN.

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MECHANICAL ROOF PLAN

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DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
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100% MAKE-UP AIR UNIT CHEDULE

UNIT	SERVICE	MFG	MODEL	SUPPLY FAN						GAS FURNACE								ELECTRCIAL			PHYSICAL DATA				NOTES
				AIRFLOW		ESP	MOTOR			MAX. CAPACITY		AIR TEMP		STGS	AFUE	GAS		V/PH	MCA	MOCP	L	W	H	WGT	
				TOTAL CFM	O.A. CFM	INWC	BHP BHP	SPEED (RPM)	SIZE HP	INPUT MBH	OUPUT MBH	ENT (F)	LVG (F)			TYPE	SIZE (IN)		(AMP)	(AMP)	(IN)	(IN)	(IN)	(LBS)	
MAU-3-1	KITCHEN EXHAUST MAKEUP AIR	-	-	3760	3760	0.5	-	-	3	260	236	13	72	-	-	NG	-	208/3	-	-	-	-	-	800	-
DOAS-3-1	SPACE VENTILATION AIR	-	-	1000	1000	1	-	-	3	60	54	5	55	-	-	NG	-	208/3	-	-	-	-	-	800	-

NOTES
1.
2.

EXISTING BOILER SCHEDULE

UNIT	MFR	MODEL	INPUT CAPACITY (MBH)	OUTPUT CAPACITY (MBH)	THERMAL EFF.	COMBUSTION EFF.	HOT WATER DATA						FUEL DATA		VENT DATA		NOTES	ACCESSORIES
							EWT (°F)	LWT (°F)	FLOW (GPM)	WPD (PSI)	CONN. SUPPLY	CONN. RETURN	TYPE	CONN. SIZE	SIZE	MATERIAL		
B-1,2,3	-	-	-	220	95.0%	96.5%	130	160	15	-	-	-	NG	-	-	-	-	-

NOTES:

ACCESSORIES:
1.

EXHAUST FAN SCHEDULE

UNIT	SERVICE	LOCATION	MFG	MODEL	TYPE	DRIVE	AIRFLOW	ESP	SPEED	BHP	RAD. SONES	MOTOR DATA			PHYSICAL DATA				ACCESSORIES
							(CFM)	(INWG)	(RPM)	(HP)		V-PH	HP	SPEED (RPM)	L (IN)	W (IN)	H (IN)	WGT (LBS)	
EF-1	TOILET EXHAUST	ROOF	-	-	-	-	300	1	-	-	-	208-3	1	-	-	-	-	150	1
EF-2	TOILET EXHAUST	3RD FLOOR TOILET	-	-	-	-	75	1	-	-	-	208-3	1	-	-	-	-	150	1
KEF-1,2	KITCHEN HOOD EXHAUST	OUTDOOR SIDEWALL	-	-	-	-	2,350	1	-	-	-	208-3	1	-	-	-	-	150	1

ACCESSORIES
1. UNIT TO INCLUDE: PREMIUM MOTOR W/THERMAL OVERLOAD FOR VFD CONTROL, OUTLET GUARD, EXTENDED LUBE LINES,DISCONNECT, SPRING ISOLATORS, HINGED ACCESS DOORS, WEATHER HOOD, DRAIN CONNECTION, INLET FLANGE.

HOT WATER PUMP SCHEDULE

UNIT	LOCATION	TYPE	MFR	MODEL	DESIGN FLOW RATE (GPM)	HEAD (FT)	MOTOR HP	RPM	ELECTRICAL DATA		SUCTION SIZE (IN)	DISCHARGE SIZE (IN)	ACCESS.	NOTES
									V/PH	FLA				
P-1,2	MECHANICAL ROOM	INLINE	-	-	45	10	-	-	208/3	-	-	-	1-13	-

ACCESSORIES:
1. BRONZE FITTED CONSTRUCTION
2. BRONZE IMPELLER
3. PREMIUM EFFICIENCY MOTOR
4. CAST IRON HOUSING
5. ODP MOTOR ENCLOSURE
6. STAINLESS STEEL SHAFT
7. INTEGRATED INTELLIGENT VARIABLE SPEED CONTROLS
8. TEFC MOTOR ENCLOSURE
9. SENSORLESS CONTROL
10. 316 STAINLESS STEEL IMPELLER
11. DUCTILE IRON CASING
12. TEFC MOTOR ENCLOSURE
13. DUCTILE IRON CONSTRUCTION

NOTES:
1.

HEAT RECOVERY AIR COOLED CONDENSING UNIT

UNIT	REFRIGERANT	MFR	MODEL NO.	UNIT SERVED	NOMINAL CAPACITY (TONS)	NOMINAL HEATING CAPACITY (MBH)	COND. TEMP. (F)	ELECTRCIAL DATA			ACCESSORIES	NOTES
								V/PH/Hz	MCA	MOCP		
VRV	R-410A	-	-	VRV-	30	446	95	208/3/60	-	-	-	-

NOTES
1.
2.

AIR HANDLING UNIT SCHEDULE W/DX COOLING AND GAS HEAT (PACKAGED)

UNIT	SERVICE	MFG	MODEL	SUPPLY FAN						H.R. WHEEL WINTER DATA							H.R. WHEEL SUMMER DATA								DX COOLING COIL								GAS FURNACE						ELECTRICAL			PHYSICAL DATA				NOTES
				AIRFLOW		ESP	MOTOR			OUTDOOR AIR DATA			EXHAUST AIR DATA			ENERGY RECOVERED	OUTDOOR AIR DATA			EXHAUST AIR DATA			ENERGY RECOVERED		CAPACITY		ENT AIR		LVG AIR		EER	NO.	MAX. CAPACITY		AIR TEMP		STGS	AFUE	GAS		V/PH	MCA	MOCP	L	W	H	WGT	
				TOTAL CFM	O.A. CFM	INWC	BHP BHP	SPEED (RPM)	SIZE HP	AIRFLOW CFM	EAT WB/DB	LAT WB/DB	AIRFLOW CFM	EAT WB/DB	LAT WB/DB	TOTAL MBH	SENS MBH	IRFLOW CFM	EAT WB/DB	LAT WB/DB	AIRFLOW CFM	EAT WB/DB	LAT WB/DB	TOTAL MBH	SENS MBH	TOT MBH	SENS MBH	DB (F)	WB (F)	DB (F)	WB (F)	(SEER)	COMP.	INPUT MBH	OUPUT MBH	ENT (F)	LVG (F)			TYPE	SIZE (IN)		(AMP)	(AMP)	(IN)	(IN)	(IN)	(LBS)	
AHU-1-2	GYMNASIUM CONDITIONING	-	-	5400	1150	0.35	-	-	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	182	143	75	62	-	-	-	-	270	218	5	64	-	-	NG	-	208/3	-	-	-	-	-	5000	
RTU-3-1	FORMER SHEPHERD'S ROOM CONDITIONING	-	-	7200	2866	2.25	-	-	10	2866	5/4	-	2866	70/58	-	-	-	2866	95/75	-	2866	74/61	-	-	-	225	184	75	62	-	-	-	-	270	218	5	64	-	-	NG	-	208/3	-	-	-	-	-	5000	

NOTES
1. PROVIDE UNIT WITH SMOKE DUCT DETECTOR, UNIT DISCONNECT AND 115 VOLT CONVENIENCE OUTLET
2. PROVIDE UNIT WITH HOT GAS BYPASS STAINLESS STEEL DRAIN PAN AND STAINLESS STEEL HEAT EXCHANGER WITH MODULATING GAS VALVE.

AIR COOLED CONDENSER SCHEDULE

UNIT	UNIT SERVED	LOCATION	MFG	MODEL	NOM. TONAGE	TOT. CAP. (MBH)	MIN PART LOAD (MBH)	EER	AMB. TEMP	REFRIGERANT DATA			CONDENSER FAN DATA				COMPRESSOR DATA				ELECTRICAL DATA			SOUND LEVEL (ARI 370)	PHYSICAL DATA				NOTES
										NO. CRKT.	SUCT TEMP (F)	REFRIG TYPE	QT	HP (EA)	CFM (TOT)	AMP (EA)	QT	HP	RLA	KW (TOT)	MCA	MOCP	V-PH		L (IN)	W (IN)	H (IN)	WGT (LBS)	
ACC-1-1	AHU-1-1	OUTDOORS	-	-	20	213	-	-	95.0	-	-	-	-	-	-	-	2	-	-	-	-	-	208-3	-	-	-	-	1700	1-2

NOTES
1. UNIT TO INCLUDE: HOT GAS BYPASS, LOW AMBIENT CONTROLLER, SPRING ISOLATORS, FACTORY MOUNTED PRESSURE GAUGES, FACTORY MOUNTED DISCONNECT, PHASE LOSS PROTECTION.
2. INSTALL DUAL CIRCUITED REFRIGERANT PIPING. PROVIDED ALL ACCESSORIES AND SIZE PIPING AS DIRECTED BY MANUFACTURER.

DIFFUSER & REGISTER SCHEDULE

UNIT	TYPE	MFG	MODEL	MOUNT TYPE	MODULE SIZE (IN)	NECK SIZE (IN)	AIRFLOW RANGE (CFM)	MAX NC RATING	MAX PRESS LOSS (INWG)	NOTES
CD-1										

NOTES
1. SUPPLY DIFFUSER SHALL BE STEEL CONSTRUCTION WITH SINGLE FACE PANEL PROJECTING NO MORE THAN A 1/4" FOR CEILING
2. ALUMINUM LAMINAR FLOW DIFFUSER. BACK PANEL TO BE INSULATED WITH 1/2" FOILED BATT INSULATION

VARIABLE REFRIGERANT VOLUME INDOOR UNITS

UNIT	REFRIGERANT	MFR	MODEL NO. INDOOR UNIT	NET COOLING (BTUH)	SENSIBLE COOLING (BTUH)	NET HEATING (BTUH)	STD AIRFLOW (CFM)	ELECTRCIAL DATA			ACCESSORIES	NOTES
								V/PH/Hz	MCA	MFA		
VRV	R-410A	YORK	VARIOUS	-	-	-	-	208/3/60	-	-	-	-

NOTES
1.
2.

AIR HANDLING UNIT SCHEDULE W/SPLIT DX COOLING AND GAS HEAT

UNIT	SERVICE	MFG	MODEL	SUPPLY FAN						DX COOLING COIL								GAS FURNACE								ELECTRICAL			PHYSICAL DATA				NOTES
				AIRFLOW		ESP	MOTOR			CAPACITY		ENT AIR		LVG AIR		EER	NO.	MAX. CAPACITY		AIR TEMP		STGS	AFUE	GAS		V/PH	MCA	MOCP	L	W	H	WGT	
				TOTAL CFM	O.A. CFM	(INWC)	BHP (BHP)	SPEED (RPM)	SIZE (HP)	TOT (MBH)	SENS (MBH)	DB (F)	WB (F)	DB (F)	WB (F)	SEER	COMP.	INPUT (MBH)	OUPUT (MBH)	ENT (F)	LVG (F)			TYPE	SIZE (IN)		(AMP)	(AMP)	(IN)	(IN)	(IN)	(LBS)	
AHU-1-1	FORMER SANCTUARY CONDITIONING	-	-	7000	2500	2.25	-	-	8	213	175	75	62	-	-	-	-	250	224	66	-	-	-	NG	-	-	-	-	-	-	-	3000	-

NOTES
1.
2.

PROJECT INFORMATION:
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FILE NAME: M300.dwg
LAST SAVED DATE AND TIME: 24 May 2022, 10:06PM
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CHKD | BY | REVISIONS | DATE | NO.

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BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

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DESIGNED BY	TMW
CHECKED BY	MED
DRAWN BY	TMW
DATE	10-21-2021
SCALE	1/8"=1'-0"
PROJ. NO.	BRAD00973
DRAWING	M300
SHEET	7 OF 29

FIRE ALARM NOTES

1. THE CONTRACTOR SHALL PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM.
2. THE COMPLETE INSTALLATIONS SHALL CONFORM TO THE APPLICABLE SECTIONS OF NFPA 72 AND THE NATIONAL ELECTRICAL CODE NFPA 70.
3. THE CONTRACTOR SHALL PROVIDE PULL STATIONS, AREA SMOKE DETECTORS AND COMBINATION HORN/STROBES AS NOTED AND ALL OTHER DEVICES NECESSARY. REFER TO DRAWINGS FOR QUANTITY OF DEVICES.
4. ALL WIRES FOR CONTROL POWER AND NOTIFICATION APPLIANCES SHALL BE STRANDED COPPER TYPE THHN; OR TWISTED, UNSHIELDED PAIRS, AS APPLICABLE. ALL COMMUNICATION WIRES SHALL BE TWISTED, SHIELDED PAIRS. ALL WIRE SIZES (GAUGES) SHALL BE AS RECOMMENDED BY SYSTEM MANUFACTURERL
5. WIRING ABOVE CEILINGS MUST BE APPROVED FOR PLENUM USE. WIRING IN EXPOSED AREAS SHALL BE IN CONDUIT AND THE CONDUIT AND BOXES SHALL BE PAINTED RED PRIOR TO INSTALLATION. WIRING ON FINISHED EXPOSED SURFACES (IN LOBBIES, CORRIDORS, OFFICES ETC.) SHALL BE IN SURFACE METAL RACEWAY AS APPROVED BY THE OWNER.
6. THE ENTIRE FIRE ALARM SYSTEM SHALL BE TESTED SUCH THAT NEW EQUIPMENT SHALL BE 100% ACCEPTANCE TESTED PER NFPA 72.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE WIRING AND ASSOCIATED CONDUITS/RACEWAY FROM CONTROL MODULES/MONITOR MODULES TO THE ASSOCIATED CONTROLLER.

GENERAL ABBREVIATIONS

A	AMPERES
AFF	ABOVE FLOOR FINISH
AIC	AMPERES INTERRUPTING CAPACITY
C	CONDUIT
CB	CIRCUIT BREAKER
CKT	CIRCUIT
E	EXISTING
EC	ELECTRICAL CONTRACTOR
EQP	EQUIPMENT
ETR	EXISTING TO REMAIN
FACP	FIRE ALARM CONTROL PANEL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER.
GRD/G	GROUNDING
HOA	HAND–OFF–AUTOMATIC
JB	JUNCTION BOX
KV	KILOVOLTS
KVA	KILOVOLT AMPERES
KW	KILOWATTS
NTS	NOT TO SCALE
R	REMOVE
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
V	VOLTS
W	WATTS
WP	WEATHERPROOF

NOTE:
NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HERE MAY APPEAR ON THE DRAWINGS FOR THIS PROJECT.

ELECTRICAL SYMBOLS

$	WIRELESS DIGITAL SWITCH, 2-BUTTON ON/OFF - LUTRON PICO SWITCH PJ2-2B
$_O$	WALL SWITCH/OCCUPANCY SENSOR, LUTRON MS-OPS5M
$_I$	WIRELESS DIGITAL DIMMING SWITCH, 1 ZONE, 2-BUTTON ON/OFF WITH RAISE/LOWER LUTRON PICO SWITCH PJ2-2BRL
(OS)	WIRELESS DIGITAL DUAL TECHNOLOGY CEILING MOUNTED OCCUPANCY SENSOR LUTRON RADIO POWR SAVR LRF2-VCR2B-P-WH
(DL)	WIRELESS DIGITAL CEILING MOUNTED DAYLIGHT SENSOR LUTRON RADIO POWR SAVR LRF2-DCRB-WH
F1	POWER AND TELECOM POKE-THRU. CORE DRILL FROM FLOOR BELOW. PROVIDE 1 1/2" C FOR DATA AND 3/4" C FOR POWER. WIREMOLD EVOLUTION SERIES OR APPROVED EQUAL.
	DUPLEX RECEPTACLE, NEMA 5-20R, REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHTS
	QUAD RECEPTACLE, NEMA 5-20R, REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHTS
	TEL/DATA RECEPTACLE, REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHTS. PROVIDE DUPLEX RECEPTACLE WITH 3/4" EMT TO 6" ABOVE FINISHED CEILING. PROVIDE (2) CAT6 CABLES FROM EACH DUPLEX RECEPTACLE TO THE IT ROOM ON THAT FLOOR. PROVIDE FACEPLATE WITH (2) KEYSTONES.
⊘	JUNCTION BOX FOR HARDWIRED EQUIPMENT
F	FIRE ALARM MANUAL PULL STATION - MOUNT 48" AFF
F F	COMBINATION AUDIO/VISUAL INDICATING DEVICE - MOUNT 80" AFF, 'C' DENOTES CEILING MOUNTED
F	VISUAL INDICATING DEVICE - MOUNT 80" AFF, 'C' DENOTES CEILING MOUNTED
FS	FLOW SWITCH
TS	TAMPER SWITCH
S	SMOKE DETECTOR, 'R' DENOTES ELEVATOR RECALL
H	HEAT DETECTOR
CO	CARBON MONOXIDE DETECTOR
R	FIRE ALARM RELAY
DSD	DUCT SMOKE DETECTOR
WAP	WIRELESS ACCESS POINT. PROVIDE (1) CAT6 CABLE FROM EACH WAP TO IT ROOM ON THAT FLOOR

ELECTRICAL NOTES

ELECTRICAL CONSTRUCTION NOTES:

1. THE ELECTRICAL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE OR ANY OTHER STATE OR LOCAL CODE HAVING JURISDICTION.
2. ALL CONDUIT RUNS ARE DIAGRAMMATICALLY SHOWN ON THE DRAWINGS. THE FINAL ROUTING OF CONDUITS SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR AND APPROVED BY THE ENGINEER. CONDUIT SHALL BE INSTALLED IN A MANNER TO PREVENT CONFLICTS WITH EQUIPMENT AND STRUCTURAL CONDITIONS. EXPOSED CONDUITS SHALL BE INSTALLED PARALLEL TO BEAMS AND WALLS. CONDUIT SHALL BE TERMINATED SO AS TO PERMIT NEAT CONNECTIONS TO EQUIPMENT.
3. EXISTING UNDERGROUND PIPE, CONDUIT AND APPURTENANCES ARE NOT SHOWN. CONTRACTOR SHALL LOCATE ALL EXISTING SUBSURFACE EQUIPMENT WHICH MAY CONFLICT WITH NEW CONSTRUCTION SO AS TO AVOID CONFLICTS OR DAMAGE.
4. UTILITY COMPANY WORK SHALL BE COORDINATED BY THE CONTRACTOR. ANY ASSOCIATED FEES AND COSTS SHALL BE PAID BY THE CONTRACTOR. CONTRACTOR SHALL PAY UTILITY COMPANY IN ADVANCE TO ENSURE THE CONTRACTOR MEETS ITS SCHEDULE.
5. WIRE SIZES SHOWN ON PLANS MAY BE OVERSIZED TO ACCOMMODATE VOLTAGE DROP. CONTRACTOR MAY ELECT TO TAP DOWN WIRE SIZE AT SOURCE AND/OR APPLIANCE IN A LISTED MANNER COMPLIANT WITH THE CODE.
6. CONTRACTOR SHALL PROVIDE APPURTENANCES AS REQUIRED (TRANSFORMERS, RELAYS, ETC.) TO PROVIDE THE PROPER POWER SUPPLY FOR ANY VOLTAGES REQUIRED FOR A COMPLETE INSTALLATION. ANY VOLTAGE SUPPLIES REQUIRED BY THE SUBMITTED EQUIPMENT, FOR POWER OR CONTROLS, SHALL BE INCLUDED.
7. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ELECTRICAL WIRE RACEWAYS, APPARATUS AND PANEL ENCLOSURES AND OTHER NON–CURRENT CARRYING METAL PARTS SHALL BE MECHANICALLY JOINED TO FORM A CONTINUOUS CONDUCTING METALLIC PATH AND ASSURE ELECTRICAL CONTINUITY OF THE GROUNDING CIRCUITS. THE STRANDED COPPER BONDING JUMPER CABLES AND/OR GROUND WIRES SHALL BE INSTALLED WHERE REQUIRED. THE SURFACE WHERE GROUNDING CONNECTIONS ARE TO BE MADE SHALL BE CLEAN AND DRY. STEEL SURFACES SHALL BE GROUND OR FILED TO REMOVE ALL SCALE, RUST, GREASE AND DIRT. COPPER AND GALVANIZED STEEL SHALL BE CLEANED WITH EMERY CLOTH TO REMOVE OXIDE BEFORE MAKING CONNECTIONS.
   - 7.1. MOTOR AND POWER DISTRIBUTION EQUIPMENT SHALL BE EFFECTIVELY GROUNDED USING A GROUND CONDUCTOR.
   - 7.2. CONTROL AND INSTRUMENTATION EQUIPMENT SHALL BE EFFECTIVELY GROUNDED USING A GROUND CONDUCTOR, METALLIC RACEWAY, OR A COMBINATION OF THE TWO.
8. THE TYPE CONDUIT SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

APPLICATION	TYPE
INDOOR LOCATIONS	EMT
OUTDOOR ABOVE GRADE LOCATIONS	RMC
OUTDOOR BELOW GRADE LOCATIONS	SCH. 40 PVC

9. THE POWER AND CONTROL WIRING SHALL BE STRANDED COPPER CONDUCTOR WITH THHW INSULATION RATED 600 VOLTS. SERVICE WIRING SHALL BE AS POWER WIRING BUT HAVE "XHHW" TYPE INSULATION. MINIMUM SIZE OF POWER WIRING SHALL BE #12 AWG. CONTROL WIRING SHALL BE #14 AWG.
10. THE ELECTRICAL APPARATUS SUCH AS SWITCHES, RECEPTACLES, CONTROL DEVICES, PANELS, ETC., ARE SHOWN IN THEIR APPROXIMATE LOCATION. ACTUAL LOCATION OF THESE APPARATUS SHALL BE DETERMINED BY CHECKING JOB SITE AND OTHER TRADE DRAWINGS. FINAL LOCATION SHALL BE APPROVED BY THE ENGINEER. SWITCHES AND DISCONNECTS MOUNTING HEIGHT SHALL BE 4'–6" MIN. ABOVE FINISHED FLOOR OR GRADE UNLESS OTHERWISE NOTED.
11. A 1/8" NYLON PULL CORD SHALL BE PULLED INTO ALL CONDUITS NOT CONTAINING WIRES.
12. ALL PVC TYPE CONDUIT EXCEPT ELECTRIC SERVICE CONNECTIONS SHALL INCLUDE A GROUNDING CONDUCTOR IN ADDITION TO THOSE THAT ARE SHOWN ON THE DRAWING.
13. ALL FIELD WIRING TERMINATIONS SHALL BE MADE AT TERMINALS LOCATED IN THE INDIVIDUAL COMPARTMENTS OR ENCLOSURES. USE OF WIRE NUTS OR DIRECT WIRING WILL NOT BE ACCEPTED. ALL TERMINATION POINTS MUST BE IDENTIFIED IN THE SHOP DRAWINGS AND PERMANENTLY / CLEARLY MARKED IN ACCORDANCE WITH THE SPECIFICATION REQUIREMENTS. TERMINATOR MATERIALS SHALL BE SIZED FOR THE INSTALLED CONDUCTORS.
14. ALL WIRES SHALL BE NEATLY BUNDLED AND TAGGED TO INDICATE THE CONNECTED DEVICE. EACH WIRE SHALL BE COLOR CODED AND TAGGED WITH A PLASTIC SLEEVE TYPE WIRING TAG. WIRING SHALL BE TAGGED AT EACH POINT OF TERMINATION.
15. CONDUIT INSTALLATION INTO EQUIPMENT WITH EXPOSED LIVE COMPONENTS SHALL BE ROUTED FOR BOTTOM ENTRY WHERE POSSIBLE OR SEALED IN A WATERTIGHT MANNER ACCEPTABLE TO THE ENGINEER.
16. ALL 90 DEGREE ELBOWS AND CONDUIT PENETRATING CONCRETE SHALL BE PVC COATED GALVANIZED RIGID STEEL.
17. ALL RELAYS AND CONTACTORS SHALL HAVE A SUFFICIENT AMOUNT OF CONTACTS TO SATISFY THE CONTRACT REQUIREMENTS AND ONE SPARE.
18. ALL DEVICES AND APPARATUS FURNISHED SHALL BE NEW AND SHALL BE UL LISTED.
19. THE WIRING DIAGRAMS, QUANTITY AND SIZE OF WIRES AND CONDUIT REPRESENT A SUGGESTED ARRANGEMENT BASED UPON SELECTED STANDARD COMPONENTS OF ELECTRICAL EQUIPMENT. MODIFICATIONS ACCEPTABLE TO THE ENGINEER MAY BE MADE BY THE CONTRACTOR TO ACCOMMODATE EQUIPMENT ACTUALLY PURCHASED. THE BASIC SEQUENCE AND METHOD OF CONTROL MUST BE MAINTAINED AS INDICATED ON THE DRAWINGS AND/OR SPECIFICATION.
20. DISCONNECT AND REMOVE EXISTING CONDUIT, WIRING, POWER AND CONTROL DEVICES ASSOCIATED WITH EQUIPMENT TO BE DEMOLISHED EXCEPT WHERE OTHERWISE INDICATED TO BE REUSED. REMOVE ALL WIRE AND EXPOSED CONDUIT.
21. ALL CIRCUIT BREAKERS FOR MOTOR–OPERATED EQUIPMENT SHALL BE EQUIPPED WITH LOCK–OUT / TAG–OUT ACCESSORY.

NO.	DATE	REVISIONS	BY	CHKD

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DESIGNED BY: ASG	DRAWING: E000
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DRAWN BY: ASG	SHEET: 8
DATE: 10-21-2021	OF 29
SCALE: NONE	
PROJ. NO.: BRAD00973	

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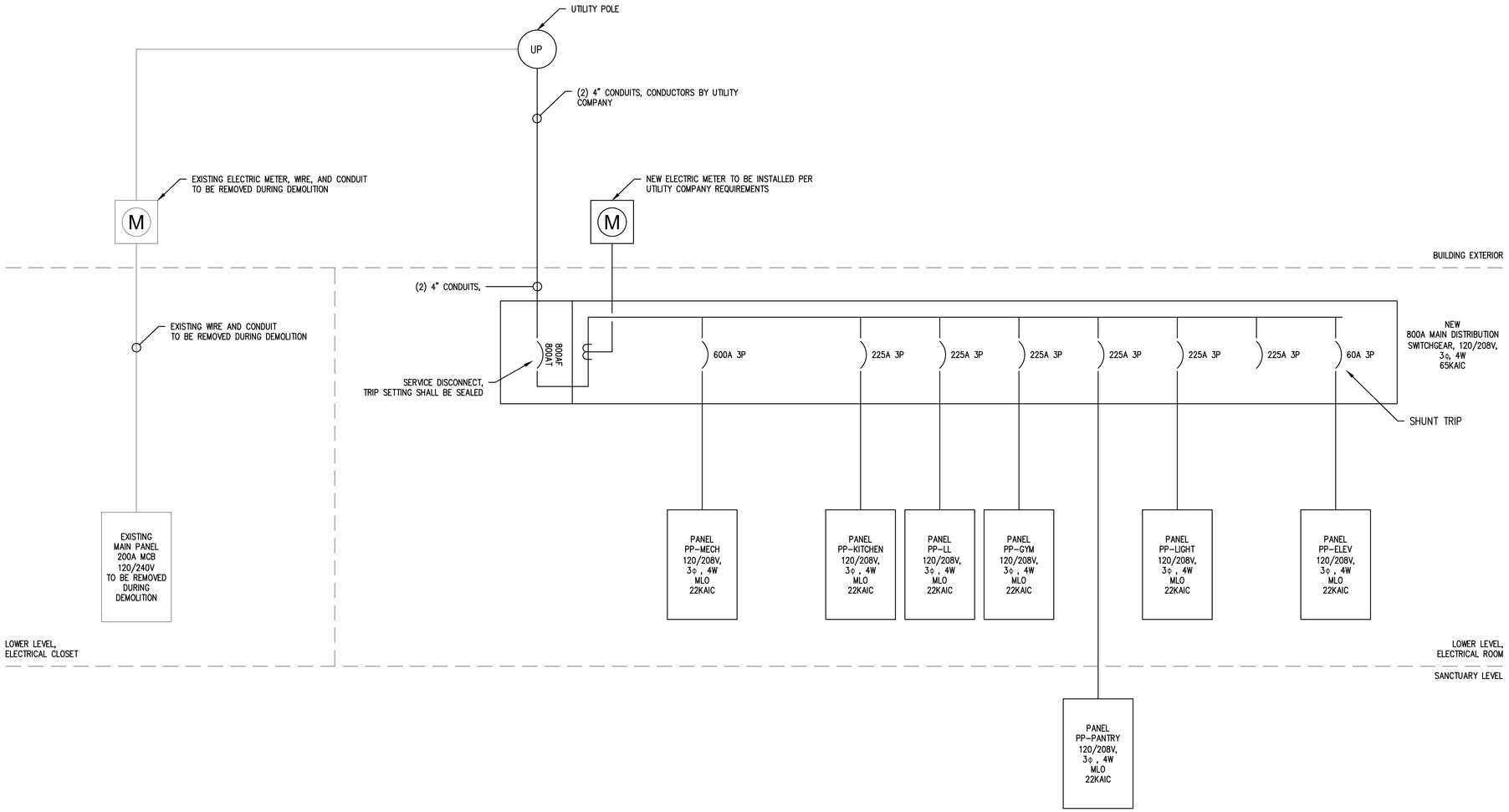
LAST SAVE BY: JGarcia



ONE LINE DIAGRAM
N.T.S.

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BOROUGH OF BRADLEY BEACH

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ELECTRICAL ONE LINE DIAGRAM

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CHECKED BY MED	
DRAWN BY ASG	SHEET 9
DATE 10-21-2021	OF 29
SCALE NTS	
PROJ. NO. BRAD00973	

E1 / E100 LOWER LEVEL

1' 0 8' 16'

1/8" = 1'-0"

LOCATION: LOWER LEVEL CLOSET

25 KAIC (EXISTING)

MFG.: EATON
MOUNT: SURFACE

PANEL MAIN PANEL 120/240 VOLTS 1 PHASE 3 WIRE 225 AMP MAINS 200A MCB

CKT. NO.	SERVES	WIRE & CONDUIT	TRIP POLE	LOAD KVA	LOAD KVA	TRIP POLE	WIRE & CONDUIT	SERVES	CKT. NO.
1	UH-A	2#12, #12G, 3/4"C	20/2	3.3	5.0	30/2	2#10, #10G, 3/4"C	UH-B	2
3	–						–		4
5	UH-A	2#12, #12G, 3/4"C	20/2	3.3	5.0	30/2	2#10, #10G, 3/4"C	UH-B	6
7	–						–		8
9	UH-A	2#12, #12G, 3/4"C	20/2	3.3	5.0	30/2	2#10, #10G, 3/4"C	UH-B	10
11	–						–		12
13	UH-A	2#12, #12G, 3/4"C	20/2	3.3	5.0	30/2	2#10, #10G, 3/4"C	UH-B	14
15	–						–		16
17	SPARE	–	20/1			20/1	–	SPARE	18
19	SPARE	–	20/1			20/1	–	SPARE	20
21	SPARE	–	20/1			20/1	–	SPARE	22
23	SPARE	–	20/1			20/1	–	SPARE	24
25	SPARE	–	20/1			20/1	–	SPARE	26
27	SPARE	–	20/1				–	SPACE	28
29	SPARE	–	20/1				–	SPACE	30
31	SPARE	–	20/1				–	SPACE	32
33	SPACE	–					–	SPACE	34
35	SPACE	–					–	SPACE	36
37	SPACE	–					–	SPACE	38
39	SPACE	–					–	SPACE	40
41	SPACE	–					–	SPACE	42
				13.2	20.0		33.2 KVA = 138.33 A		

DEMOLITION PLAN KEYNOTES (#)

1. EXISTING PANEL AND CONNECTED BRANCH CIRCUIT WIRING TO BE DISCONNECTED. REMOVE ALL WIRING AND CONDUIT BACK TO SOURCE. COORDINATE EQUIPMENT DEMOLITION WITH MECHANICAL CONTRACTOR.

PROJECT INFORMATION:
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FILE NAME: E100.dwg
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ELECTRICAL LOWER LEVEL DEMOLITION PLAN

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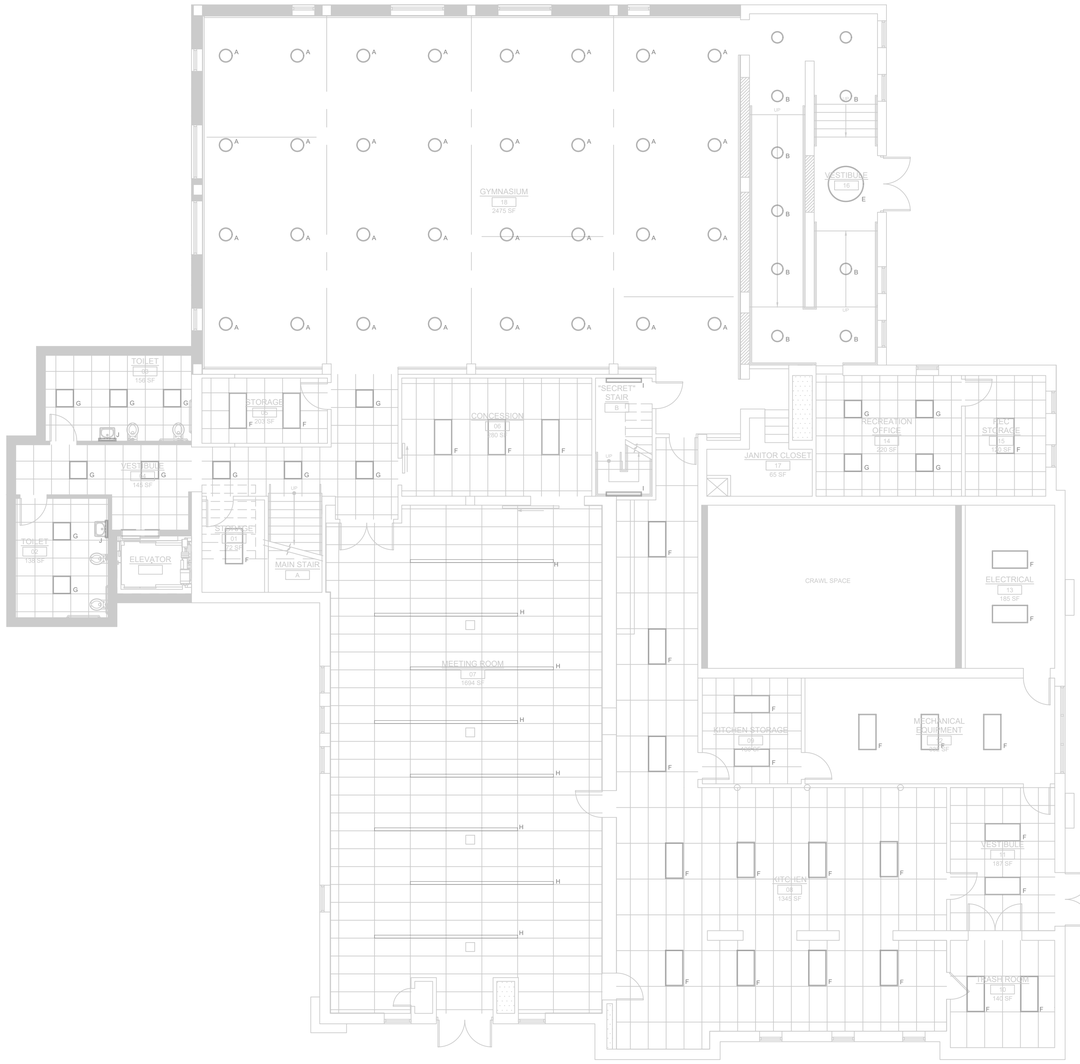
DESIGNED BY XXX	DRAWING X-X
CHECKED BY XXX	
DRAWN BY XXX	SHEET 10
DATE 10-21-2021	OF 29
SCALE 1"=X'	
PROJ. NO. BRAD00973	



E1 / E200 LOWER LEVEL LIGHTING PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
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BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

ELECTRICAL LOWER LEVEL LIGHTING PLAN

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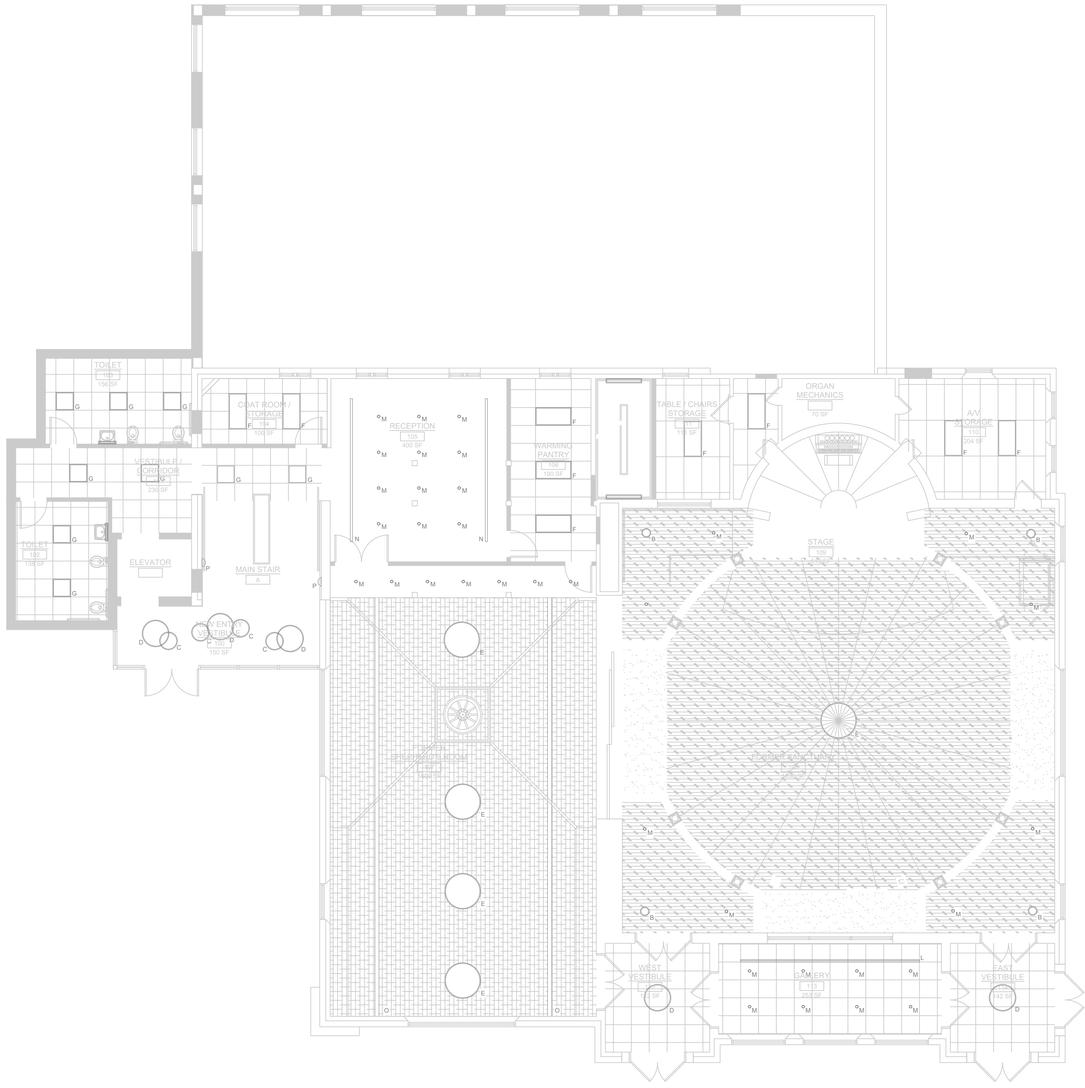
DRAWN BY ASG	SHEET 11
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	



E1 / E201 SANCTUARY LEVEL LIGHTING PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E201.dwg
LAST SAVED: DATE AND TIME: 20 May 2022, 11:38AM
LAST SAVE BY: JGarcia

NO.	DATE	REVISIONS	BY	CHKD

MARY ELAINE DASTI
COMPANY PRACTICE LEADER

LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN
BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

ELECTRICAL SANCTUARY LEVEL LIGHTING PLAN

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DESIGNED BY ASG	DRAWING E201
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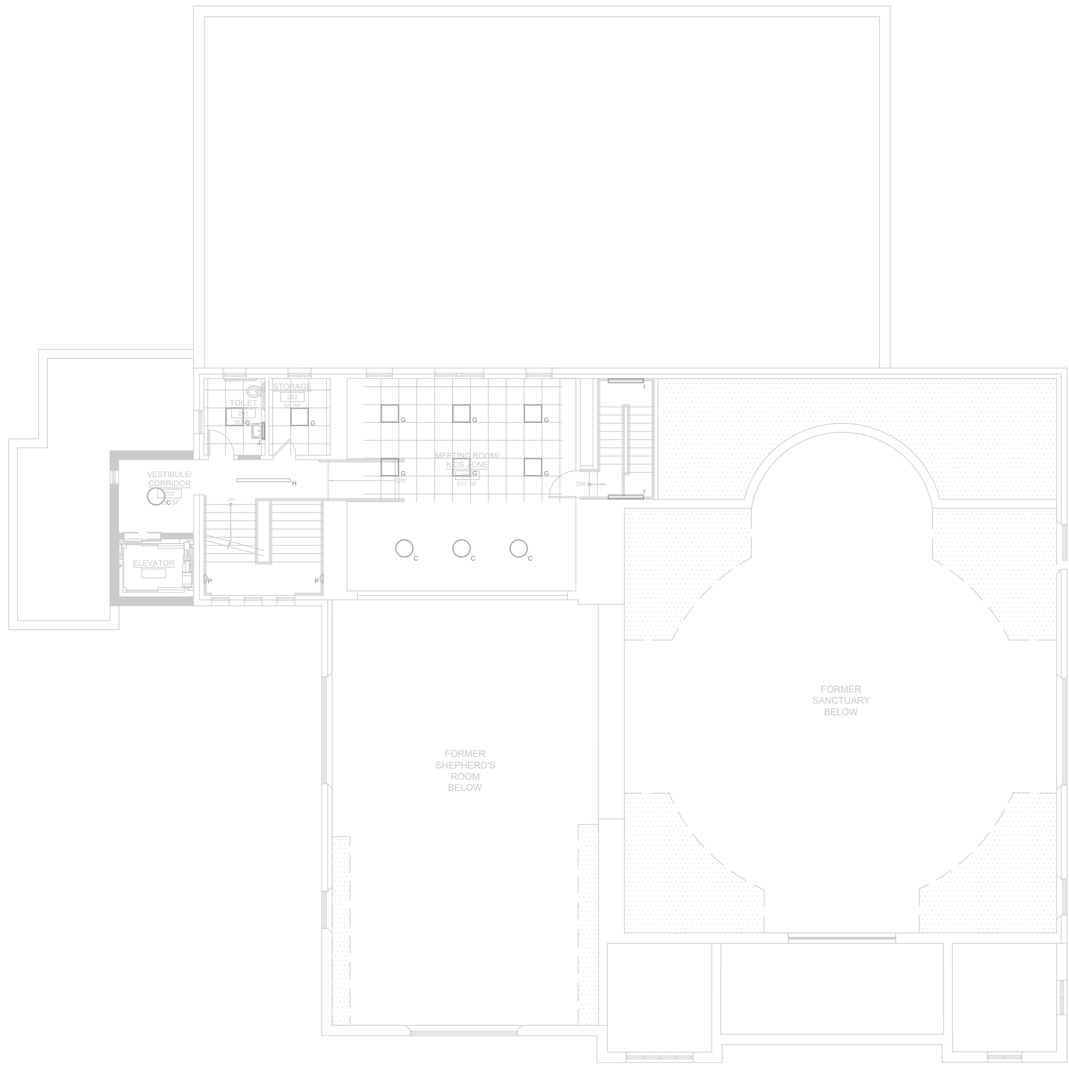
DRAWN BY ASG	SHEET 12
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	



UPPER BELL TOW

E1 / E202 UPPER LEVEL LIGHTING PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E202.dwg
LAST SAVED DATE AND TIME: 20 May 2022, 11:40AM
LAST SAVE BY: JGarcia

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BOROUGH OF BRADLEY BEACH

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BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

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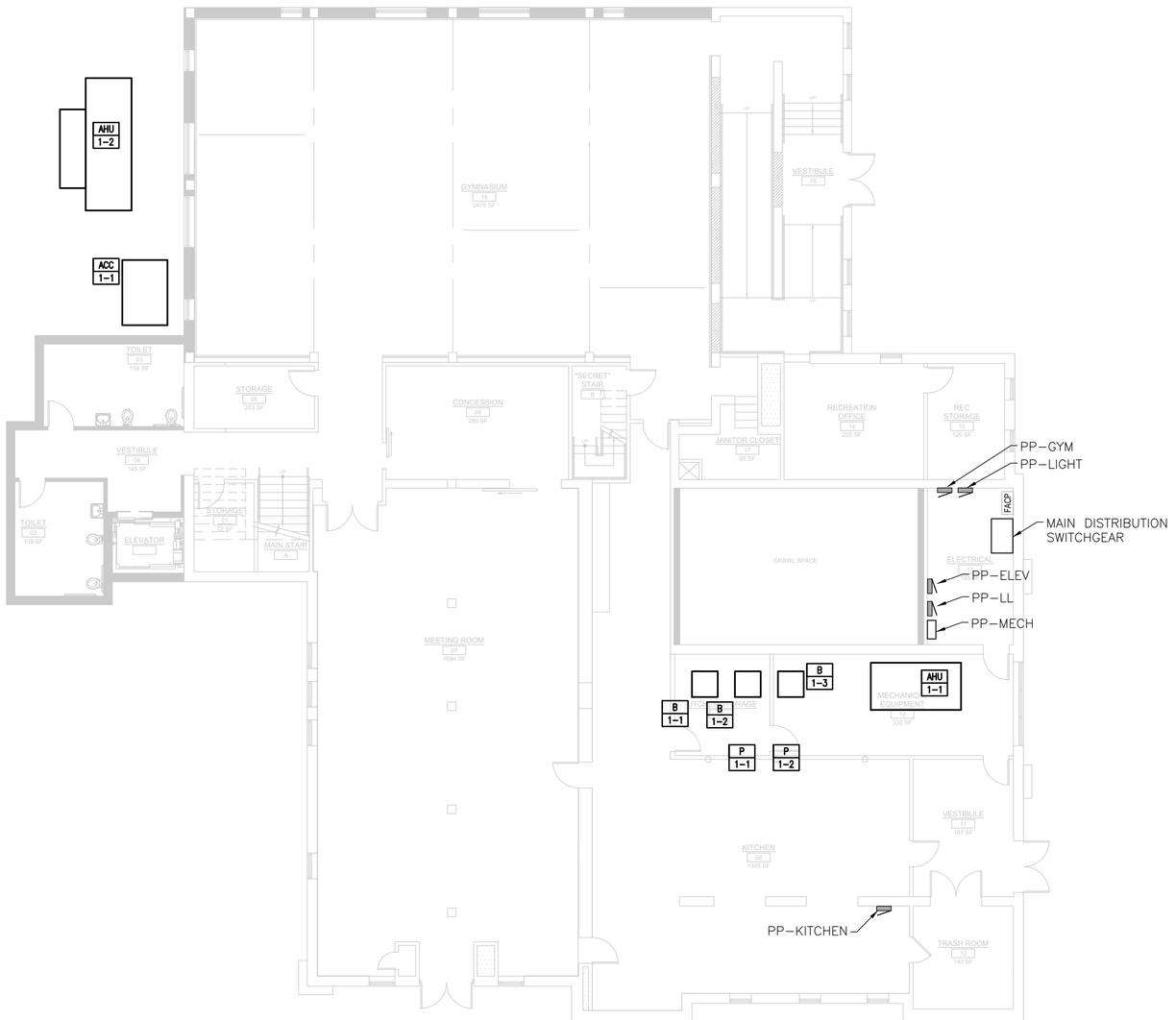
CHECKED BY MED	
DRAWN BY ASG	SHEET 13
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	



E300 LOWER LEVEL POWER PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E300.dwg
LAST SAVED DATE AND TIME: 20 May 2022, 11:40AM
LAST SAVE BY: JGarcia

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STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

ELECTRICAL LOWER LEVEL POWER PLAN

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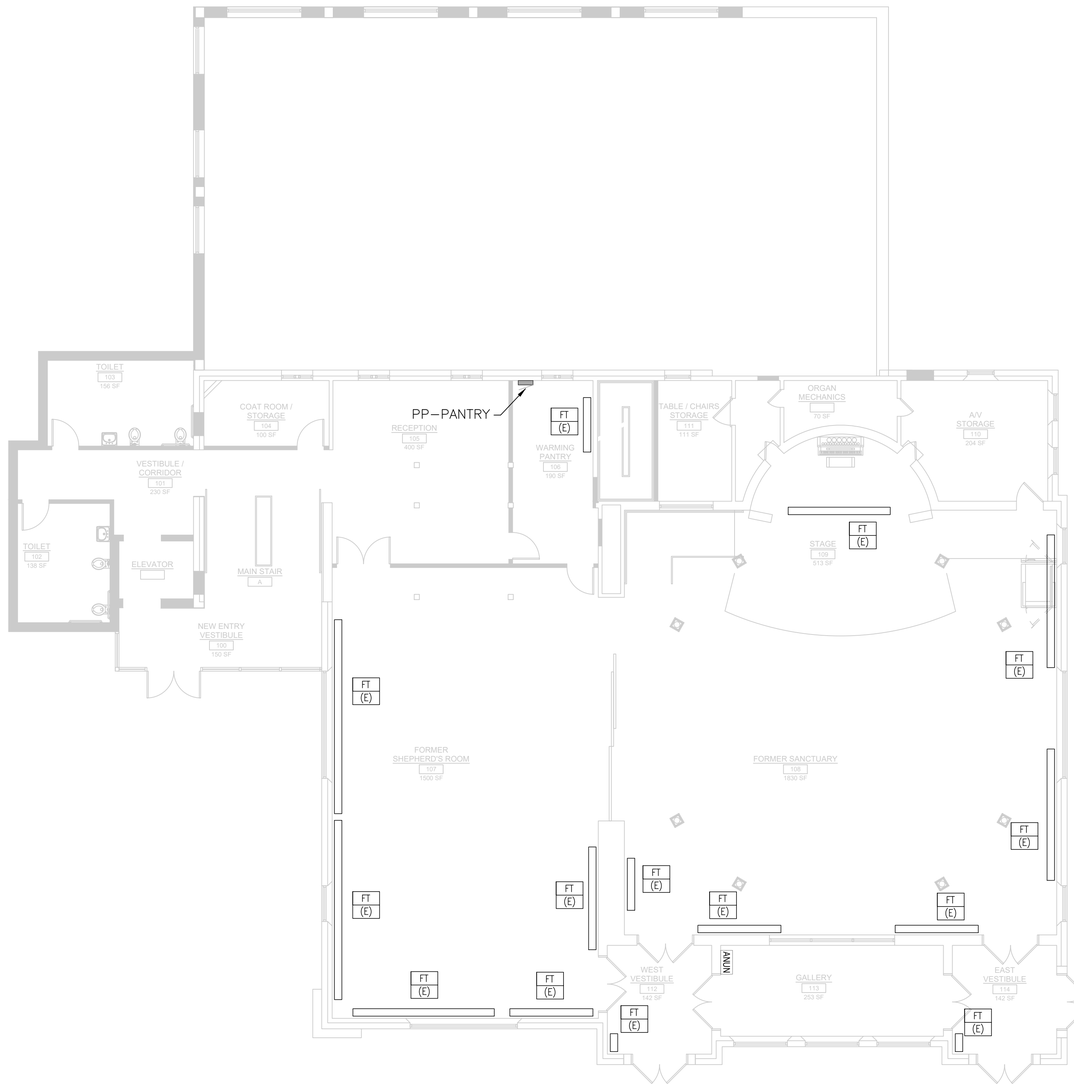
DESIGNED BY ASG	DRAWING E300
CHECKED BY MED	
DRAWN BY ASG	SHEET 14
DATE 10-21-2021	
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	OF 29



E301 SANCTUARY LEVEL POWER PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E301.dwg
LAST SAVED DATE AND TIME: 20 May 2022, 11:41AM
LAST SAVE BY: JGarcia

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COMPANY PRACTICE LEADER

LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

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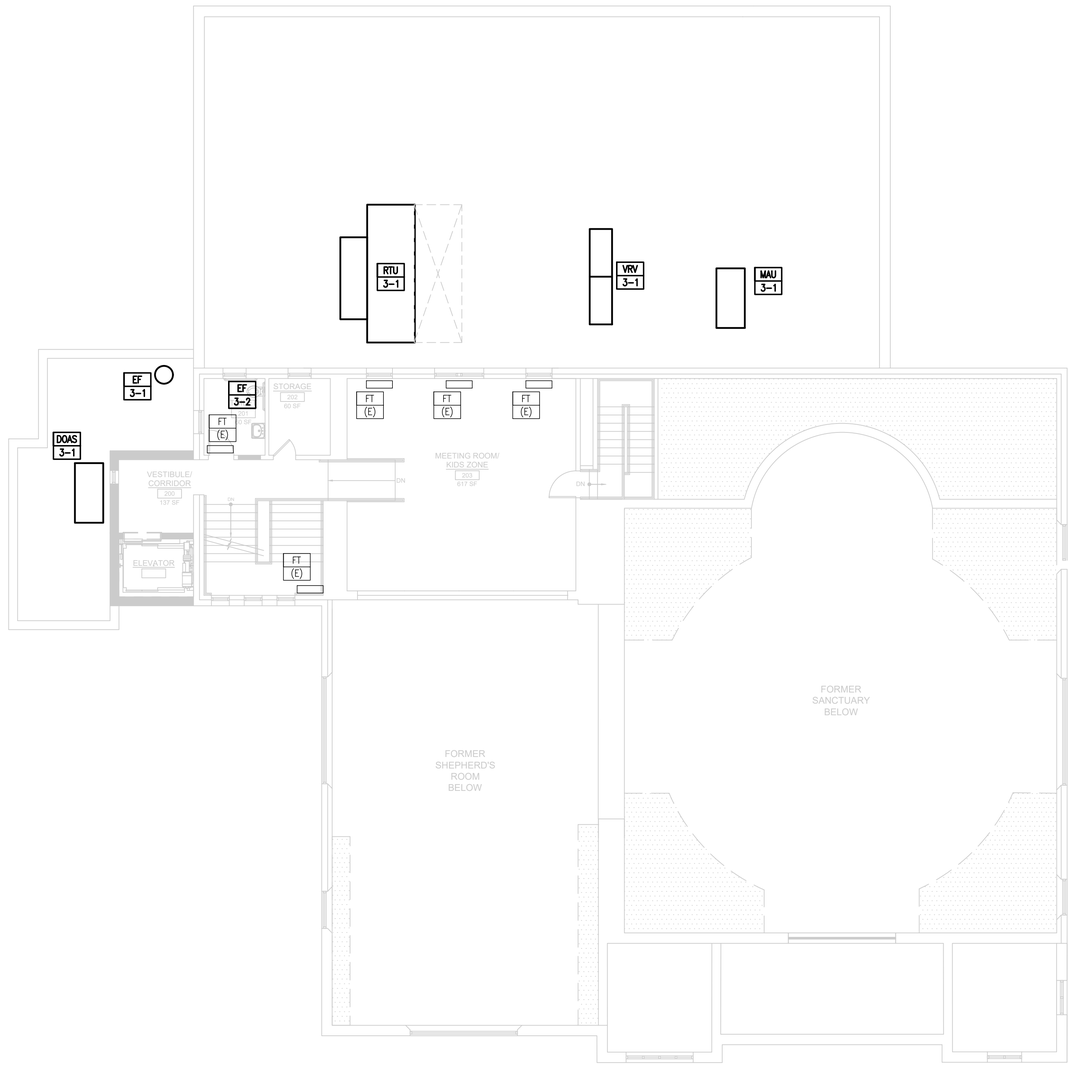
DESIGNED BY ASG	DRAWING E301
CHECKED BY MED	
DRAWN BY ASG	SHEET 15
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	



E1 / E302 UPPER LEVEL POWER PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E302.dwg
LAST SAVED: DATE AND TIME: 20 May 2022, 11:42AM
LAST SAVE BY: JGarcia

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STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

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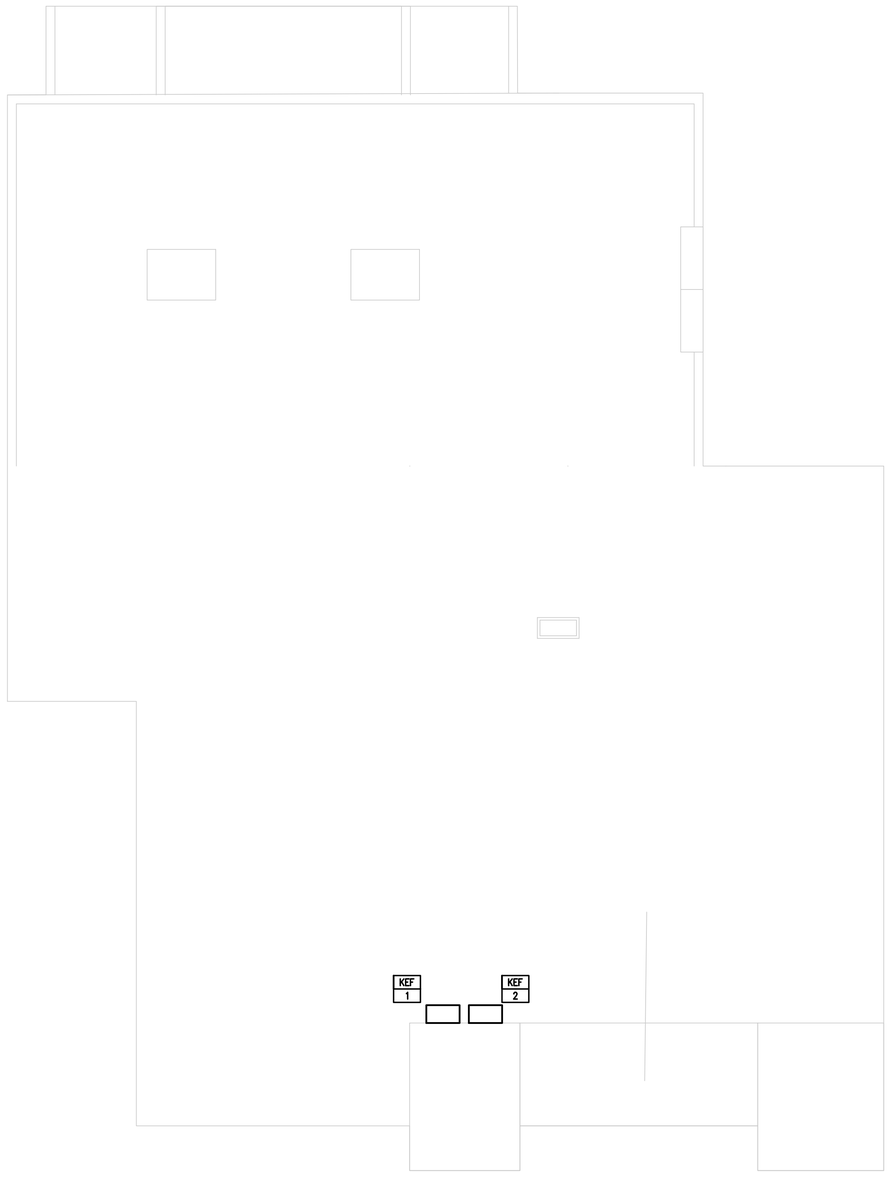
CHECKED BY MED	
DRAWN BY ASG	SHEET 16
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	



E1
E303
ROOF LEVEL POWER PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Electrical\
FILE NAME: E303.dwg
LAST SAVED: DATE: AGO TIME: 20 May 2022, 11:42AM
LAST SAVE BY: JGarcia

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MARY ELAINE DASTI
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BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

ELECTRICAL ROOF LEVEL POWER PLAN

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CHECKED BY MED	
DRAWN BY ASG	SHEET 17
DATE 10-21-2021	OF 29
SCALE 1/8"=1'-0"	
PROJ. NO. BRAD00973	

PLUMBING GENERAL SYMBOLS

XX / f	EQUIPMENT MARK, SEE SCHEDULES, THIS SHEET.
DETAIL SHEET	DETAIL OR PART PLAN TITLE.
1	REVISION TAG.
	POINT OF CONNECTION, NEW TO EXISTING.
X	DRAWING KEYNOTE.

PLUMBING ABBREVIATIONS

AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AMPS	AMPERES
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BFP	BACKFLOW PREVENTER
BLDG	BUILDING
BSMT	BASEMENT
BTUH	BRITISH THERMAL UNIT PER HOUR
C	COLD (WATER)
CF	CUBIC FEET
CFH	CUBIC FEET PER HOUR
CLG	CEILING
CONC	CONCRETE
CO	CLEANOUT
CP	CONTROL PANEL
CW	COLD WATER
DBA	DECIBELS
DFU	DRAINAGE FIXTURE UNIT
DIA, ø	DIAMETER
DN	DOWN
DR	DRAIN
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELECTRICAL	ELEC
EQUIP	EQUIPMENT
EWH	ELECTRIC WATER HEATER
EXIST (E)	EXISTING
F	FAHRENHEIT
FC	FLEXIBLE CONNECTION
FD	FLOOR DRAIN
FL	FLOOR
FS	FLOOR SINK
FT	FEET
GAL	GALLON
GC	GENERAL CONTRACTOR
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GWH	GAS-FIRED WATER HEATER
H	HOT (WATER)
HD	HEAD
HDR	HEADER
HP	HORSEPOWER
HR	HOUR
HTG	HEATING
HW	HOT WATER

PLUMBING ABBREVIATIONS

HWR	HOT WATER RECIRCULATING
Hz	HERTZ (FREQUENCY)
ID	INSIDE DIMENSION
IN	INCH
IWC	INCHES OF WATER COLUMN
IWG	INCHES IN WATER GAUGE
IWH	INSTANTANEOUS WATER HEATER
KW	KILOWATT
LBS	POUNDS
LF	LINEAR FEET
MAX	MAXIMUM
MBH	THOUSAND BTU PER HOUR
MFG	MANUFACTURER
MIN	MINIMUM
NG	NATURAL GAS
NIC	NOT IN CONTRACT
NOM	NOMINAL
NO.	NUMBER
NTS	NOT TO SCALE
OAI	OUTSIDE AIR INTAKE
OD	OUTSIDE DIMENSION
OPNG	OPENING
PD	PRESSURE DROP
PH	PHASE
PLBG	PLUMBING
PRV	PRESSURE REDUCING VALVE
PSIG	POUND PER SQUARE INCH (GAUGE)
QTY	QUANTITY
RD	ROOF DRAIN
REQ	REQUIRED
RM	ROOM
RO	ROOF OPENING
RPM	REVOLUTIONS PER MINUTE
RPZ	REDUCED PRESSURE ZONE PRINCIPLE
SPEC	SPECIFICATIONS
SQFT	SQUARE FOOT
SRV	SAFETY RELIEF VALVE
S/S	STAINLESS STEEL
TEMP	TEMPERATURE
TYP	TYPICAL
V/PH/Hz	VOLTS/PHASE/FREQUENCY (HERTZ)
VD	VOLUME DAMPER
W	WATT OR WIDTH
WMS	WIRE MESH SCREEN
WPD	WATER PRESSURE DROP
WSFU	WATER SUPPLY FIXTURE UNIT

PLUMBING PIPING SYMBOLS

	PIPE TURNING DOWN
	PIPE TURNING UP
	PIPING TOP TAKEOFF
	PIPING TOP TAKEOFF
	PIPING FLOW ARROW
	PIPING GUIDE
	PIPING ANCHOR
	PIPE UNION. LOCATE TO ALLOW FOR EQUIPMENT REMOVAL.
	SHUT-OFF VALVE
	GLOBE VALVE
	PRESSURE REDUCING VALVE
	GAS PRESSURE REGULATOR
	PLUG VALVE / GAS COCK
	CHECK VALVE
	STRAINER
	PRESSURE GAUGE WITH COCK
	MERCURY IN GLASS TUBE THERMOMETER AND WELL
	WATER HAMMER ARRESTER
	TEMPERATURE AND PRESSURE RELIEF VALVE
	PIPE CAP
	SOLENOID VALVE
	THERMOSTATIC MIXING VALVE
	SANITARY SEWER PIPING BELOW GRADE/FLOOR
	EXISTING SANITARY SEWER PIPING BELOW GRADE/FLOOR TO REMAIN
	SANITARY SEWER PIPING ABOVE GRADE/FLOOR
	EXISTING SANITARY SEWER PIPING ABOVE GRADE/FLOOR TO REMAIN
	VENT PIPING
	EXISTING VENT PIPING TO REMAIN
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	DOMESTIC HOT WATER RECIRCULATING PIPING

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Plumbing\
FILE NAME: Plumbing Drawings.dwg
LAST SAVE DATE AND TIME: 26 May 2022, 5:40PM
LAST SAVE BY: JBollinger

NO.	DATE	REVISIONS	BY	CHKD

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BOROUGH OF BRADLEY BEACH

319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN

BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

PLUMBING GENERAL INFORMATION

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DESIGNED BY: JMB	DRAWING: P000
CHECKED BY: MED	
DRAWN BY: JMB	SHEET: 20
DATE: 10-21-2021	OF 29
SCALE: NONE	
PROJ. NO.: BRAD00973	

PLUMBING SPECIFICATIONS

220000 GENERAL REQUIREMENTS

1. GENERAL
   - A. DEFINITIONS:
     - a. FURNISH: TO PURCHASE, PROCURE, ACQUIRE AND DELIVER, COMPLETE WITH RELATED ACCESSORIES.
     - b. INSTALL: TO ERECT, MOUNT AND CONNECT, COMPLETE WITH RELATED ACCESSORIES.
     - c. PROVIDE: TO FURNISH AND INSTALL.
     - d. PLUMBING CONTRACTOR, THE CONTRACTOR, THIS CONTACTOR: THE CONTRACTOR FOR PLUMBING WORK, WHICH IS SPECIFIED HEREIN AND SHOWN ON THE DRAWINGS.
     - e. OWNER: THE INDIVIDUAL OR ENTITY HOLDING OWNERSHIP OF THE PROPERTY, OR A DESIGNATED REPRESENTATIVE THEREOF, WHERE THE WORK IS TO BE PERFORMED, AND SHALL INCLUDE TENANTS LEASING SPACE AT THE LOCATION OF THE PROJECT, WHERE APPLICABLE.
   - B. COMPLY WITH THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
     - a. INTERNATIONAL BUILDING CODE – NEW JERSEY EDITION (IBC–NJ);
     - b. INTERNATIONAL FUEL GAS CODE (IFGC);
     - c. INTERNATIONAL MECHANICAL CODE (IMC);
     - d. NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC);
     - e. NATIONAL STANDARD PLUMBING CODE (NSPC);
     - f. NATIONAL ELECTRIC CODE (NEC/NFPA 70);
     - g. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA);
     - h. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM);
     - i. FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA);
     - j. NEW JERSEY BARRIER–FREE REQUIREMENTS;
     - k. APPLICABLE UNION AND EQUAL OPPORTUNITY STANDARDS OR REQUIREMENTS.
   - C. CONTRACTOR–FURNISHED PRODUCTS
     - a. CONTRACTOR SHALL FURNISH PRODUCTS INDICATED. THE WORK INCLUDES DELIVERING, UNLOADING, HANDLING, STORING, PROTECTING AND ASSEMBLING. CONTRACTOR SHALL FURNISH PRODUCTS AS DIRECTED AND TURN THEM OVER TO OWNER AT PROJECT CLOSEOUT.
   - D. ACCESS TO SITE
     - a. LIMIT USE OF PROJECT SITE TO WORK IN AREAS INDICATED. DO NOT DISTURB PORTIONS OF PROJECT SITE BEYOND AREAS IN WHICH THE WORK IS INDICATED.
     - b. KEEP DRIVEWAYS, PARKING GARAGE, LOADING AREAS, ENTRANCES, ETC. SERVING PREMISES CLEAR AND AVAILABLE TO OWNER, OWNER'S EMPLOYEES AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS.
     - c. THE CONTRACTOR'S BID SHALL INCLUDE ALL COSTS ASSOCIATED WITH AFTER–HOURS WORK/PREMIUM TIME NECESSARY TO PREVENT DISRUPTION TO THE OWNER'S OPERATIONS OR BUILDING OCCUPANTS.
   - E. COORDINATION
     - a. COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH THE OWNER'S DAY–TO–DAY OPERATIONS.
     - b. COORDINATE THE PLUMBING WORK WITH ALL OTHER AFFECTED WORK AND THE CONSTRUCTION SCHEDULE.
     - c. COORDINATE WITH THE WORK OF OTHER TRADES. INDICATED ROUTING OF ALL PIPING SYSTEMS IS APPROXIMATE. PROVIDE OFFSETS AND MINOR DEVIATIONS TO INDICATED ROUTING AS REQUIRED TO COORDINATE WITH THE WORK OF OTHER TRADES AND THE GENERAL BUILDING CONDITIONS.

2. PRODUCTS
   - A. PROVIDE ALL MATERIALS, TOOLS, SUPERVISION AND LABOR REQUIRED FOR THE PLUMBING INSTALLATION SHOWN OR DESCRIBED ON THE DRAWINGS AND IN THESE SPECIFICATIONS.
   - B. ALL PRODUCTS AND MATERIALS SHALL BE NEW AND LISTED BY A RECOGNIZED TESTING LABORATORY.
   - C. COLOR AND FINISH SELECTIONS FOR ALL PRODUCTS AND MATERIALS SHALL BE AS DIRECTED OR APPROVED BY THE ARCHITECT.
   - D. ALL COMPONENTS AND ACCESSORIES OF EQUIPMENT, FIXTURES AND PRODUCTS OF THE PLUMBING WORK SHALL BE INCLUDED SO AS TO MAKE THE WORK COMPLETE IN ALL RESPECTS, EVEN IF NOT INDICATED OR SPECIFIED.

3. EXECUTION
   - A. OBTAIN ALL PERMITS, PAY ALL FEES AND SCHEDULE ALL REQUIRED INSPECTIONS. COPIES OF ALL PERMITS AND INSPECTION CERTIFICATES SHALL BE FORWARDED TO THE OWNER FOR RECORD.
   - B. CONTACT UTILITY SERVICE PROVIDERS, COORDINATE AND ARRANGE FOR THE INSTALLATION OF ALL UTILITY SERVICES INCLUDING PAYMENT OF ALL APPLICABLE FEES.
   - C. THE GENERAL CONDITIONS OF THE CONTRACT AND ALL DIVISION 1 REQUIREMENTS APPLY TO THE WORK OF THIS SECTION.
   - D. COMPLY WITH THE REGULATIONS AND REQUIREMENTS OF ALL UTILITY SERVICE PROVIDERS AND ALL AUTHORITIES HAVING JURISDICTION.
   - E. COMPLY WITH ALL THE REQUIREMENTS OF THE OWNER'S INSURANCE CARRIER.
   - F. WHERE APPLICABLE, COMPLY WITH THE PUBLISHED REQUIREMENTS OR STANDARDS OF THE LANDLORD OR PROPERTY MANAGER.
   - G. INSTALL PIPING, EQUIPMENT AND FIXTURES IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES TO ENSURE THE INSTALLATION COMPLIES WITH REQUIREMENTS AND SERVES INTENDED PURPOSES. MAINTAIN ALL REQUIRED AND RECOMMENDED CLEARANCES.
   - H. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING BID TO DETERMINE ALL CONDITIONS AFFECTING HIS SCOPE OF WORK AND BID PRICE.
   - I. SUBMITTALS:
     - a. SUBMIT SHOP DRAWINGS FOR THE FOLLOWING:
       - a.1. ALL SCHEDULED PLUMBING EQUIPMENT;
       - a.2. PIPE AND FITTINGS;
       - a.3. PLUMBING FIXTURES;
       - a.4. VALVES AND SPECIALTIES;
       - a.5. INSULATION;
       - a.6. HANGERS AND SUPPORTS;
     - b. INCLUDE ELECTRICAL DATA FOR ALL ITEMS WHICH REQUIRE ELECTRICAL POWER.
     - c. PIPING COORDINATION DRAWINGS: DETAIL AT ¼ SCALE, THE PIPING AND EQUIPMENT LAYOUT, FABRICATION OF PIPE ANCHORS, HANGERS, SUPPORTS, ALIGNMENT GUIDES, EXPANSION JOINTS AND LOOPS AND ATTACHMENTS OF THE SAME TO THE BUILDING STRUCTURE. COORDINATION DRAWINGS SHALL REFLECT THE WORK OF ALL TRADES AND SHALL BE PREPARED AND SUBMITTED FOR REVIEW PRIOR TO THE INSTALLATION OF ANY SUCH WORK.
     - d. TEST AND BALANCING REPORTS;
     - e. SUBMIT CLOSE–OUT DOCUMENTS, INCLUSIVE OF ALL EQUIPMENT O&M MANUALS, WARRANTIES, AND AS–BUILT DRAWINGS INDICATING ALL ALTERNATIONS, ADDITIONS AND DELETIONS OF THE SYSTEMS DESIGNED AND AS SHOWN ON THE CONTRACT DOCUMENTS.
     - f. SUBMITTALS FROM SUPPLIERS OR MANUFACTURERS WHICH DO NOT BEAR THE STAMP OF THE SUBMITTING CONTRACTOR INDICATING THAT THE CONTRACTOR HAS REVIEWED THE SUBMITTAL FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS WILL BE RETURNED REJECTED.
     - g. THE ENGINEER'S REVIEW OF SUBMITTALS IS A COURTESY WHICH DOES NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, REGARDLESS OF THE ACTION INDICATED BY THE SHOP DRAWING STAMP.
     - h. SUBSTITUTIONS: ALL SPECIFIED EQUIPMENT SHALL SERVE AS THE BASIS OF DESIGN. ALL BIDS SHALL BE BASED ON THE SPECIFIED MANUFACTURER(S). SUBSTITUTIONS OF OTHER MANUFACTURER'S EQUIPMENT SHALL BE CONSIDERED BY THE ENGINEER DURING CONSTRUCTION. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR COORDINATING THE WORK OF OTHER TRADES THAT ARE AFFECTED BY SUBSTITUTIONS, INCLUSIVE OF ALL RELATED COSTS.
   - J. DRAWINGS
     - a. THE DRAWINGS ARE DIAGRAMMATIC AND SHOW THE APPROXIMATE LOCATIONS OF EQUIPMENT, FIXTURES, PIPING, ETC. EXACT LOCATIONS OF SUCH ITEMS SHALL BE COORDINATED IN THE FIELD WITH THE ARCHITECTURAL DRAWINGS AND/OR THE OWNER AS CONSTRUCTION PROCEEDS.
     - b. PROVIDE ALL NECESSARY INCIDENTAL MATERIALS AND ACCESSORIES REQUIRED TO COMPLETE WORK IN ALL RESPECTS, EVEN IF NOT PARTICULARLY SHOWN OR SPECIFIED.
     - c. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND MOUNTING REQUIREMENTS FOR ALL FIXTURES.
   - K. ACCESS PANELS
     - a. ALL BALANCING VALVES, SHUT–OFF VALVES, MOTORIZED VALVES, EQUIPMENT, DISCONNECT SWITCHES, SPECIALTIES, ETC. REQUIRING FUTURE ACCESS OR SERVICE SHALL BE CLEARLY IDENTIFIED AND COMMUNICATED TO THE GENERAL CONTRACTOR.
     - b. FOR ALL AREAS WHICH THE GENERAL CONSTRUCTION WILL LIMIT THE ACCESS TO THE ABOVE DEVICES, THE PLUMBING CONTRACTOR SHALL FURNISH ACCESS PANELS TO BE TURNED OVER TO THE GENERAL CONTRACTOR FOR INSTALLATION.
     - c. ACCESS PANELS SHALL BE PAINTED STEEL WITH A CONTINUOUS HINGE AT ONE SIDE AND A SCREW LOCK OPPOSITE THE HINGE.
     - d. ACCESS PANEL SIZE SHALL BE AS REQUIRED TO PROVIDE PROPER ACCESS TO THE DEVICE SERVED.
   - L. BASIC PLUMBING METHODS
     - a. ROUTE PIPING IN AN ORDERLY MANNER, PLUMB AND PARALLEL TO BUILDING FEATURES. INSTALL WORK TO CONSERVE BUILDING SPACE.
     - b. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS OR CONNECTED EQUIPMENT.
     - c. REDUCTIONS IN PIPE SIZES SHALL BE MADE WITH ONE PIECE REDUCING FITTINGS. BUSHINGS ARE NOT ACCEPTABLE. PROVIDE FLANGED FITTINGS AT BASE OF RISERS.
     - d. EXTERIOR INSTALLATIONS TO BE WEATHER–PROOF IN ALL RESPECTS. EXTERIOR MATERIALS AND EQUIPMENT SHALL BE PAINTED TO PREVENT CORROSION, COLOR PER ARCHITECT.
     - e. ALL MOTOR–OPERATED EQUIPMENT SHALL BE PROVIDED WITH VIBRATION ISOLATORS.
     - f. AT ALL PIPING PENETRATIONS THROUGH CONCRETE WALLS/PARTITIONS OR FLOOR/CEILING ASSEMBLIES PROVIDE GALVANIZED STEEL OR CAST IRON SLEEVE. SLEEVES THROUGH OTHER THAN CONCRETE ASSEMBLIES SHALL BE 20 GAGE GALVANIZED SHEET METAL WITH WELDED LONGITUDINAL JOINT. SLEEVES ARE NOT REQUIRED AT CORE–DRILLED HOLES.
     - g. SLEEVES AT PENETRATIONS THROUGH FIRE–RATED PARTITIONS OR FLOOR/CEILING ASSEMBLIES SHALL BE SEALED WITH 3M BRAND UL–RATED FIRE BARRIER CAULK OR APPROVED EQUAL.
     - h. INSTALL SLEEVE–SEAL SYSTEMS IN SLEEVES IN EXTERIOR CONCRETE WALLS AND SLABS–ON–GRADE AT SERVICE PIPING ENTRIES INTO BUILDING. SLEEVE–SEAL SYSTEMS SHALL BE AS MANUFACTURED BY LINKSEAL MODULAR SEALS OR APPROVED EQUAL.
     - i. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING ASSOCIATED WITH THE PLUMBING WORK. FINISHED OPENINGS SHALL MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR ALL PAINTING ASSOCIATED WITH CUTTING AND PATCHING.
     - j. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE EQUIPMENT OR PRODUCT MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
     - k. ALL SYSTEMS SHALL OPERATE WITHOUT OBJECTIONABLE NOISE OR VIBRATION.
     - l. ALL PIPING IN FINISHED SPACES SHALL BE CONCEALED.
     - m. INSTALL PIPING ABOVE ACCESSIBLE CEILINGS TO ALLOW FOR CEILING PANEL REMOVAL.
     - n. INSTALL PIPE TO ALLOW FOR VALVE OPERATION AND MAINTENANCE AND SERVICE OF EQUIPMENT.
     - o. CLEAN INTERIOR OF PIPING. REMOVE DIRT AND DEBRIS AS WORK PROGRESSES. PLUG ENDS OF UNCOMPLETED PIPING AT THE END OF EACH DAY AND WHEN WORK STOPS.
     - p. REAM ENDS OF PIPES AND TUBES AND REMOVE BURRS. REMOVE SCALE, SLAG, DIRT AND DEBRIS FROM INSIDE AND OUTSIDE PIPES, TUBES AND FITTINGS BEFORE ASSEMBLING. BEVEL PLAIN ENDS OF STEEL PIPE.
     - q. LOW VOLTAGE WIRING SHALL BE PROVIDED BY THIS CONTRACTOR. THE CONTRACTOR FOR ELECTRICAL WORK SHALL BE RESPONSIBLE FOR LINE VOLTAGE WIRING.
     - r. PIPING SHALL NOT BE SUPPORTED FROM OTHER PIPE, CONDUIT OR DUCTWORK.
     - s. PIPING HANGERS AND SUPPORTS SHALL BE IN ACCORDANCE WITH MSS SP–58.
     - t. ALL EQUIPMENT SHALL BE PROVIDED WITH APPROPRIATE SUPPORTS.
     - u. PROVIDE CHROME–PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGS IN ALL FINISHED SPACES EXPOSED TO VIEW.
     - v. PREPARE PIPING CONNECTIONS TO EQUIPMENT WITH FLANGES AND UNIONS.
   - M. EXISTING CONDITIONS.
     - a. VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WITH THE PLUMBING WORK.
     - b. VERIFY EXISTING CONDITIONS BEFORE COMMENCING WORK, AND REPORT ANY DISCREPANCIES TO THE ENGINEER. BY COMMENCING WORK THE CONTRACTOR ACKNOWLEDGES HIS CONFIRMATION OF ALL EXISTING CONDITIONS AS ACCEPTABLE WITH REFERENCE TO HIS CONTRACT, SCOPE OF WORK AND BID PRICE.
     - c. USE EXISTING CONNECTIONS AT MAINS AND RISERS WHEN AVAILABLE FOR THE CONNECTION OF NEW PIPING.
   - N. WARRANTY
     - a. EQUIPMENT, MATERIALS AND WORKMANSHIP OF THE PLUMBING INSTALLATION SHALL BE WARRANTED BY THE CONTRACTOR FOR PLUMBING WORK FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
     - b. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROMPTLY REPAIR AND CORRECT ANY FAULTY MATERIALS, WORKMANSHIP OR EQUIPMENT. ALL SETTLEMENTS OF SURFACES THAT OCCUR WITHIN THAT PERIOD SHALL ALSO BE PROMPTLY REPAIRED.

220523 GENERAL–DUTY VALVES FOR PLUMBING PIPING

1. GENERAL
   - A. SOURCE LIMITATIONS: OBTAIN EACH TYPE OF VALVE FROM SINGLE MANUFACTURER.
   - B. PROVIDE SHUT–OFF VALVES ON SUPPLY LINES TO ALL PLUMBING FIXTURES AND EQUIPMENT.
   - C. PROVIDE SHUT–OFF VALVES ON ALL BRANCH LINE TAKE–OFFS FROM MAIN PIPING.
   - D. ALL VALVES SHALL BE ACCESSIBLE. PROVIDE ACCESS DOORS WHERE REQUIRED FOR VALVE ACCESS.
   - E. REMOVE PROTECTIVE COATINGS PRIOR TO INSTALLATION.
2. PRODUCTS
   - A. BRONZE BALL VALVES: BRONZE BODY, BRONZE STEM, HANDWHEEL, INSIDE SCREW, RENEWABLE COMPOSITION DISC, SOLDER OR SCREW ENDS REPACKABLE UNDER PRESSURE.
   - B. CAST STEEL BALL VALVES: CAST STEEL BODY, CHROME PLATED STEEL BALL, TEFLON SEATS AND PACKING, LEVER HANDLE, FLANGED ENDS.
   - C. IRON GATE VALVES: IRON BODY, BRONZE TRIM, RISING STEM, HANDWHEEL, OS&Y, SINGLE WEDGE, FLANGED ENDS.
   - D. BRONZE GLOBE VALVE: BRONZE BODY, BRONZE TRIM, RISING STEM, HANDWHEEL, INSIDE SCREW, RENEWABLE COMPOSITION DISC, SOLDER OR SCREW ENDS, REPACKABLE UNDER PRESSURE.
   - E. IRON GLOBE VALVE: IRON BODY, IRON TRIM, RISING STEM, HANDWHEEL, OS&Y, PLUG–TYPE DISC, FLANGED ENDS, RENEWABLE SEAT AND DISC.
   - F. BRONZE CHECK VALVE: BRONZE BODY, BRONZE RIM, HORIZONTAL SWING TYPE, SCREW OR SOLDER ENDS, WITH REGRINDABLE AND RENEWABLE DISC.
   - G. IRON CHECK VALVE: IRON BODY, BRONZE MOUNTED, HORIZONTAL SWING TYPE, FLANGED ENDS WITH REGRINDABLE AND RENEWABLE DISC.
   - H. IRON BUTTERFLY VALVES: IRON BODY, FLANGELESS WAFER LUGGED TYPE, BRONZE DISCS, CARBON STEEL OR STAINLESS STEEL STEMS.
   - I. PRESSURE SAFETY VALVES: HEAVY BRONZE BODY CONSTRUCTION, TEFLON SEAT, STEEL STEM AND SPRINGS, AUTOMATIC DIRECT PRESSURE ACTUATED, CAPACITIES ASME CERTIFIED AND LABELED.
   - J. BALANCING VALVES: BRONZE Y–PATTERN GLOBE VALVE WITH TWO READ–OUT PORTS AND MEMORY STOP [OR] EXTENDED–HANDLE BRONZE BALL VALVE WITH VAPOR SEAL AND ADJUSTABLE MEMORY STOP AS MANUFACTURED BY NIBCO NIB–SEAL, OR APPROVED EQUAL [OR] SELF–ACTUATING THERMOSTATIC BALANCING VALVE AS MANUFACTURED BY THERMOMEGA TECH CIRCUITSOLVER, OR APPROVED EQUAL.
3. EXECUTION
   - A. INSTALL VALVES WITH STEMS UPRIGHT OR HORIZONTAL.
   - B. VALVE APPLICATIONS:
     - a. FOR SHUTOFF DUTY, USE BALL VALVES.
     - b. FOR THROTTLING DUTY, USE GLOBE AND MEMORY STOP BALL VALVES.
     - c. FOR BALANCING DUTY, USE BALANCING VALVES.
   - C. GLOBE VALVES:
     - a. 2" AND UNDER: BRONZE GLOBE VALVE.
     - b. OVER 2": IRON GLOBE VALVE.
   - D. BALL VALVES:
     - a. 2" AND UNDER: BRONZE BALL VALVE.
     - b. OVER 2": CAST STEEL BALL VALVE.
   - E. CHECK VALVES:
     - a. 2" AND UNDER: BRONZE CHECK VALVE.
     - b. OVER 2": IRON CHECK VALVE.

220553 IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT

1. GENERAL
   - A. COORDINATE INSTALLATION OF IDENTIFYING DEVICES WITH LOCATIONS OF ACCESS PANELS AND DOORS.
   - B. INSTALL IDENTIFYING DEVICES BEFORE INSTALLING ACOUSTICAL CEILING AND SIMILAR CONCEALMENT.
2. PRODUCTS
   - A. EQUIPMENT LABELS: LAMINATED THREE LAYER PLASTIC WITH ENGRAVED BLACK LETTERS ON LIGHT CONTRASTING BACKGROUNDS.
   - B. VALVE TAGS: VALVES, CONTROL DEVICES AND DOMESTIC WATER SPECIALTIES: MINIMUM 1–1/2" DIAMETER BRASS WITH STAMPED LETTERS WITH CORROSION–RESISTANT CHAIN.
   - C. PIPING LABELS: ADHESIVE BACKED PLASTIC TAPE MARKERS.
3. EXECUTION
   - A. PROVIDE NAMEPLATES FOR ALL PLUMBING EQUIPMENT. AFFIX WITH SUFFICIENT ADHESIVE TO PROVIDE PERMANENT ADHESION.
   - B. PROVIDE TAGS FOR ALL VALVES, CONTROL DEVICES AND DOMESTIC WATER SPECIALTIES. NUMBER TAGS CONSECUTIVELY BY LOCATION.
   - C. PIPING LABELS SHALL IDENTIFY SERVICE, FLOW DIRECTION AND TEMPERATURE (WHERE APPLICABLE). LOCATE LABELS 20 FEET ON CENTER AND NOT GREATER THAN 2 FEET FROM CHANGES IN DIRECTION OR PENETRATIONS OF STRUCTURE OR ENCLOSURE.
   - D. PROVIDE UNDERGROUND PIPE MARKERS 6 TO 8 INCHES BELOW FINISHED GRADE DIRECTLY ABOVE BURIED PIPE.
   - E. LETTERING FOR ALL PLUMBING IDENTIFICATION SHALL BE AS LARGE AS PRACTICAL, WITH MINIMUM ¼" HIGH CHARACTERS.
   - F. SUBMIT TO OWNER A VALVE TAG CHART IN ANODIZED ALUMINUM FRAME WITH PLEXIGLAS COVER. VALVE TAG CHART SHALL INDICATE THE EXACT LOCATION OF ALL ITEMS REFERENCED TO A KEY PLAN PROVIDED BY THE CONTRACTOR, AND THE SERVICE/PURPOSE OF EACH VALVE, CONTROL DEVICE AND DOMESTIC WATER SPECIALTY. PROVIDE TO THE OWNER ONE HARD COPY OF A LAMINATED KEY PLAN AT A SCALE SUFFICIENT TO CLEARLY CONVEY ITEM LOCATIONS, AND A DIGITAL COPY IN ADOBE .PDF FORMAT (OR IN A DIGITAL FORMAT AS DIRECTED BY THE OWNER) OF THE VALVE TAG CHART AND KEY PLAN AT PROJECT CLOSEOUT.

220593 TESTING, ADJUSTING AND BALANCING

1. GENERAL
   - A. ALL EQUIPMENT WILL BE FACTORY TESTED.
   - B. ALL PIPING, FIXTURES AND EQUIPMENT SHALL BE LEFT CLEAN AND FREE OF DIRT, DEBRIS, CUTTING OILS, ETC.
   - C. ALL COSTS ASSOCIATED WITH TESTING, ADJUSTING AND BALANCING SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
   - D. AT THE COMPLETION OF THE PLUMBING WORK, COMPLETELY TEST THE ENTIRE PLUMBING INSTALLATION FOR PROPER OPERATION. PROVIDE SUFFICIENT NOTICE TO ALL PARTIES TO WITNESS TESTING. CORRECT ALL DEFICIENCIES FOUND.
   - E. ALL TESTING SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE, THE INTERNATIONAL FUEL GAS CODE AND ALL OTHER APPLICABLE CODES AND STANDARDS.
   - F. NEW, ALTERED, EXTENDED OR REPLACED PLUMBING SHALL BE LEFT UNCOVERED AND UNCONCEALED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED.
   - G. TESTING OF THE INSTALLED SYSTEMS SHALL BE CONDUCTED IN THE PRESENCE OF A REPRESENTATIVE FOR THE OWNER AND APPROPRIATE LOCAL AUTHORITIES.
   - H. RESULTS OF ALL TESTING SHALL BE SUBMITTED TO THE OWNER IN THE FORM OF WRITTEN REPORTS.
2. EXECUTION
   - A. DRAINAGE AND VENT SYSTEMS:
     - a. TESTING SHALL BE IN ACCORDANCE WITH THE 2018 NATIONAL STANDARD PLUMBING CODE SECTION 15.4.
     - b. ALL NEW SYSTEMS, AND ALL MODIFIED SECTIONS OF EXISTING SYSTEMS SHALL BE TESTED.
     - c. PROVIDE TESTING AT ROUGH PLUMBING STAGE AND FINISHED PLUMBING STAGE AS INDICATED BELOW.
     - d. FOR ROUGH PLUMBING ONE OF THE FOLLOWING TEST METHODS SHALL BE USED:
     - e. WATER TEST – SUBJECT SYSTEM TO MINIMUM 10–FOOT HEAD OF WATER. THIS METHOD IS SUITABLE FOR ANY PIPING MATERIALS.
     - f. AIR TEST – INTRODUCE AIR UNDER PRESSURE TO UNIFORM GAUGE PRESSURE OF 5 POUNDS PER SQUARE INCH, OR SUFFICIENT PRESSURE TO BALANCE A COLUMN OF MERCURY 10 INCHES IN HEIGHT FOR A PERIOD OF AT LEAST 15 MINUTES WITHOUT INTRODUCING NEW AIR. THIS METHOD MAY NOT BE USED WITH PLASTIC PIPING SYSTEMS.
     - g. FOR FINISHED PLUMBING ONE OF THE FOLLOWING TEST METHODS SHALL BE USED:
       - g.1. SMOKE TEST – FILL ALL FIXTURE TRAPS AND INTRODUCE SMOKE VIA ONE OR MORE SMOKE MACHINES TO A PRESSURE EQUIVALENT TO ONE–INCH WATER COLUMN MAINTAINED FOR THE DURATION OF THE INSPECTION.
       - g.2. PEPPERMINT TEST – WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION, A PEPPERMINT TEST CONDUCTED IN ACCORDANCE WITH NSPC SECTION 15.4.2.B.2 MAY BE USED IN LIEU OF A SMOKE TEST.
   - B. WATER SUPPLY SYSTEMS:
     - a. TEST THE ENTIRE WATER SUPPLY SYSTEM, OR COMPLETED SECTIONS THEREOF TO A WATER PRESSURE NOT LESS THAN THE WORKING PRESSURE UNDER WHICH IT WILL BE USED, OR 80 POUNDS PER SQUARE INCH, WHICHEVER IS GREATER.
     - b. WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND AIR PRESSURE TEST WITH THE SAME PRESSURES INDICATED ABOVE MAY BE USED IN LIEU OF A WATER PRESSURE TEST.
     - c. LOSS OF TEST PRESSURE AND LEAKS CONSTITUTE DEFECTS REQUIRING REPAIR.
     - d. TESTING OF PLASTIC PIPING SYSTEMS WITH COMPRESSED GAS OR AIR PRESSURE IS PROHIBITED.
     - e. UPON COMPLETION OF TESTING, FLUSH AND DISINFECT THE SYSTEM IN ACCORDANCE WITH NSPC SECTION 10.9.
   - C. DOMESTIC HOT WATER RECIRCULATING SYSTEMS:
     - a. ADJUST BALANCING VALVES THROUGHOUT THE HOT WATER RECIRCULATING SYSTEM TO ENSURE ADEQUATE CIRCULATION THROUGH ALL SECTIONS OF THE SYSTEM.

220700 PLUMBING PIPING INSULATION

1. GENERAL
   - A. THE ENTIRE DOMESTIC WATER DISTRIBUTION SYSTEM SHALL BE INSULATED INCLUDING ALL VALVES, FITTINGS, ETC.
   - B. ALL INSULATION INSTALLED INDOORS SHALL HAVE A FLAME–SPREAD INDEX OF 25 OR LESS AND SMOKE–DEVELOPED INDEX OF 50 OR LESS. ASTM E 84.
   - C. INSULATION ENERGY EFFICIENCY SHALL BE IN ACCORDANCE WITH ASHRAE–90.1.
   - D. INSULATION THICKNESS AND VAPOR BARRIER SHALL BE AS REQUIRED TO PREVENT CONDENSATION ON COLD SURFACE.
   - E. COORDINATE INSTALLATION AND TESTING OF HEAT TRACING.
2. PRODUCTS
   - A. DOMESTIC COLD WATER – ABOVE GRADE
     - a. 1" THICK, 3 LB/CU FT DENSITY FIBERGLASS INSULATION WITH INTEGRAL, FACTORY APPLIED FIRE RETARDANT JACKET WITH 2" SELF–SEALING LONGITUDINAL OVERLAPS AND 4" CIRCUMFERENTIAL BUTT STRIPS WITH FACTORY–APPLIED VAPOR BARRIER. ASTM C547.
     - b. PREFORMED FIBERGLASS FITTINGS, MITERED SECTIONS OF PIPE INSULATION OR FIBERGLASS BLANKET WITH PROTO LO SMOKE OR APPROVED EQUAL PVC FITTING COVERS AT ALL FITTINGS, JOINTS, VALVES, UNIONS, FLANGES, ETC.
   - B. DOMESTIC HOT WATER AND HOT WATER RECIRCULATING – ABOVE GRADE – 1–1/4" PIPE SIZE AND SMALLER
     - a. 1" THICK, 3 LB/CU FT DENSITY FIBERGLASS INSULATION WITH INTEGRAL, FACTORY APPLIED FIRE RETARDANT JACKET WITH 2" SELF–SEALING LONGITUDINAL OVERLAPS AND 4" CIRCUMFERENTIAL BUTT STRIPS WITH FACTORY–APPLIED VAPOR BARRIER. ASTM C547.
     - b. PREFORMED FIBERGLASS FITTINGS, MITERED SECTIONS OF PIPE INSULATION OR FIBERGLASS BLANKET WITH PROTO LO SMOKE OR APPROVED EQUAL PVC FITTING COVERS AT ALL FITTINGS, JOINTS, VALVES, UNIONS, FLANGES, ETC.
   - C. DOMESTIC HOT WATER AND HOT WATER RECIRCULATING – ABOVE GRADE – 1–1/2" PIPE SIZE AND LARGER
     - a. 1–1/2" THICK, 3 LB/CU FT DENSITY FIBERGLASS INSULATION WITH INTEGRAL, FACTORY APPLIED FIRE RETARDANT JACKET WITH 2" SELF–SEALING LONGITUDINAL OVERLAPS AND 4" CIRCUMFERENTIAL BUTT STRIPS WITH FACTORY–APPLIED VAPOR BARRIER. ASTM C547.
     - b. PREFORMED FIBERGLASS FITTINGS, MITERED SECTIONS OF PIPE INSULATION OR FIBERGLASS BLANKET WITH PROTO LO SMOKE OR APPROVED EQUAL PVC FITTING COVERS AT ALL FITTINGS, JOINTS, VALVES, UNIONS, FLANGES, ETC.
   - D. SUPPLIES AND DRAINS FOR HANDICAP–ACCESSIBLE LAVATORIES/SINKS
     - a. MOLDED VINYL WASTE AND SUPPLY PIPING COVERS, TRUEBRO LAVGUARD, OR APPROVED EQUAL, COMPLYING WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
3. EXECUTION
   - A. VERIFY PIPING HAS BEEN TESTED, AND THAT SURFACES ARE CLEAN AND DRY BEFORE APPLYING INSULATION MATERIALS.
   - B. STORE INSULATION IN ORIGINAL PACKAGING AND PROTECT FROM DIRT AND WATER DAMAGE.
   - C. FOR A MINIMUM OF 24 HOURS AFTER APPLICATION OF ADHESIVES, MASTICS AND SEALANTS, MAINTAIN PROPER TEMPERATURES AS RECOMMENDED BY THE MANUFACTURER.
   - D. ALL PIPING, FITTINGS, VALVES, UNIONS, FLANGES, ETC. SHALL BE INSULATED AS SPECIFIED ABOVE.
   - E. CONTINUE INSULATION THROUGH PENETRATIONS OF BUILDING ASSEMBLIES. FOR ASSEMBLIES HAVING A FIRE–RESISTANCE RATING, PROVIDE INTUMESCENT FIRESTOPPING AT PENETRATION TO MAINTAIN FIRE–RESISTANCE RATING.
   - F. PROVIDE GALVANIZED STEEL SHIELD BETWEEN HANGER AND PIPING INSULATION FOR ALL INSULATED PIPE. FOR INSULATED PIPE 2" AND LARGER PROVIDE INSERT BETWEEN SUPPORT SHIELD AND PIPING UNDER FINISH JACKET.
   - G. WHERE VAPOR–BARRIER IS INDICATED, SEAL JOINTS, SEAMS AND INSULATION PENETRATIONS AT HANGERS AND SUPPORTS WITH VAPOR–BARRIER MASTIC.
   - H. REPAIR DAMAGED INSULATION AND FACINGS TO MATCH ADJACENT INSULATION AND FACINGS.
   - I. FILL JOINTS, SEAMS, VOIDS AND IRREGULAR SURFACES WITH INSULATING CEMENT TO A UNIFORM SMOOTH CONTOUR.
   - J. TAPE PVC COVERS TO ADJOINING INSULATION WITH PVC TAPE.

221100 DOMESTIC WATER

1. GENERAL
   - A. COORDINATE ALL REQUIREMENTS OF THE DOMESTIC WATER SERVICE AND ASSEMBLY WITH THE WATER UTILITY PROVIDER. THE CONTRACTOR'S BID SHALL INCLUDE ALL REQUIRED COMPONENTS OF THE DOMESTIC WATER SERVICE ASSEMBLY INCLUDING BUT NOT LIMITED TO SHUT–OFF VALVES, DRAIN VALVES, STRAINERS, PRESSURE–REDUCING VALVES, BACKFLOW PREVENTERS, WATER METERS, METER BYPASS, ETC.
   - B. ALL PRODUCTS AND COMPONENTS IN THE DOMESTIC WATER SYSTEM SHALL BE LEAD–FREE.
2. PRODUCTS
   - A. COPPER TUBE AND FITTINGS:
     - a. HARD COPPER TUBE: ASTM B 88 TYPE L WATER TUBE, DRAWN TEMPER. ABOVE GRADE.
     - b. SOFT COPPER TUBE: ASTM B 88 TYPE K WATER TUBE, ANNEALED TEMPER. BELOW GRADE.
     - c. CAST–COPPER, SOLDER–JOINT FITTINGS: ASME B16.18, PRESSURE FITTINGS. BRAZED BELOW GRADE.
     - d. WROUGHT–COPPER, SOLDER–JOINT FITTINGS: ASME B16.22, WROUGHT–COPPER PRESSURE FITTINGS.
     - e. COPPER PRESSURE–SEAL–JOINT FITTINGS: WROUGHT COPPER FITTING WITH EPDM–RUBBER O–RING SEALS IN SIZES 2" AND SMALLER; CAST–BRONZE OR WROUGHT–COPPER FITTING WITH EPDM–RUBBER O–RING SEALS IN SIZES ABOVE 2".
     - f. SOLDER FILLER METALS: ASTM B 32, LEAD–FREE ALLOYS.
     - g. FLUX: ASTM B 813, WATER–FLUSHABLE.
3. EXECUTION
   - A. INSTALL DOMESTIC WATER PIPING LEVEL, PLUMB AND PARALLEL TO BUILDING FEATURES AND LINES.
   - B. INSTALL PIPING ABOVE ACCESSIBLE CEILINGS TO ALL FOR CEILING PANEL REMOVAL.
   - C. INSTALL SHUT–OFF VALVES AND UNIONS UPSTREAM AND DOWNSTREAM OF ALL PUMPS AND PIPING SPECIALTIES.
   - D. PROVIDE SLEEVES FOR PIPING PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGS. PROVIDE FIRE–STOPPING WHEN PENETRATING ASSEMBLIES WITH FIRE–RESISTANCE RATING.
   - E. PROVIDE CHROME–PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS OF FLOORS, WALLS AND CEILINGS.
   - F. PROVIDE DIELECTRIC FITTINGS WHEN JOINING DISSIMILAR METALS.
   - G. INSTALL HANGERS FOR COPPER TUBING WITH THE FOLLOWING MAXIMUM HORIZONTAL SPACING AND MINIMUM ROD DIAMETERS:
     - a. NPS 3/4 AND SMALLER: 60 INCHES WITH 3/8" ROD.
     - b. NPS 1 AND NPS 1–1/4: 72 INCHES WITH 3/8" ROD.
     - c. NPS 1–1/2 AND NPS 2: 96 INCHES WITH 3/8" ROD.
     - d. NPS 2–1/2: 108 INCHES WITH 1/2" ROD.
     - e. NPS 3 TO NPS 5: 120 INCHES WITH 1/2" ROD.
   - H. INSTALL SUPPORTS FOR VERTICAL COPPER TUBING EVERY 10 FEET.
   - I. INSTALL PIPING TO ALLOW FOR THE OPERATION OF VALVES AND FOR SERVICE AND MAINTENANCE OF EQUIPMENT.
   - J. PROVIDE WATER HAMMER ARRESTERS ON WATER SUPPLY PIPING SERVING FLUSHOMETERS AND QUICK–CLOSING VALVES. WHERE INSTALLED ON A BRANCH SERVING MULTIPLE FLUSHOMETERS, INSTALL WATER HAMMER ARRESTER UPSTREAM OF LAST FLUSHOMETER SERVED BY THE BRANCH.
   - K. PROVIDE BACKFLOW PREVENTERS APPROPRIATE FOR THE ASSOCIATED HAZARD. EXTEND BACKFLOW PREVENTER DRAINS TO SPILL TO NEAREST INDIRECT WASTE RECEPTOR.
   - L. PROVIDE CHECK VALVES TO MAINTAIN CORRECT DIRECTION OF FLOW TO AND FROM EQUIPMENT.
   - M. INSTALL Y–PATTERN STRAINER ON SUPPLY SIDE OF EACH WATER PRESSURE–REDUCING VALVE, BACKFLOW PREVENTER, SOLENOID VALVE AND THERMOSTATIC MIXING VALVE.
   - N. SET FIELD–ADJUSTABLE PRESSURE, FLOW AND TEMPERATURE SET POINTS FOR WATER PRESSURE–REDUCING VALVES, BALANCING VALVES AND WATER MIXING VALVES, AS APPLICABLE.
   - O. USE CLEANING, PURGING AND DISINFECTING PROCEDURES PRESCRIBED BY AUTHORITIES HAVING JURISDICTION. PREPARE AND SUBMIT REPORTS OF PURGING AND DISINFECTING ACTIVITIES, INCLUDING COPIES OF WATER–SAMPLE APPROVALS WHERE REQUIRED.
   - P. APPROVED EQUAL. PLASTIC TAILPIECES, TRAPS, ETC. SHALL NOT BE ACCEPTABLE.
   - Q. SUPPLIES TO ALL FIXTURES SHALL INCLUDE CHROME–PLATED STOP VALVES. PROVIDE LOOSE–KEY STOPS IN PUBLIC SPACES. EXPOSED RISERS SHALL BE CHROME–PLATED RIGID COPPER. WHERE CONCEALED FROM VIEW, SUPPLIES MAY BE BRAIDED STAINLESS STEEL FLEXIBLE SUPPLY HOSES.

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DESIGNED BY	JMB
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DATE	10-21-2021
SCALE	NONE
PROJ. NO.	BRAD00973
DRAWING	P001
SHEET	21 OF 29

PLUMBING SPECIFICATIONS (CONT'D)

R. LOCATE ALL FIXTURES IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
S. INSTALL FIXTURES LEVEL AND PLUMB ACCORDING TO MANUFACTURER'S ROUGH-IN DRAWINGS.
T. SUPPORTS FOR FLOOR-MOUNTED FIXTURES SHALL BE AFFIXED TO BUILDING SUBSTRATE.
U. SET FLOOR-MOUNTED SINKS IN LEVELING BED OF CEMENT GROUT.
V. SEAL JOINTS BETWEEN FIXTURES AND WALLS/FLOORS WITH MILDEW-RESISTANT SILICONE SEALANT.
W. ADJUST ALL CONTROLS FOR PROPER FLOW AND PRESSURE.
X. INSTALL CHROME-PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS THROUGH WALLS/FLOORS IN EXPOSED, FINISHED LOCATIONS. USE DEEP PATTERN WHERE REQUIRED TO CONCEAL PROTRUDING FITTINGS.

221300 DRAINAGE, WASTE AND VENT

1. GENERAL
   A. THIS SECTION INCLUDES STORM SEWER AND SANITARY SEWER AND VENT SYSTEMS.
   B. EXISTING SANITARY PIPING RECEIVING NEW CONNECTIONS SHALL BE SNAKED AND JET-FLUSHED PRIOR TO NEW CONNECTIONS BEING MADE TO ENSURE UNOBSTRUCTED FLOW.
   C. PRIOR TO INSTALLING ANY NEW SANITARY PIPING, VERIFY INVERT ELEVATIONS ON EXISTING PIPING RECEIVING NEW CONNECTIONS TO ENSURE ADEQUATE ELEVATION OF EXISTING PIPING.
   D. VERIFY SIZE AND SUITABLE CONDITION OF EXISTING PIPING RECEIVING NEW CONNECTIONS.
   E. FOR ALL BELOW GRADE SEWER PIPING PROVIDE OFFSETS TO INDICATED ROUTING WHERE REQUIRED TO COORDINATE WITH STRUCTURAL FOOTINGS AND FOUNDATIONS.
   F. CAST IRON SOIL PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF THE CAST IRON SOIL PIPE INSTITUTE (CISPI) STANDARD 301, ASTM A 888 OR ASTM A 74, LATEST EDITIONS.
   G. PVC AND OTHER COMBUSTIBLE PIPING PRODUCTS MAY NOT BE INSTALLED IN ANY CEILING SPACES WHICH FUNCTION AS A RETURN AIR PLENUM.
   H. AT ALL INDIRECT WATER DRAINS, MAINTAIN AIR GAP OR AIR BREAK AS REQUIRED BY CODE.
2. PRODUCTS
   A. CAST IRON SOIL PIPE AND FITTINGS:
      a. HUB-AND-SPIGOT CAST IRON SOIL PIPE AND FITTINGS: ASTM A 74, SERVICE CLASS WITH ASTM C 564 RUBBER COMPRESSION GASKET.
      b. HUBLESS CAST IRON SOIL PIPE AND FITTINGS: ASTM A 888 OR CISPI 301.
      c. CISPI HUBLESS COUPLINGS: ASTM C 1277 OR CISPI 310, STAINLESS-STEEL SHIELD, BANDS AND TIGHTENING DEVICES WITH ASTM C 564 RUBBER SLEEVE WITH INTEGRAL CENTER PIPE STOP. NSF CERTIFIED.
      d. HEAVY-DUTY HUBLESS COUPLINGS: ASTM C 1277 AND ASTM C 1540, STAINLESS-STEEL SHIELD, BANDS AND TIGHTENING DEVICES WITH ASTM C 564 RUBBER SLEEVE WITH INTEGRAL CENTER PIPE STOP.
   B. ACCEPTABLE MANUFACTURERS OF CAST IRON PIPE AND FITTINGS ARE CHARLOTTE PIPE AND FOUNDRY, TYLER PIPE AND AMERICAN BRASS AND IRON.
   C. ACCEPTABLE MANUFACTURERS OF HUBLESS COUPLINGS ARE TYLER COUPLING, MISSION RUBBER AND IDEAL COUPLING.
3. EXECUTION
   A. INSTALL CAST IRON SOIL PIPING IN ACCORDANCE WITH CISPI "CAST IRON SOIL PIPE AND FITTINGS HANDBOOK" CHAPER IV, "INSTALLATION OF CAST IRON SOIL PIPE AND FITTINGS."
   B. INSTALL HEAVY-DUTY HUBLESS COUPLINGS IN STORM SEWER AND SANITARY SEWER HUBLESS PIPING.
   C. INSTALL CISPI HUBLESS COUPLINGS FOR VENT PIPING.
   D. SANITARY PIPING SHALL BE PITCHED IN THE DIRECTION OF FLOW WITH A SLOPE OF 1/4" PER FOOT OF RUN FOR ALL PIPE BELOW 3" AND 1/8" PER FOOT OF RUN FOR ALL PIPE 3" AND LARGER.
   E. VENT PIPING SHALL BE PITCHED TO DRAIN TO CONNECTED SANITARY PIPING.
   F. UNLESS INDICATED OTHERWISE, STORM WATER PIPING SHALL BE PITCHED IN THE DIRECTION OF FLOW WITH A SLOPE OF 1/8" PER FOOT OF RUN FOR ALL PIPE SIZES.
   G. EXTEND CLEANOUTS TO FLOORS AND GRADES FLUSH WITH SURROUNDING SURFACES.
   H. PROTECT DRAINS THROUGHOUT CONSTRUCTION TO PREVENT DAMAGE AND CLOGGING WITH DIRT AND DEBRIS.
   I. INSTALL HANGERS FOR CAST IRON SOIL PIPING WITH THE FOLLOWING MAXIMUM HORIZONTAL SPACING AND MINIMUM ROD DIAMETERS:
      a. NPS 1-1/2 AND NPS 2: 60 INCHES WITH 3/8" ROD.
      b. NPS 3: 60 INCHES WITH 1/2" ROD.
      c. NPS 4 AND NPS 5: 60 INCHES WITH 5/8" ROD.
      d. NPS 6 AND NPS 8: 60 INCHES WITH 3/4" ROD.
      e. NPS 10 TO NPS 12: 60 INCHES WITH 7/8" ROD.
   J. INSTALL SUPPORTS FOR VERTICAL CAST IRON SOIL PIPING EVERY 15 FEET.

221123 NATURAL GAS

1. GENERAL
   A. STEEL SUPPORT WELDING QUALIFICATIONS: QUALIFY PROCEDURES AND PERSONNEL ACCORDING TO AWS D1.1, "STRUCTURAL WELDING CODE -STEEL."
   B. PIPE WELDING QUALIFICATIONS: QUALIFY PROCEDURES AND OPERATORS ACCORDING TO ASME BOILER AND PRESSURE VESSEL CODE.
   C. CONFIRM GAS PRESSURE REQUIREMENTS FOR ALL GAS-FIRED EQUIPMENT.
   D. CONNECT TO EACH PIECE OF GAS-FIRED EQUIPMENT WITH GAS COCK, DIRT LEG, GAS PRESSURE REGULATOR, UNION AND APPLIANCE CONNECTOR.
   E. GAS PRESSURE REGULATORS SHALL BE INDIVIDUALLY VENTED TO THE BUILDING EXTERIOR. TERMINATE REGULATOR VENTS WITH GOOSENECK FITTING AND INSECT SCREEN.
   F. FLEXIBLE JOINT AND CONNECTIONS SHALL BE UTILIZED FOR ALL UNDERGROUND UTILITIES.
   G. ALL UTILITIES BENEATH PILE-SUPPORTED STRUCTURES SHOULD BE STRUCTURALLY SUPPORTED BY GALVANIZED HANGERS CONNECTED TO THE FOUNDATIONS OR FLOOR SLAB.
2. PRODUCTS
   A. STEEL PIPE: ASTM A 53, BLACK AND GALVANIZED STEEL, SCHEDULE 40.
   B. MALLEABLE-IRON THREADED FITTINGS: ASME B 16.3. PROVIDE WITH GALVANIZED COATING WHEN USED WITH GALVANIZED PIPING.
   C. WROUGHT-STEEL WELDING FITTINGS: ASTM A 234 FOR BUTT WELDING AND SOCKET WELDING.
   D. POLYETHYLENE (PE) PIPE: ASTM D 2513, GAS PRESSURE PIPE, TUBING AND FITTINGS. MARKED 'GAS'.
   E. POLYETHYLENE (PE) FITTINGS: ASTM D 2683 – SOCKET FUSION OR ASTM D 3261 – BUTT FUSION.
   F. PE TRANSITION FITTINGS: FACTORY-FABRICATED FITTINGS FOR TRANSITIONING BETWEEN STEEL AND PE PIPE.
   G. APPLIANCE FLEXIBLE CONNECTORS: ANSI Z21.24 – INDOOR, FIXED; ANSI Z21.69 – INDOOR, MOVABLE; ANSI Z21.75 – OUTDOOR. CORRUGATED STAINLESS STEEL TUBING WITH POLYMER COATING.
   H. JOINT COMPOUND AND TAPE: SUITABLE FOR NATURAL GAS APPLICATIONS.
   I. PRESSURE REGULATORS: MAXITROL, OR APPROVED EQUAL. ANSI Z21.18.
3. EXECUTION
   A. INDOOR NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON THREADED FITTINGS.
   B. OUTDOOR NATURAL GAS PIPING SHALL BE SCHEDULE 40 GALVANIZED STEEL WITH GALVANIZED THREADED FITTINGS. OUTDOOR NATURAL GAS PIPING SHALL BE COMPLETELY COATED. PIPE AND FITTINGS SHALL BE ETCHED OR COATED WITH BONDING PRIMER AND TWO COATS OF YELLOW PAINT.
   C. OUTDOOR BELOW GRADE NATURAL GAS PIPING DOWNSTREAM OF THE UTILITY METER SHALL BE CONTINUOUS POLYETHYLENE TUBING. PROVIDE YELLOW MYLAR STRIP MARKED 'GAS' IN TRENCH ABOVE ENTIRE LENGTH OF BURIED PIPING. PROVIDE TRACER WIRE IN TRENCH ABOVE ENTIRE LENGTH AS REQUIRED BY IFGC SECTION 404.14.3
   D. DO NOT INSTALL GAS PIPING IN SOLID WALLS OR PARTITIONS.
   E. DO NOT USE NATURAL GAS PIPING AS GROUNDING ELECTRODE.
   F. JOINTS SHALL BE WELDED FOR ALL PIPE SIZES 3" AND LARGER.
   G. ANY SEGMENTS OF STEEL PIPE OR FITTINGS WHICH MAY BE EXPOSED TO SOIL SHALL BE COATED WITH FACTORY-APPLIED COATINGS, OR FIELD-APPLIED COATING TAPE SUCH AS TAPECOAT H50, OR APPROVED EQUAL.
   H. PIPING SUPPORT SHALL BE IN ACCORDANCE WITH IFGC SECTION 407 AND SECTION 415.
   I. HANGER AND SUPPORTS SHALL BE IN ACCORDANCE WITH MSS SP-58.
   J. INSTALL HANGERS FOR HORIZONTAL STEEL PIPING WITH THE FOLLOWING MAXIMUM HORIZONTAL SPACING AND MINIMUM ROD DIAMETERS:
      a. NPS 1 AND SMALLER: 96 INCHES WITH 3/8" ROD.
      b. NPS 1-1/4 TO NPS 2: 108 INCHES WITH 3/8" ROD.
      c. NPS 2-1/2 TO NPS 3-1/2: 120 INCHES WITH 1/2" ROD.
      d. NPS 4 AND LARGER: 120 INCHES WITH 5/8" ROD.

224000 FIXTURES

1. GENERAL
   A. REFER TO PLUMBING FIXTURE SCHEDULE FOR ALL FIXTURE SPECIFICATIONS.
   B. ALL COLOR AND FINISH SELECTIONS SHALL BE AS DETERMINED BY THE ARCHITECT OR THE OWNER.
   C. HANDICAP FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH STATE-ADOPTED BARRIER-FREE REQUIREMENTS.
   D. PLUMBING FIXTURE SUBMITTALS SHALL BE APPROVED BY THE ARCHITECT.
   E. CONTRACTOR MAY NOT USE FIXTURES AS TEMPORARY FACILITIES UNLESS APPROVED IN WRITING BY THE OWNER.
   F. ALL FIXTURES WHICH REQUIRE VACUUM BREAKERS SHALL BE EQUIPPED WITH INTEGRAL VACUUM BREAKERS.
2. PRODUCTS
   A. ALL TRIM FITTINGS SHALL BE CHROME-PLATED BRASS AS MANUFACTURED BY ADVANCE TABCO, BRASSCRAFT, PROFLO, OR APPROVED EQUAL. PLASTIC TAILPIECES, TRAPS, ETC. SHALL NOT BE ACCEPTABLE.
   B. SUPPLIES TO ALL FIXTURES SHALL INCLUDE CHROME-PLATED STOP VALVES. PROVIDE LOOSE-KEY STOPS IN PUBLIC SPACES. EXPOSED RISERS SHALL BE CHROME-PLATED RIGID COPPER. WHERE CONCEALED FROM VIEW, SUPPLIES MAY BE BRAIDED STAINLESS STEEL FLEXIBLE SUPPLY HOSES.
3. EXECUTION
   A. LOCATE ALL FIXTURES IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
   B. INSTALL FIXTURES LEVEL AND PLUMB ACCORDING TO MANUFACTURER'S ROUGH-IN DRAWINGS..
   C. SUPPORTS FOR FLOOR-MOUNTED FIXTURES SHALL BE AFFIXED TO BUILDING SUBSTRATE.
   D. SET FLOOR-MOUNTED SINKS IN LEVELING BED OF CEMENT GROUT.
   E. SEAL JOINTS BETWEEN FIXTURES AND WALLS/FLOORS WITH MILDEW-RESISTANT SILICONE SEALANT.
   F. ADJUST ALL CONTROLS FOR PROPER FLOW AND PRESSURE.
   G. INSTALL CHROME-PLATED ESCUTCHEONS AT ALL PIPING PENETRATIONS THROUGH WALLS/FLOORS IN EXPOSED, FINISHED LOCATIONS. USE DEEP PATTERN WHERE REQUIRED TO CONCEAL PROTRUDING FITTINGS.

NO.	DATE	REVISIONS	BY	CHKD

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BOROUGH OF BRADLEY BEACH
319 LAREINE AVE - FUMC MEP SCHEMATIC DESIGN
BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

PLUMBING SPECIFICATIONS NO. 2

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CHECKED BY: MED	
DRAWN BY: JMB	SHEET: 22
DATE: 10-21-2021	OF 29
SCALE: NONE	
PROJ. NO.: BRAD00973	

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Plumbing\
FILE NAME: Plumbing Drawings.dwg
LAST SAVED DATE AND TIME: 26 May 2022, 5:40PM
LAST SAVE BY: JBollinger

P1.1 / P100 LOWER LEVEL DEMOLIT

1" 0 8' 16'

1/8" = 1'-0"

LOWER LEVEL DEMOLITION PLAN KEYNOTES SYMBOL = (#)

1. DISCONNECT AND REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING, SUPPORTS, ETC. CAP EXISTING PIPING FOR FUTURE USE.
2. EXISTING 4" SANITARY STACK TO REMAIN FOR FUTURE USE.
3. REMOVE 4" SANITARY BACK TO EXISTING STACK AND CAP FOR FUTURE USE.
4. REMOVE EXISTING ELECTRIC WATER HEATER, EXISTING DOMESTIC WATER PIPING TO REMAIN.
5. EXISTING GAS SERVICE CAPPED, SYSTEM TO BE VERIFIED WITH LOCAL GAS COMPANY FOR FUTURE USE.

PROJECT INFORMATION:
FILE PATH: P:\Projects\BRAD\00973\Plans\Plumbing\
FILE NAME: Plumbing Demo.dwg
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BOROUGH OF BRADLEY BEACH

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PLUMBING LOWER LEVEL DEMOLITION PLAN

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DRAWN BY	JMB
DATE	10-21-2021
SCALE	AS NOTED
PROJ. NO.	BRAD00973
DRAWING	P100
SHEET	23 OF 29

P1 / P101 SANCTUARY LEVEL DEMOLITION PLAN

1' 0 8' 16'

1/8" = 1'-0"

SANCTUARY LEVEL DEMOLITION PLAN KEYNOTES SYMBOL = (#)

1. DISCONNECT AND REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING, SUPPORTS, ETC. CAP EXISTING PIPING FOR FUTURE USE.
2. EXISTING 4" SANITARY STACK TO REMAIN FOR FUTURE USE.
3. DISCONNECT AND REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING BACK TO ACTIVE MAINS AND CAP.

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BOROUGH OF BRADLEY BEACH

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DRAWN BY JMB	SHEET 24
DATE 10-21-2021	OF 29
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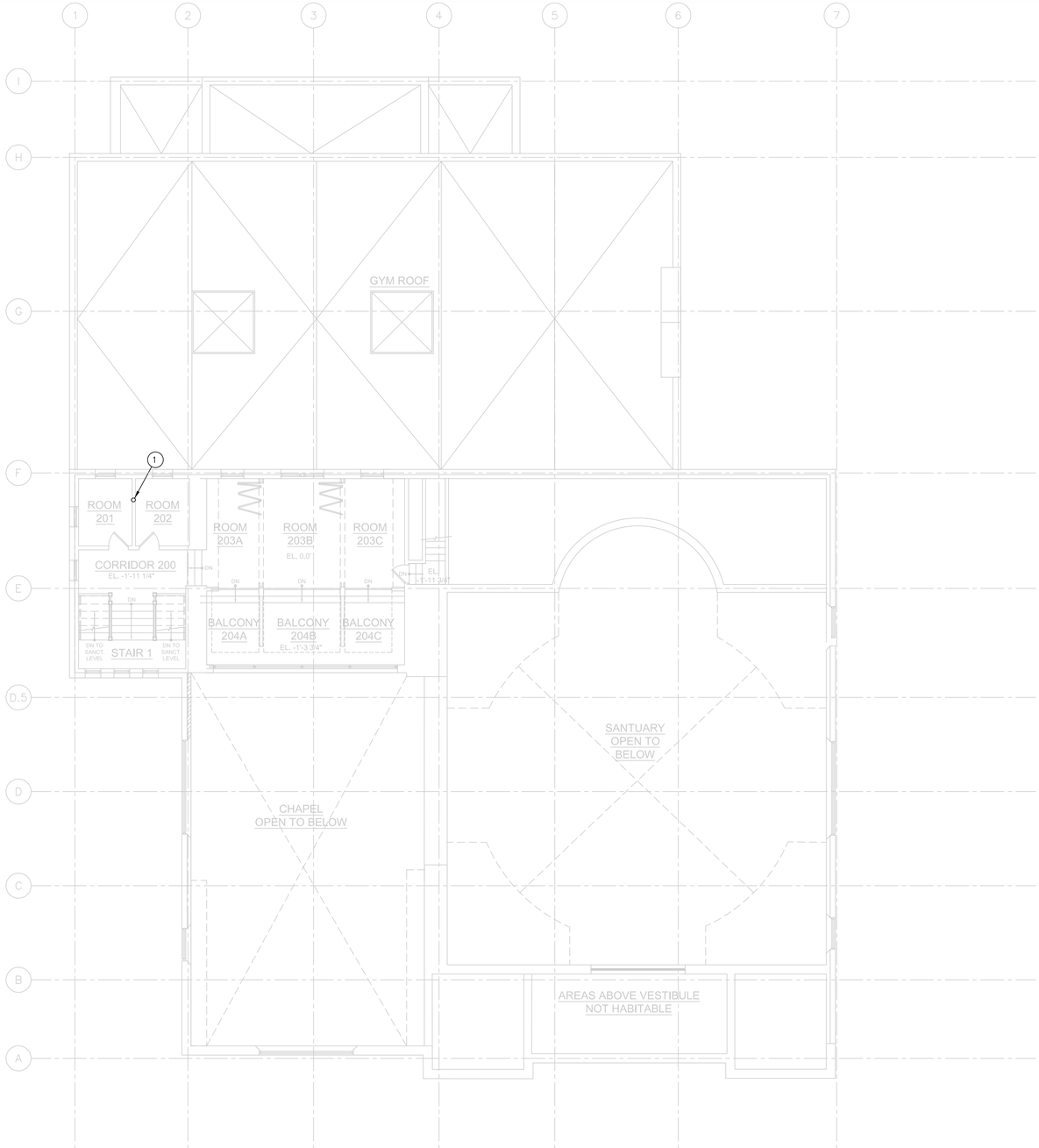

P1 / P102 UPPER LEVEL DEMOLITION PLAN

1' 0 8' 16'

1/8" = 1'-0"

UPPER LEVEL DEMOLITION PLAN KEYNOTES SYMBOL = (#)

1. EXISTING 4" SANITARY STACK TO REMAIN FOR FUTURE USE.

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Plumbing\
FILE NAME: P102_UPPER LEVEL DEMOLITION.dwg
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BOROUGH OF BRADLEY BEACH

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PLUMBING UPPER LEVEL PLAN DEMOLITION

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DRAWN BY JMB	SHEET 25
DATE 10-21-2021	OF 29
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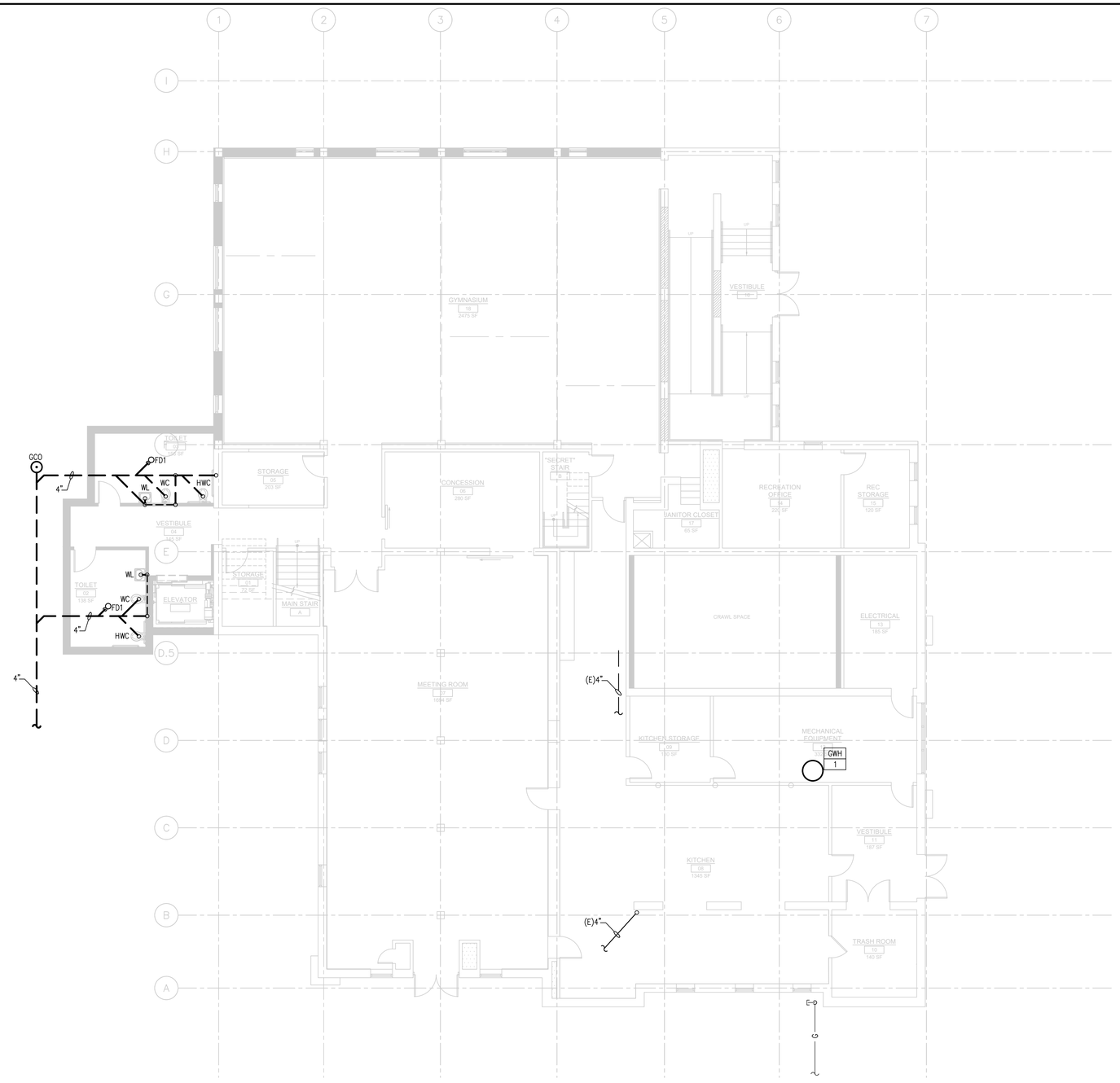

P1 / P200 LOWER LEVEL PLAN

1' 0 8' 16'

1/8" = 1'-0"

PROJECT INFORMATION:
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FILE NAME: Plumbing Drawings.dwg
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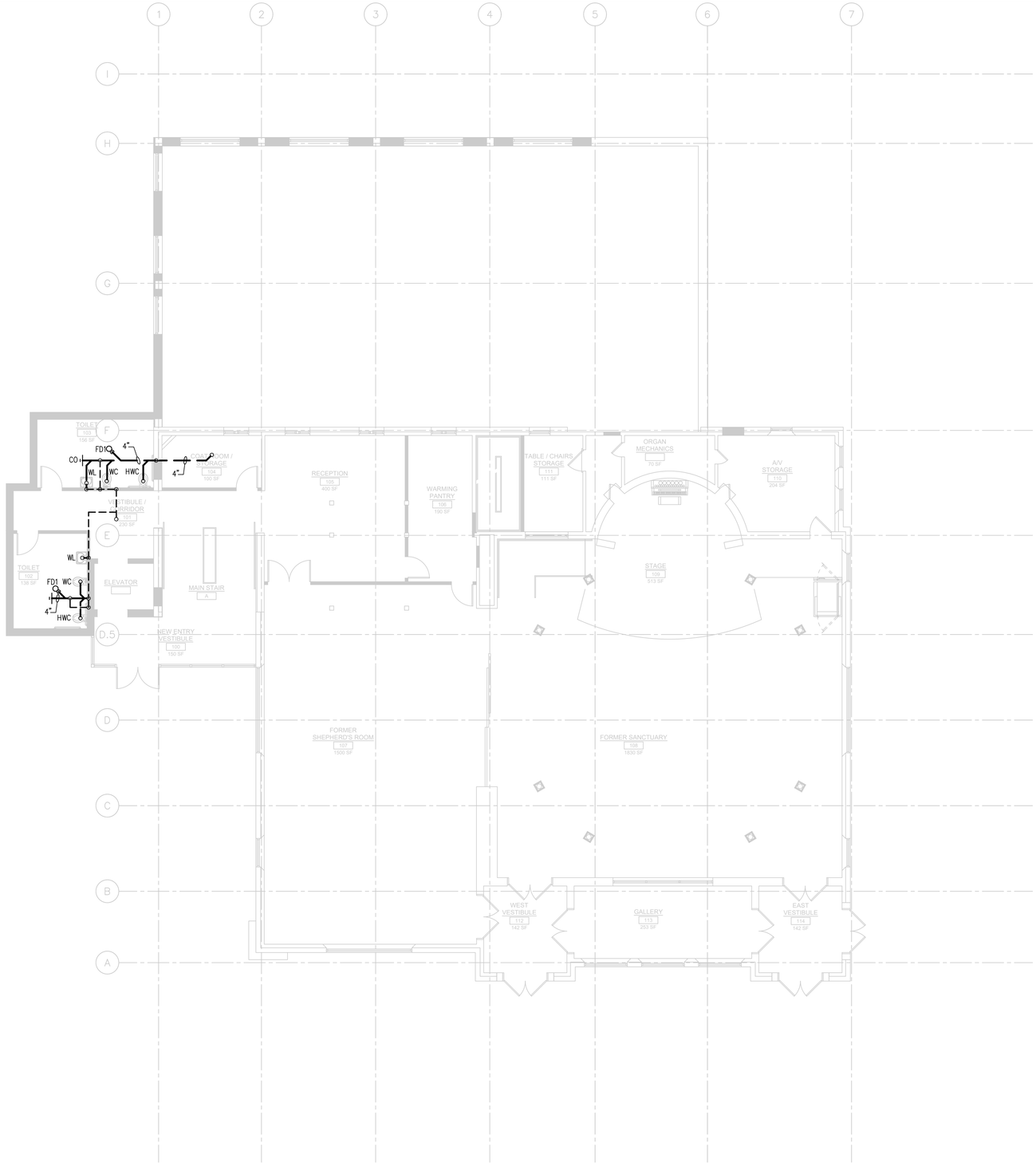

P1 / P201 SANCTUARY LEVEL PLAN

1' 0 8' 16'

1/8" = 1'-0"

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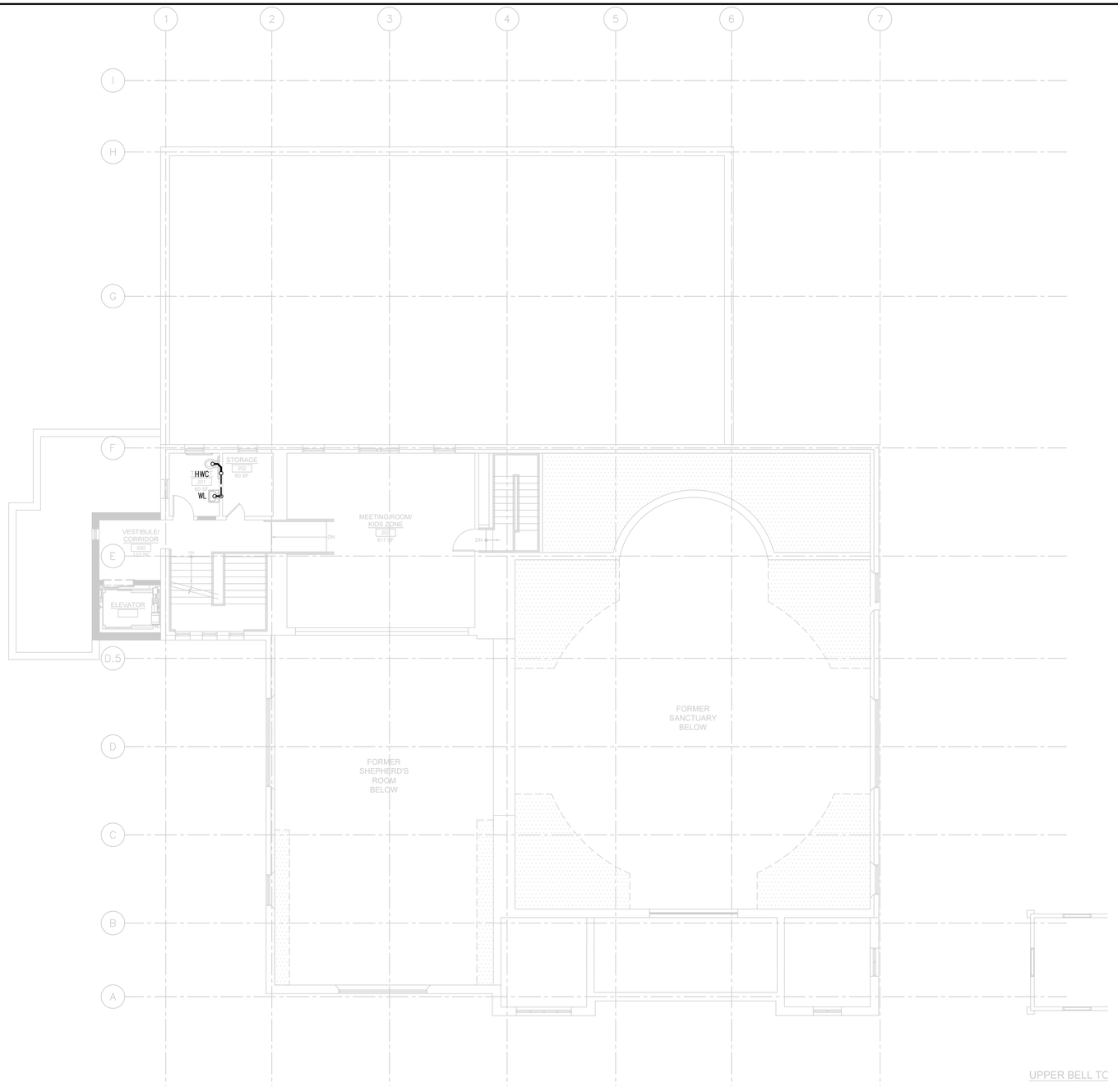
DRAWING	P201
SHEET	27 OF 29



P1 / P202 UPPER LEVEL PLAN

1' 0 8' 16'

1/8" = 1'-0"

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DRAWN BY JMB	SHEET 28
DATE 10-21-2021	OF 29
SCALE AS NOTED	
PROJ. NO. BRAD00973	

PLUMBING FIXTURE SCHEDULE

MARK	MAKE	MODEL	DESCRIPTION	FAUCET/CONTROLS	TRIM	FEATURES/SUPPORTS/OPTIONS	COLOR/FINISH	CONNECTION SIZES				FIXTURE UNITS			REMARKS
								SAN.	VENT	C.W.	H.W.	DFU	WSFU–C	WSFU–H	
WC/HWC	AMERICAN STANDARD	3351.528	WALL–MOUNTED FLUSHOMETER WATER CLOSET, ELONGATED BOWL, VITREOUS CHINA, TOP SPUD, 'EVERCLEAN' OPEN FRONT SEAT #5901.110T	DC SENSOR FLUSHOMETER, 1.28 GPF AMERICAN STANDARD MODEL #6065.121 EXPOSED TOP SPUD, CHROME–PLATED BRASS W/ OVER–RIDE BUTTON	–	CAST IRON WATER CLOSET CARRIER	PER ARCHITECT	4"	2"	1–1/2"	–	8.0	5.0	–	1
U/HU	AMERICAN STANDARD	6590.530	WALL–MOUNTED URINAL, ULTRA HIGH EFFICIENCY, VITREOUS CHINA, TOP SPUD	DC SENSOR FLUSHOMETER, 0.125 GPF AMERICAN STANDARD MODEL #6062.013 EXPOSED TOP SPUD, CHROME–PLATED BRASS W/ OVER–RIDE BUTTON	–	CAST IRON URINAL CARRIER	PER ARCHITECT	2"	2"	3/4"	–	4.0	4.0	–	1
WL	AMERICAN STANDARD	0475.047	DROP–IN, SELF–RIMMING LAVATORY, VITREOUS CHINA, CENTER HOLE ONLY W/ FRONT OVERFLOW	ELECTRONIC PROXIMITY 0.5 GPM LAVATORY FAUCET, AMERICAN STANDARD 'SELECTRONIC' MODEL #6053.105 W/ 'PWRX' LONG LIFE BATTERY SYSTEM	GRID STRAINER DRAIN, BRASS TAILPIECE, CHROME–PLATED BRASS P–TRAP, ANGLE STOPS AND BRAIDED STAINLESS STEEL FLEXIBLE SUPPLIES.	PROVIDE POINT–OF–USE MIXING VALVE 'SMV' AS SPECIFIED ON H.W. SUPPLY TO FIXTURE.	PER ARCHITECT	1–1/2"	1–1/2"	1/2"	1/2"	2.0	0.75	0.75	1
KS	ELKAY	LRADQ332155	STAINLESS STEEL 18 GAUGE 33 X 21–1/4" X 5–1/2" DOUBLE BOWL DROP–IN CENTER HOLE ONLY.	ADA GOOSENECK FAUCET ELKAY MODEL LKAV2061. CENTER HOLE DECK MOUNTED SINGLE HANDLE FAUCET.	BASKET STRAINER, BRASS TAILPIECE, CHROME–PLATED BRASS P–TRAP, ANGLE STOPS AND BRAIDED STAINLESS STEEL FLEXIBLE SUPPLIES.	PROVIDE POINT–OF–USE MIXING VALVE 'SMV' AS SPECIFIED ON H.W. SUPPLY TO FIXTURE.	STAINLESS STEEL	1–1/2"	1–1/2"	1/2"	1/2"	3.0	0.75	0.75	1
MR	FIAT	TSB100	ONE PIECE, PRECAST TERRAZZO, 24"x24"x 12" DEEP, STAINLESS STEEL CAPS ON ALL CURBS, STAINLESS STEEL STRAINER, 3" DRAIN.	SERVICE SINK FAUCET, FIAT MODEL #830–AA, CHROME PLATED, INTEGRAL VACUUM BREAKER, ADJUSTABLE WALL BRACE, PAIL HOOK, 3/4" HOSE THREAD SPOUT	FIAT #832AA HOSE AND HOSE BRACKET	SILICONE SEALANT, #MSG STAINLESS STEEL WALL GUARDS	BLACK/WHITE MARBLE CHIPS IN GRAY CEMENT	3"	2"	3/4"	3/4"	3.0	2.25	2.25	–
EWC	ELKAY	LZSTL8WSLP	WALL–HUNG BOTTLE FILLING STATION COOLER, 8.0 GPH CAPACITY, PUSHBARS ON FRONT AND SIDES, 370W, 115V/60ø, 5.0 FLA, VANDAL–RESISTANT	MANUAL PUSH BARS FRONT AND SIDES WITH AUTOMATIC BOTTLE FILLER STATION	BRASS TAILPIECE, CHROME–PLATED BRASS P–TRAP, ANGLE STOP AND BRAIDED STAINLESS STEEL FLEXIBLE SUPPLY	–	STAINLESS STEEL	1–1/2"	1–1/2"	1/2"	–	0.5	0.5	–	1

REMARKS: 1. INSTALL FIXTURE TO MEET HANDICAP–ACCESSIBILITY REQUIREMENTS.

PLUMBING SPECIALTIES SCHEDULE

MARK	MAKE	SERIES	MODEL	DESCRIPTION	VARIATIONS/OPTIONS/ACCESSORIES	COLOR/FINISH	REMARKS
FCO	JAY R. SMITH	4020	4023S	FINISHED FLOOR CLEANOUT, ADJUSTABLE ROUND SCORIATED NICKEL BRONZE TOP, MEDIUM DUTY, TAPER THREAD, BRONZE PLUG	–	NICKEL BRONZE	–
WCO	JAY R. SMITH	4530	4532S	FINISHED WALL CLEANOUT, CLEANOUT TEE WITH COUNTERSUNK PLUG AND ROUND STAINLESS STEEL ACCESS COVER, TAPER THREAD, BRONZE PLUG	VANDAL PROOF SCREW (–U)	CAST IRON/ STAINLESS STEEL	–
FD1	JAY R. SMITH	2005	2005Y	GENERAL SERVICE FLOOR DRAIN, ADJUSTABLE 6" SQUARE STRAINER, 3" NO–HUB OUTLET	RECTORSEAL SURESEAL FLOOR DRAIN TRAP SEALER	CAST IRON/ NICKEL BRONZE	–
FD2	JAY R. SMITH	2110	2110Y	MEDIUM DUTY FLOOR DRAIN, 8–1/2" ROUND STRAINER W/ SHALLOW BODY 4" NO–HUB OUTLET	RECTORSEAL SURESEAL FLOOR DRAIN TRAP SEALER SEDIMENT BUCKET (–B)	CAST IRON	–
HB	WATTS	SC8	SC8–2	HOSE BIBB, CAST BRASS W/ 3/4" COPPER SWEAT CONNECTION W/ INTEGRAL VACUUM BREAKER AND TEE HANDLE	–	BRASS	–
FPWH	JAY R. SMITH	5600	5619	FREEZE–PROOF WALL HYDRANT, EXPOSED HOSE CONNECTION W/ INTEGRAL VACUUM BREAKER AND DUAL CHECK VALVE	ADJUSTABLE WALL CLAMP	STAINLESS STEEL	–
WHA	JAY R. SMITH	HYDROTROLS 5000	VARIES	BELLOWS TYPE WATER HAMMER ARRESTER	–	STAINLESS STEEL	1

REMARKS: 1. PROVIDE FIGURE NUMBER IN ACCORDANCE WITH FIXTURE UNITS SERVED.

MIXING VALVE SCHEDULE

MARK	MAKE	SERIES	MODEL	MIN. FLOW RATE (GPM)	MAX. FLOW RATE (GPM)	INLET PIPE SIZE	OUTLET PIPE SIZE	VARIATIONS
SMV	LEONARD	ECO–MIX	270–LF	0.25	12	1/2"	1/2"	–

PUMP SCHEDULE

MARK	MAKE	SERIES	MODEL	ELECTRICAL DATA			CAPACITY		CONNECTION SIZE	FEATURES
				HP	V/ø/Hz	FLA	GPM	TDH		
DCP–1	TACO	00	006–B4	1/40	115/1/60	0.52	5	8 FT.	3/4 INCH	–

EXPANSION TANK SCHEDULE

MARK	MAKE	SERIES	MODEL	TANK VOLUME (GAL.)	MAX. ACCEPT. VOLUME (GAL.)	TYPE	DIAMETER (IN.)	HEIGHT (IN.)	SYSTEM CONNECTION SIZE	REMARKS
ET–1	AMTROL	THERM–X–TROL	ST–12–C	6.4	3.2	IN–LINE	12	18	3/4"	1

REMARKS 1. ASME RATED

GREASE INTERCEPTOR SCHEDULE

MARK	MAKE	SERIES	MODEL	FLOW RATE (GPM)	STORAGE CAPACITY (GAL)	PIPE SIZE	FURNISHED	OPTIONAL MATERIALS
GI–1	JAY R. SMITH	8000GTX	8135GTX	35	70	2 INCH	1	1

FURNISHED: 1. STEEL INTERCEPTOR WITH GRAY DUCO COATING INSIDE AND OUTSIDE WITH STEEL CONE, DRAW–OFF HOSE ABD CAP, LINE SHUT–OFF VALVE AND FLOW CONTROL FITTING.

OPTIONAL MATERIALS: 1. ACID RESISTANT COATING INSIDE – ARI

GREASE INTERCEPTOR SIZING

CONCESSION 2 COMPARTMENT SINK

SINK 33" LONG BY 21 ¼" WIDE BY 5 ½" DEEP CUBIC CONTENT

33 X 21 ¼" X 5 ½" X 2 = 7,714 CUBIC IN.

CONTENT IN GALS. $\frac{7,714}{231}$ = 33.4 GALS.

ACTUAL DRAINAGE LOAD .75 X 33.4 GALS. = 25.05 GALS.

CALCULATED FLOW RATE FOR 1 MINUTE PERIOD.

FLOW RATE $\frac{25.05 \text{ GALS.}}{1 \text{ MIN}}$ = 25.05 GPM

GAS-FIRED WATER HEATER SCHEDULE

MARK	MAKE	SERIES	MODEL	THERMAL EFFICIENCY	STORAGE CAPACITY (GAL.)	RECOVERY CAPACITY (GPH)	TEMP RISE (°F)	TYPE OF GAS	INPUT RATING (BTU/HR)	MINIMUM GAS PRESSURE	MAXIMUM GAS PRESSURE	VENT SIZE (DIA.)	VENT MATERIAL	ELECTRICAL DATA			ACCESSORIES	REMARKS
														KW	V/ø/Hz	AMPS		
GWH–1	A.O. SMITH	CYCLONE Mxi	BTH–120(A)	95%	60	138	100	NATURAL	120,000	3.5" W.C.	14.0" W.C.	4 INCH	AL29–4C SS	–	120/1/60	5.0	1,2,3	1,2,3

ACCESSORIES:
1. CONDENSATE NEUTRALIZATION KIT
2. CONCENTRIC VENT KIT
3. ASME RATED T&P RELIEF VALVE

REMARKS:
1. SEALED COMBUSTION
2. ASME TANK CONSTRUCTION
3. 5–YEAR TANK WARRANTY

PROJECT INFORMATION:
FILE PATH: G:\Projects\BRAD\00973\Plans\Plumbing\
FILE NAME: Plumbing Drawings.dwg
LAST SAVED DATE AND TIME: 26 May 2022, 5:40PM
LAST SAVE BY: JBollinger

NO.	DATE	REVISIONS	BY	CHKD

MARY ELAINE DASTI
COMPANY PRACTICE LEADER

LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE No. 24GE05120300

BOROUGH OF BRADLEY BEACH

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BRADLEY BEACH, MONMOUTH COUNTY, NEW JERSEY

PLUMBING SCHEDULES

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DATE 10-21-2021	
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