

SCOPE OF WORK:

CURRENT OWNER OF A SINGLE-STORY, EXISTING CONGREGATION AND OFFICE TO CHANGE USE TO SINGLE-FAMILY RESIDENTIAL.

- ALL MAJOR ITEMS OF WORK ARE LISTED OR SPECIFIED. ITEMS NOT LISTED OR SPECIFIED, BUT IMPLIED OR NOTED ON OTHER DRAWINGS, ARE HEREBY INCLUDED IN THE SCOPE OF WORK.
- NEW NON-LOAD BEARING PARTITIONS, INSULATION, AND FINISHES.
- NEW CEILINGS WITH RE-USE OF EXISTING HVAC SYSTEM.
- NEW MILLWORK, ARCHITECTURAL WOOD WORK AND CABINETRY.
- NEW BATHROOM FIXTURES IN NEW LOCATIONS.
- NEW PLUMBING FIXTURES, FITTINGS, EQUIPMENT AND RELATED FINISHES AND KITCHEN WITH MODIFIED LAYOUT.
- EXISTING ENTRY DOOR TO REMAIN. NEW WINDOWS ANDERSEN A-SERIES CLAD EXTERIOR WINDOWS TO BE ENERGY COMPLIANT.
- USE EXISTING MECHANICAL UNIT AND DISTRIBUTION. PROVIDE NEW SUPPLY LOUVERS.

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR FORMULATION, DOCUMENTING, AND CARRYING OUT SOIL EROSION AND SEDIMENTATION CONTROL PLANS WHICH SHALL INCLUDE PROVIDING AND MAINTAINING OF SWALES, DIVERSIONS AND FILTERS N HE CONSTRUCTION AREA AND AROUND THE WORK SITE TO PREVENT SOIL EROSION AND SEDIMENTATION PROBLEMS.
- CONNECTIONS- ALL NAILED CONNECTIONS TO COMPLY WITH HE FASTENER SCHEDULE TABLE 602.3(1) - 602.3(5) OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER SCHEDULE AND/OR MANUFACTURERS RECOMMENDED SPECIFICATIONS AND/OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER IS MORE STRINGENT UNLESS NOTED OTHERWISE.
- WOOD CONNECTORS - ALL WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE CO. INC. OR ALTERNATE AS APPROVED BY THE ARCHITECT. ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 316L STAINLESS STEEL. THE SUBSTITUTION OF SIMPSON ZMAX GALVANIZED (G135) CONNECTORS AND FASTENERS SHALL ONLY BE ALLOWED UPON BOTH SIMPSON'S AND THE LOCAL CONSTRUCTION CODE OFFICIALS APPROVAL BASED ON THE CONTRACTOR'S SUBMISSION OF THE SPECIFICATIONS OF THE PRESSURE TREATED WOOD TO BE USED N THE PROJECT. .
- WALL BRACING - WALLS SHALL BE BRACED IN ACCORDANCE WITH R602.10. THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH R602.103, METHOD 3.
- CUTTING AND NOTCHING: NO NOTCHING OF WOOD BEAMS, JOISTS, RAFTERS, OR STUDS IS ALLOWED UNLESS THE CUTTING OR NOTCHING COMPLIES WITH THE ALLOWED FIGURES R502.8, R602.6(10 & R602.6(2). IF TJ FLOOR JOISTS ARE USED, CUTTING AND NOTCHING IS ONLY ALLOWED PER THE MANUFACTURER'S RECOMMENDATIONS. CUTTING AND NOTCHING OF ENGINEERED LUMBER IS ALLOWED ONLY PER THE MANUFACTURER'S RECOMMENDATIONS. .
- WATER RESISTANT GYPSUM WALLBOARD: PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT WALLS AND CEILINGS OF BATHROOMS, POWDER ROOMS, AND LAUNDRY ROOMS.
- EGRESS: BASEMENTS WITH HABITABLE SPACE AND EVERY BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR DIRECTLY TO HE EXTERIOR APPROVED FOR EMERGENCY EGRESS AND RESCUE AS PER SECTION R310. THE UNITS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.
 - SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
 - MINIMUM NET CLEAR OPENING OF 5.7 SF.
 - MINIMUM NET CLEAR OPENING HEIGHT OF 24"
 - MINIMUM NET CLEAR OPENING WIDTH OF 20"
- FIRE AND DRAFT STOPPING: FIRE AND DRAFT STOP ALL DROPPED SOFFITS AND CEILINGS, AND ANY OTHER CONCEALED AREAS WHERE FIRE/DRAFT STOPPING IS REQUIRED BY CODE.
- ROOF ICE PROTECTION: IN AREAS WHERE HE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25 DEGREES OR LESS PROVIDE AN ICE PROTECTION IN ACCORDANCE WITH SECTION R905.2.7.1 OR AS NOTED ON DRAWINGS.
- DRAINAGE: SLOPE FINISH GRADE ADJACENT TO FOUNDATION (ALL SIDES OF DWELLING DOWN ND AWAY AT 1:12 PITCH FOR A MINIMUM DISTANCE F 8'-0" EXCEPT IN WELL-DRAINED GRAVEL OR SAND/GRAVEL MIXTURE SOILS, PROVIDE A DEDICATED FOUNDATION DRAINAGE SYSTEM AS PER CODE.
- ROOF SHINGLES: ASPHALT/FIBERGLASS, STRIB SHINGLES SHALL HAVE MINIMUM OF (6) FASTENERS PER SHINGLE.
- BONDING F FOOTINGS: THE FOOTINGS SHALL BE BONDED IN ACCORDANCE WITH NEC 250-50 C REQUIRING THE ELECTRODE SYSTEM IN NEW CONSTRUCTION BE GROUNDED/BONDED TO THE FOOTING SYSTEM.
- STAIRWAYS, LANDINGS & HANDRAILS SHALL CONFORM TO NJIRC SECTION R311.
- GUARDS AT PORCHES, DECKS, BALCONIES, ETC, SHALL CONFORM TO NJIRC SECTION R312.
- PROVIDE "GRASPABLE" HANDRAILS AT ALL STAIRS WITH THREE R MORE RISERS. HANDRAILS SHALL E 36" HIGH, MEASURED VERTICALLY ABOVE THE STAIR NOSING. CLEAR SPACE BETWEEN HANDRAILS AND WALLS (OR OTHER RAILINGS) SHALL BE 1 1/2" MINIMUM. HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 3/4" MINIMUM AND 2" MAXIMUM OR SHALL PROVIDE EQUIVALENT GRASPABILITY (PERIMETER DIMENSION OF 4" MINIMUM AND 5 1/4" MAXIMUM WITH LARGEST CROSS SECTION OF 2 1/4" MAXIMUM) HANDRAILS SHALL NOT ROTATE IN HEIR FITTINGS.

DRAWING LIST:

ARCHITECTURAL:

- | | |
|--------|---|
| A-001 | NOTES, DWG LIST, SYMBOLS, BLOCK AND LOT INFO |
| DM-100 | DEMOLITION FLOOR PLAN AND NOTES |
| A-100 | PROPOSED FLOOR AND LIGHTING/HVAC PLANS, AND NOTES |
| A-200 | PROPOSED EXTERIOR ELEVATIONS |
| A-600 | BUILDING DETAILS |

REFER TO KBA ENGINEERING VARIANCE AND NJ DOT PLANS

LOT INFORMATION:

- | | | |
|-------|----------------|--------------------------------------|
| 1.1. | OWNER | TINA AND DAVID SACCI |
| 1.2. | LOCATION | 28 MAIN ST, BRADLEY BEACH, NJ, 07720 |
| 1.3. | MUNICIPALITY | BRADLEY BEACH |
| 1.4. | COUNTY | MONMOUTH COUNTY |
| 1.5. | BLOCK | 83 |
| 1.6. | LOT | 13 |
| 1.7. | ZONING | OP |
| 1.8. | TAX MAP | 16 |
| 1.9. | BUILDING CLASS | C |
| 1.10. | PROPERTY TYPE | OFFICE / RESIDENTIAL |

CODE AND ZONING:

BUILDING TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING THE FOLLOWING:

- N.J. UNIFORM CONSTRUCTION CODE (NJAC 5:23)
- N.J. ELEVATOR SUBCODE (NJAC 5:23-12)
- ASCE24-05 FLOOD RESISTANT DESIGN ND CONSTRUCTION
- INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITIONS (2017)
- INTERNATIONAL MECHANICAL CODE (2019)
- INTERNATIONAL ENERGY CONSERVATION CODE (2015)
- NATIONAL ELECTRICAL CODE NFPA70 (2019)
- NATIONAL STANDARD PLUMBING CODE (2019)
- INTERNATIONAL FUEL GAS CODE (2019)
- INTERNATIONAL FIRE CODE (2019)
- ICC/ANSI A117.1-2009 BARRIER FREE SUBCODE

FLOOD ZONE STATEMENT:

THIS PROJECT SITE IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

ENERGY CONSERVATION CODE:

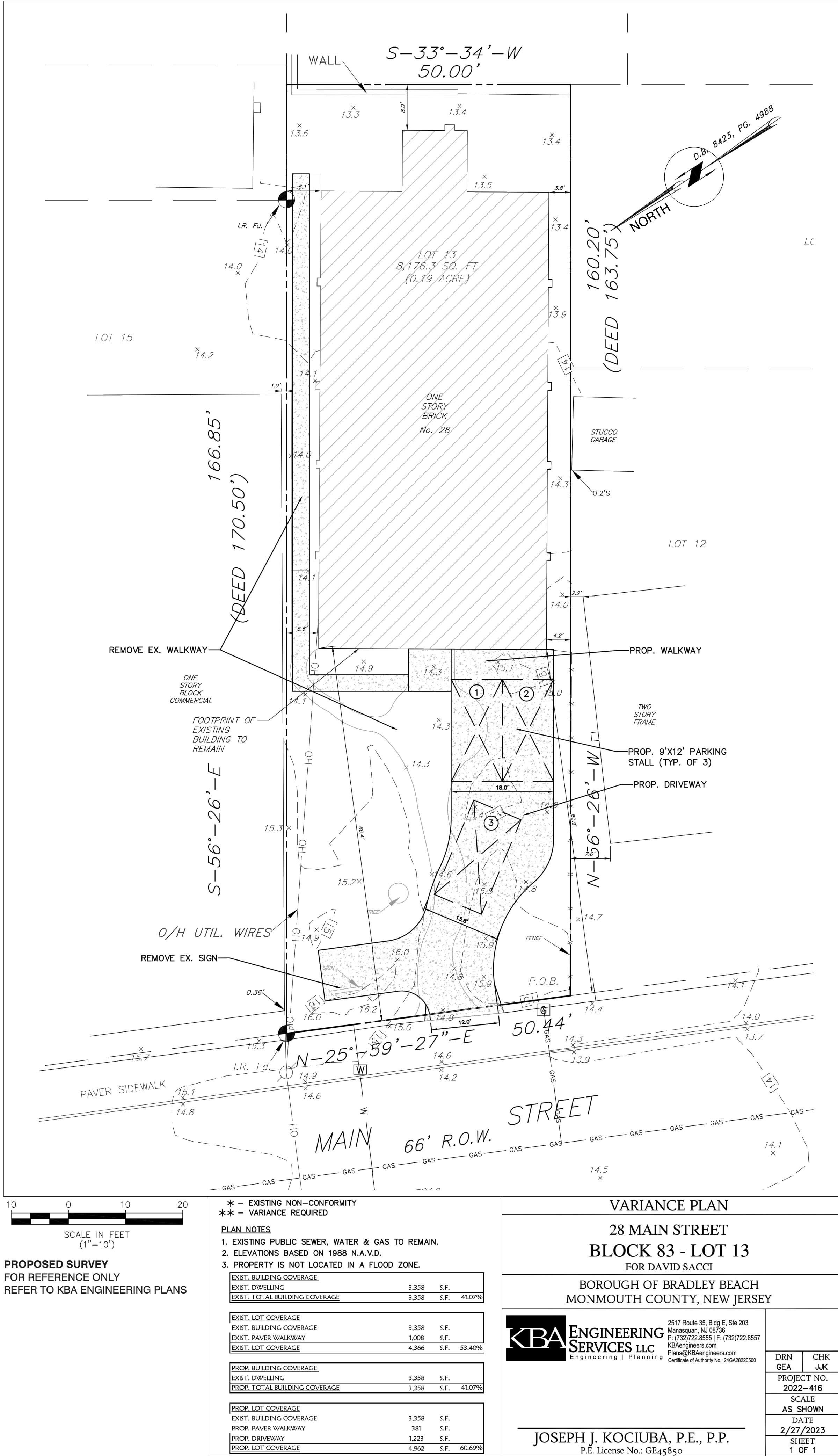
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW JERSEY §28-104.7.9 ENERGY CONSERVATION CODE. THE APPLICATION SHALL CONTAIN ALL INFORMATION REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE NEW JERSEY ENERGY CONSERVATION CODE. THIS INFORMATION SHALL INCLUDE SIGNED AND SEALED CONSTRUCTION DRAWINGS, INCLUDING ELECTRICAL DRAWINGS, TO THE EXTENT THAT THEY DEMONSTRATE SUCH ENERGY CODE COMPLIANCE [IN THE ENERGY ANALYSIS OR THE SUPPORTING DOCUMENTATION], AS REQUIRED BY SUCH ENERGY CODE AND RULES.

SMOKE AND CO DETECTOR NOTES:

- ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE TO ANY SLEEPING ROOM AND IN EACH SLEEPING ROOM, EITHER WALL OR CEILING MOUNTED AS INDICATED ON PLANS AND PER NFPA # 72 (BC 907.2.10.11).
- EACH DWELLING UNIT WILL BE EQUIPPED WITH BSA APPROVED CO DETECTING DEVICE RECEIVING PRIMARY POWER FROM BUILDING WIRING WITH NO SWITCH IN THE CIRCUIT (LL 7/2004).
- REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE DEDICATED BRANCH CIRCUIT OR UNSWITCHED BRANCH OF POWER CIRCUIT ALSO USED FOR POWER AND LIGHTING AND SHALL BE EQUIPPED WITH BATTERY BACKUP PER BC 907.2.10.2
- SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE DETECTOR WILL ACTIVATE ALL THE DETECTORS IN INDIVIDUAL DWELLING UNIT PER BC 907.2.10.3.
- EACH DETECTOR AND INTERCONNECTING WIRING SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISION OF NFPA 72 PER BC 907.2.10.4.
- SMOKE DETECTORS SHALL COMPLY WITH ICC/ANSI A117.1 PER BC 907.2.10.5.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH RULES AND REGULATIONS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION THEREFORE.
- ALL WORK MATERIALS SHALL COMPLY WITH THE NEW YORK CITY BUILDING CODE.
- ALL WORK SHALL COMPLY WITH THE APPLICABLE STANDARDS OF THE BUILDING OWNER.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD, TOGETHER WITH ALL JOB CONDITIONS PRIOR TO START OF CONSTRUCTION, & HE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- SCOPE OF WORK IS LIMITED TO THE AREAS SHOWN ON DRAWINGS.
- GENERAL CONTRACTOR SHALL COMPLY WITH ARTICLE 10, NEW YORK CITY BUILDING CODE: "PRECAUTIONS DURING BUILDING OPERATIONS": SECTION C26-551 THROUGH 555.
- ALL PARTITIONS SHALL BE NON-COMBUSTIBLE APPROVED TYPE WITH THE MINIMUM FIRE RATINGS SHOWN.
- LOCAL LAW #5: LANDLORD TO COMPLY WITH LL 5 AS APPLICABLE. EXISTING HVAC SYSTEMS SERVE ONLY FLOOR ON WHICH IT IS LOCATED.
- ASBESTOS INSPECTION HAS BEEN MADE AND APPROPRIATE FORM/FORMS SUBMITTED TO FILING THIS APPLICATION.



Architectural Plans for Use Variance and Bulk Variance
Application to Bradley Beach Land Use Board for 28 Main Street
(Block 83, Lot 13) Borough of Bradley Beach, New Jersey.

The Undersigned is the Owner of Block 83, Lot 13 (28 Main Street), Borough of Bradley Beach, New Jersey, delineated hereon and hereby consents to the Application and filing of this/these Plans.

The Bradley Beach Congregation of Jehovah's Witnesses

By: George Ardolino, President

Sworn to and Subscribed before me by The Bradley Beach Congregation of Jehovah's Witnesses, by George Ardolino, President, this ____ day of _____, 2023.

Notary:

The Undersigned is the Applicant for Development of Block 83, Lot 13 (28 Main Street), Borough of Bradley Beach, New Jersey, delineated hereon and hereby consents to the Application and filing of this/these Plans filing of this/these Plans.

David Sacci Tina Sacci

Sworn to and Subscribed before me by David Sacci and Tina Sacci this ____ day of _____, 2023

Notary:

Approved by the Borough of Bradley Beach Land Use Board on _____, 2023.

Chairperson

Secretary

Board Engineer

28 MAIN ST
BRADLEY BEACH, NJ

Issuance Date: Zoning Set
- January 3, 2023
- March 22, 2023
- April 19, 2023

Owner: The Bradley Beach
Congregation of Jehovah's Witnesses
of New Jersey, 28 Main St, Bradley
Beach, NJ, 07720, Ph: 908-400-5610;
Fax: 732-282-9089

applicant & contract purchaser:
tina & david sacci
28 Main Street
Bradley Beach, NJ 07720
C: 201.693.6048

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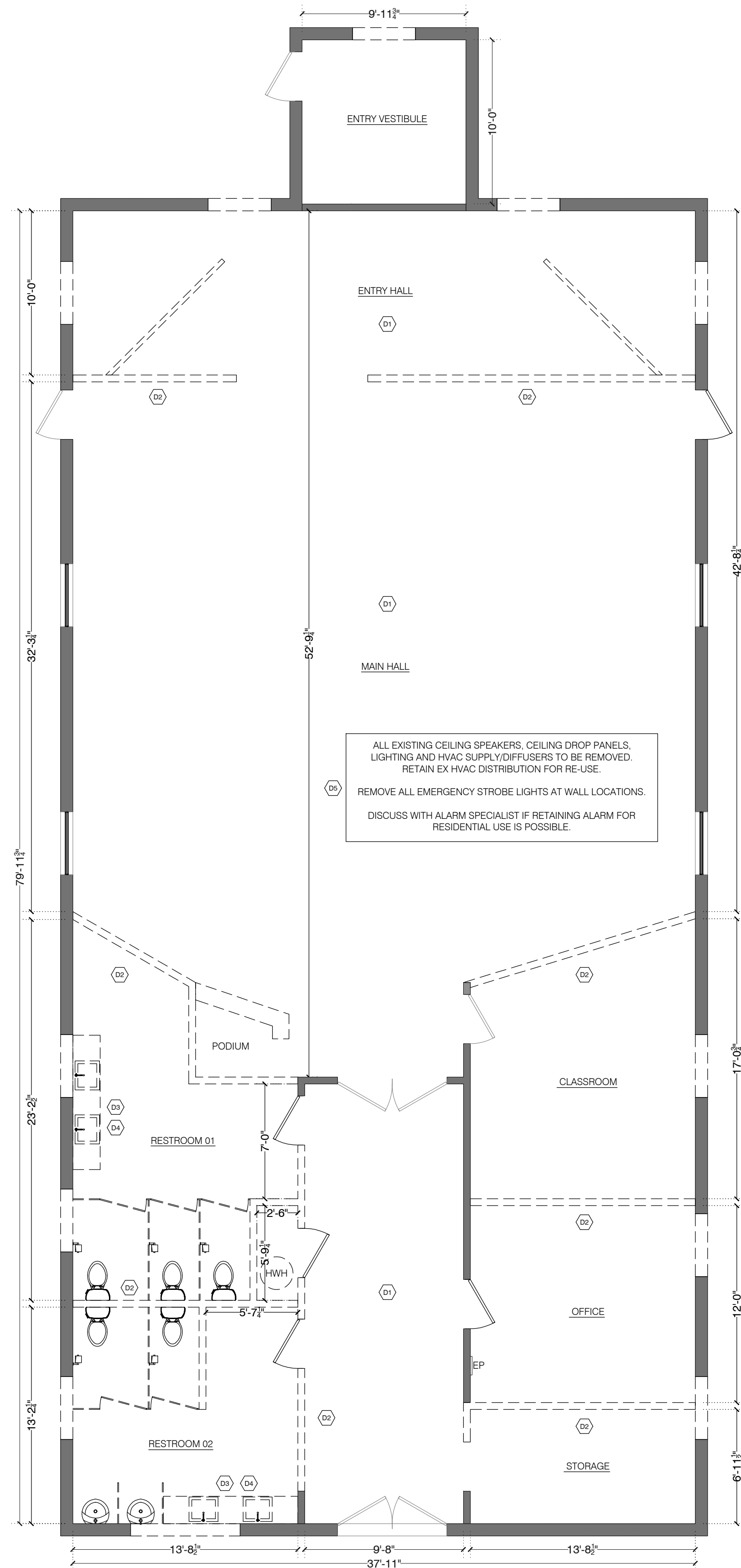
NOTES, SCOPE OF WORK, BLOCK
AND LOT INFO, SITE SURVEY PLAN

Date: APR 27, 2023

Scale: NTS

Drawing:

A-001



LEGEND:

- EXISTING CONSTRUCTION
- DEMOLISHED PARTITIONS

KEY NOTES:

- | | |
|----|---|
| D1 | CONCRETE FLOOR TO REMAIN. REMOVE ALL EXISTING FLOORING DOWN TO SUBFLOOR. |
| D2 | REMOVE NON LOAD BEARING WALLS. |
| D3 | REMOVE CASEWORK. |
| D4 | REMOVE ALL BATHROOM FIXTURES, FINISHES AND CAP SERVICES FOR NEW REPLACEMENT FIXTURES |
| D5 | ALL EXISTING CEILING SPEAKERS, CEILING DROP PANELS, LIGHTING AND HVAC SUPPLY/DIFFUSERS TO BE REMOVED. RETAIN EX HVAC DISTRIBUTION FOR RE-USE. |
| | REMOVE ALL EMERGENCY STROBE LIGHTS AT WALL LOCATIONS |

DEMOLITION:

- 1.CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION FOR THE DURATION OF THE PROJECT AND, PRIOR TO THE START OF DEMOLITION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- 2.CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON DEMOLITION DRAWINGS.
- 3.CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS, DISCARDED MATERIALS, AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE. REMOVAL SHALL BE DONE AT TIMES AND IN A MANNER FULLY APPROVED BY THE TOWN OF BRADLEY BEACH, NJ, ANY OTHER GOVERNMENT AGENCIES, AND ACCORDING TO OWNERS POLICIES AND RULES.
- 4.THE CONTRACTOR SHALL BE FAMILIAR WITH AND PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE NEW JERSEY BUILDING CODE - "SITE SAFETY PLAN".
- 5.FOR CONTRACTORS INFORMATION, THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON DEMOLITION DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE, AND MANNER OF DEMOLITION REQUIRED.
- 6.DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH OWNER AND PERFORMED DURING HOURS PERMITTED. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS AND EQUIPMENT, AND THE REMOVAL OF DEBRIS, MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- 7.CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB. IF, IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS, LOSES, OR DISRUPTS ANY CONDITION WHICH IS TO REMAIN, TO BE STORED, OR TO BE REUSED, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH WORK WITH SAME TO ORIGINAL OR BETTER CONDITION AT NO COST TO THE OWNER.
- 8.DO NOT REMOVE ANYTHING SUSPECTED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS. ADVISE OWNER AND BUILDING MANAGEMENT IF SUCH MATERIALS ARE ENCOUNTERED. COORDINATE DEMOLITION WITH REMOVAL OF SUCH MATERIALS.
9. CONTRACTOR TO PROVIDE CONSTRUCTION FENCE AROUND DEMOLITION SITE.
- 10.REMOVE ALL EXISTING CEILINGS AND LIGHT FIXTURES IN THE INDICATED AREAS U.O.N.. ALL CONDUIT AND WIRING TO BE REMOVED.
- 11.REMOVE ALL EXISTING ELECTRICAL OUTLETS, RACEWAYS, WIRING, AND CONDUIT BACK TO POWER PANEL. REMOVE ALL EXISTING TELEPHONE EQUIPMENT INCLUDING PANELS AND WIRING AS INDICATED..
- 11.REMOVE ALL MILLWORK/WALL FIXTURES AND ASSOCIATED OUTLETS, WIRING, AND CONDUIT BACK TO WALL AS REQUIRED. REMOVE ALL MOLDINGS, HOOKS, BRACKETS, AND ALL OTHER MISCELLANEOUS ITEMS FROM ALL SURFACES OF REMAINING CONDITIONS.
- 12.ALL EXTERIOR WINDOWS AND WINDOW WALLS TO BE CAREFULLY REMOVED.
- 13.ALL EXTERIOR WALLS AND CORRIDOR WALLS TO BE REMOVED IN STAGES AND WETTED DOWN TO MINIMIZE DUST TO NEIGHBORING BUILDINGS.
- 14.CONTRACTOR SHALL PROVIDE, WITH FENCE OR BARRICADE, SAFE AREAS AROUND EXISTING FLOOR OPENINGS.
- 15.CONTRACTOR TO REVIEW FOOTING AND SLAB WITH ARCHITECT PRIOR TO REMOVAL.
18. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED TO THAT INDICATED ON THE DRAWINGS, BUT SHALL ALSO INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE EXECUTION OF THE NEW WORK SHOWN ON THE DRAWINGS.
- 19.CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING OF EXISTING WORK AS REQUIRED.
- 20.CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM THE SITE AS SOON AS POSSIBLE.
- 21.CONTRACTOR SHALL, AFTER COMPLETION OF DEMOLITION WORK, LEAVE PREMISES NEAT AND ORDERLY.
22. CONTRACTOR SHALL PROPERLY REMOVE, RELOCATE, DISCONNECT, CAP ALL PIPING, CONDUIT, WIRING AND OTHER OBSTRUCTIONS UNCOVERED DURING DEMOLITION WORK.
- 23.CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ENCOUNTERED AFFECTING THE NEW WORK.

28 MAIN ST
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DEMOLITION FLOOR PLAN

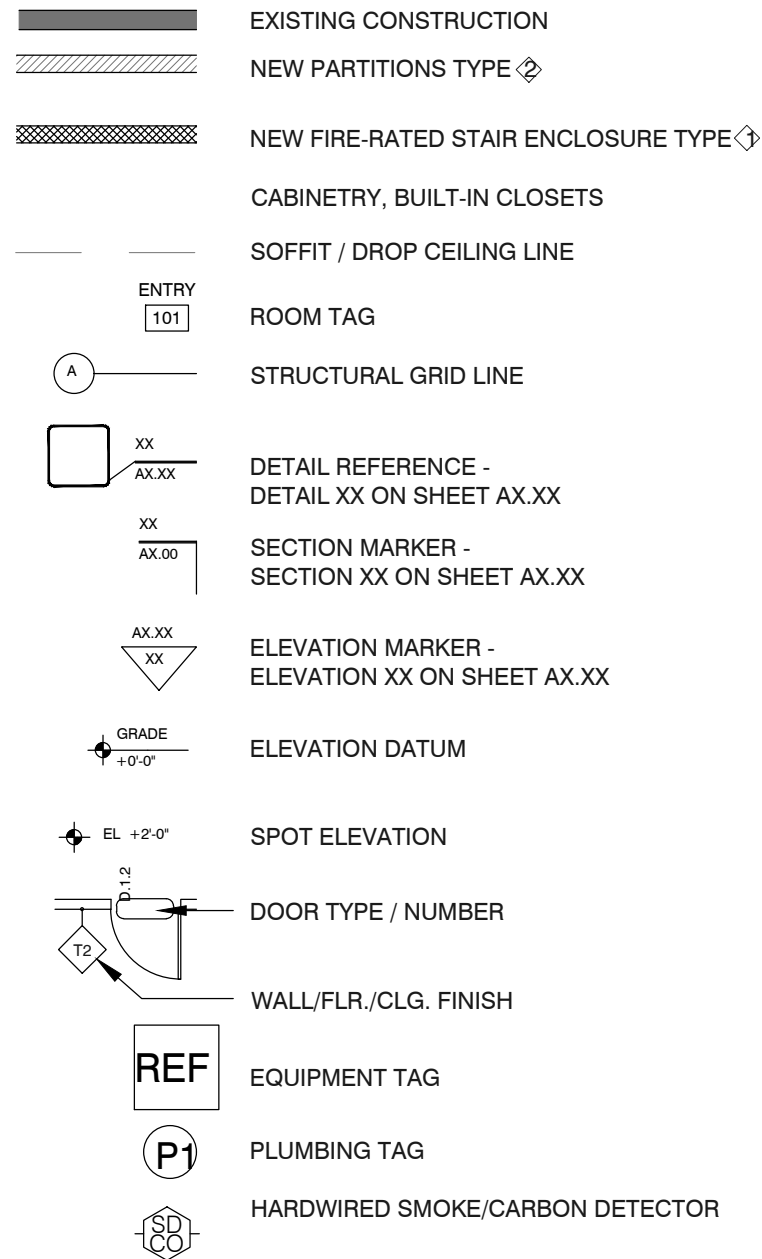
Date: APR 27, 2023

Scale: $3/16'' = 1'-0$

Drawing:

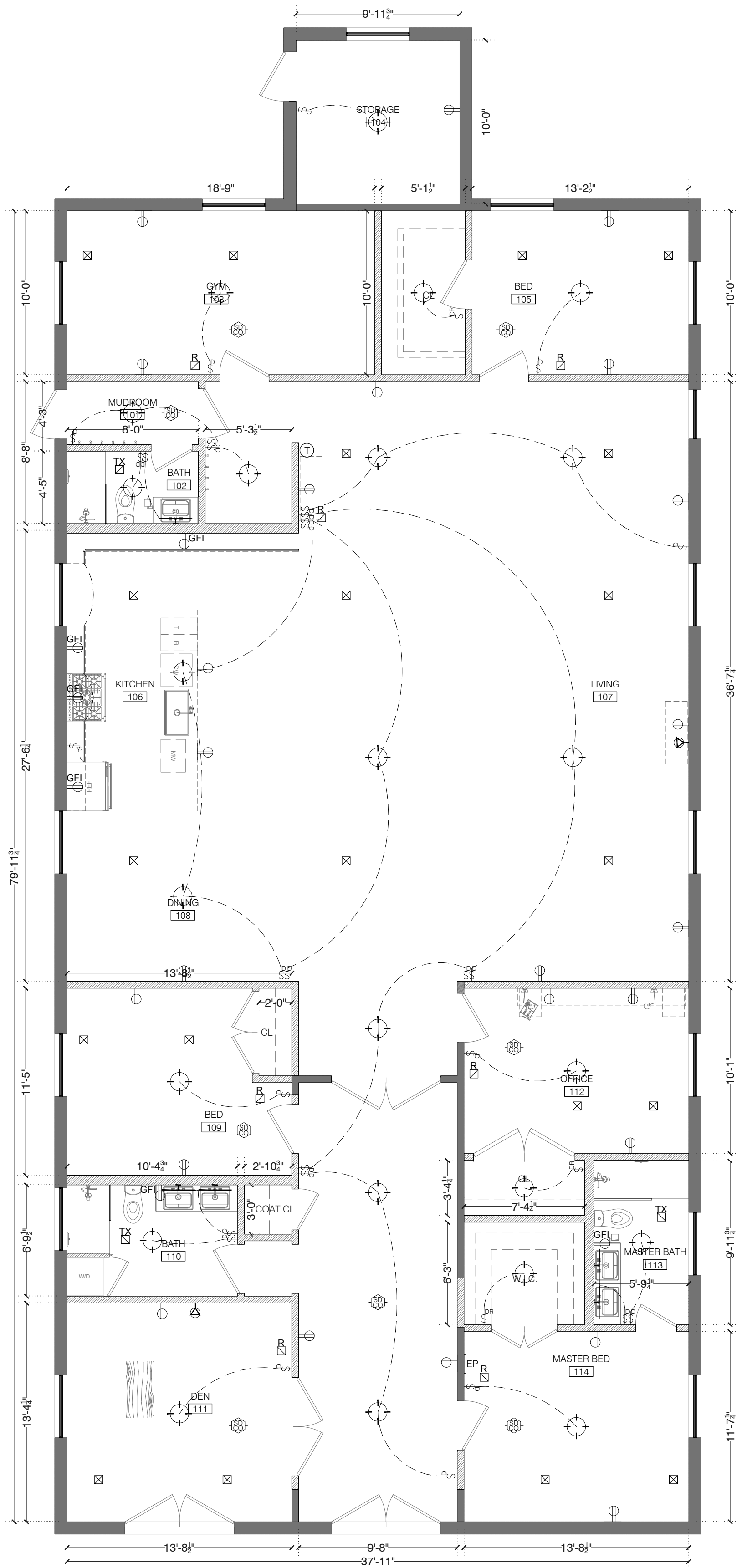
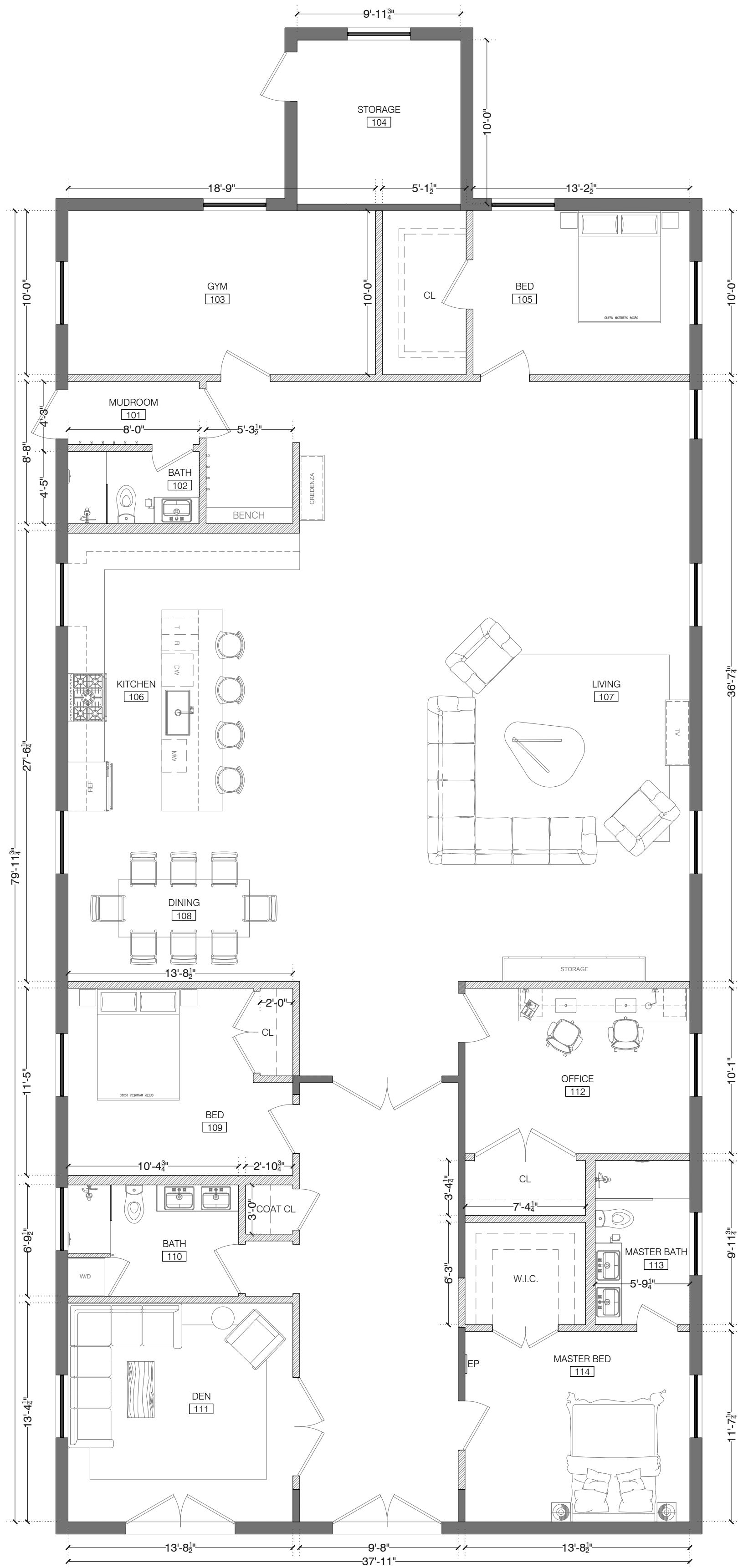
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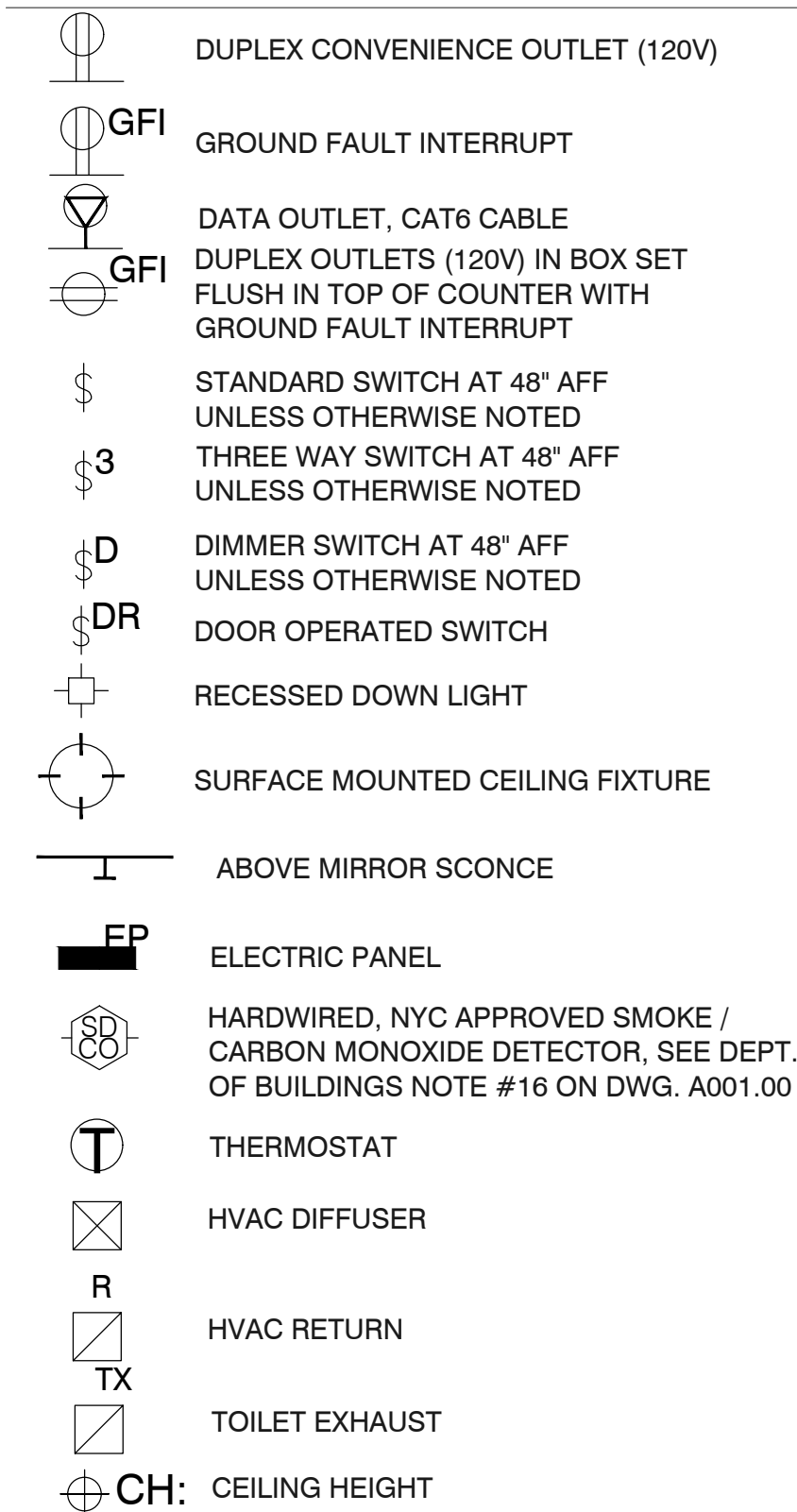


GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE RULES, REGULATIONS, LAWS AND CODES OF ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROJECT, INCLUDING BUT NOT LIMITED TO NEW JERSEY STATE BUILDING CODE, AND BRADLEY BEACH GUIDELINES.
- NO CHANGE TO BUILDING ENTRANCES, EMERGENCY LIGHTING OR EXIT SIGNS.
- ALL WOOD TO BE USED SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH NUBC.
- PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE PACKED WITH A NONCOMBUSTABLE MATERIAL SUCH AS MINERAL WOOL. SEE DETAILS ON A600.
- EXISTING HVAC TO REMAIN. ONE NEW SUPPLY REGISTER REQUIRED.
- ALL FURRED SPACES TO BE FIRESTOPPED 20" O.C. HORIZONTALLY AND 8'-0" VERTICALLY
- WHERE PIPES, WIRES, CONDUITS, ETC. PIERCE FIRE PROTECTION OF INDIVIDUALLY ENCASED STRUCTURAL MEMBERS, SUCH PENETRATIONS SHALL NOT EXCEED 2% OF ANY FACE OF SUCH PROTECTION AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS OR PLATES AS PER NJ PLUMBING CODE.
- LIGHTING AND DESIGNATION OF MEANS OF EGRESS SHALL COMPLY WITH NJ ELECTRICAL CODE.
- EXISTING FIRE ALARM TO REMAIN.
- STRUCTURAL: NO CHANGES REQUIRED.
- ALL EXISTING MEANS OF EGRESS FROM THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- ALL MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION
- ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS AND AWAY FROM HEAT.
- ALL ELECTRICAL POWER IS TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS
- CONTRACTOR, AT ALL TIMES, TO MAKE SURE THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING, OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.
- DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. IT MUST BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID EXCESS ACCUMULATION. CONSTRUCTION WORK WILL BE CONFINED TO SPECIFIED AREAS AND WILL NOT CREATE DUST, DIRT, OR INCONVENIENCES TO OTHER TENANTS WITHIN THE BUILDING.
- CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING BY MEANS OF TEMPORARY PARTITIONS OF HEAVY WEIGHT DROP CLOTHS. PROVIDE TEMPORARY PROTECTION TO EQUIPMENT AND ADJOINING AREAS IN USE.
- WORK SHALL NOT INTERFERE WITH HEATING, ELECTRICAL, GAS, OR PLUMBING SERVICE TO OTHER TENANTS.
- CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF BUILDING.
- AREA OF WORK WILL BE VACATED DURING CONSTRUCTION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY TO THE EXISTING STRUCTURE AND ITS OCCUPANTS.



ELECTRICAL SYMBOLS:



NOTE:
ALL EXISTING ELECTRICAL OUTLETS TO REMAIN WHERE
WALL CONSTRUCTION IS MAINTAINED. NEW ELECTRICAL
OUTLETS AS SHOWN ON DRAWING AND BY CODES. ALL
BATHROOM OUTLETS TO BE GFI. ADDITIONAL OUTLETS
AS REQUIRED TO BE COORDINATED WITH ARCHITECT.

ALL DIMMERS TO BE LUTRON MAESTRO TYPE

ELECTRICAL NOTES:

- PROVIDE ALL WORK IN ACCORDANCE WITH THE NJ ELECTRICAL CODE 2017/2020.
- ALL CONDUIT AND WIRING SHALL BE CONCEALED WITHIN WALLS, CEILINGS, AND FLOORS WHERE FEASIBLE. OPEN UP BUILDING ELEMENTS TO INSTALL NEW CONDUIT TO REPLACE EXISTING EXPOSED CONDUIT AND "WIRE-MOLD".
- PROVIDE ALL NEW LIGHTING FIXTURES AND RECEPTACLES, WHERE SHOWN. INTEGRATE SWITCHING CIRCUITS WITH EXISTING WHERE SHOWN OR REQUIRED.
- CONTRACTOR CHECK THE LOCATION, NUMBER AND SIZE OF PARTITIONS AND CHASES PROVIDED ON THE PLANS AND COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR FOR ANY ADDITIONAL CLEARANCES OR CHASES REQUIRED FOR CABINETS OR BOXES.
- CONDUIT MAY BE RUN THROUGH FACTORY-PUNCHED HOLES IN STUDS OR 1" DIAMETER PUNCHED HOLES.
- USE SHALLOW BOXES AND OFFSET BOX SO THEY ARE NOT BACK TO BACK IN PARTITIONS BETWEEN HABITABLE ROOMS.
- USE SHALLOW BOXES AT FURRED EXTERIOR WALLS.
- GENERAL CONTRACTOR COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL TRADES FOR EXACT LOCATIONS OF MOTORS AND EQUIPMENT IN ORDER TO AVOID INTERFERENCE.
- PULL AND JUNCTION BOXES SHALL BE FLUSH TYPE IN FINISHED AREAS, UNLESS OTHERWISE NOTED. LOCATE JUNCTION AND PULL BOXES APPROXIMATELY WHERE INDICATED ON THE PLAN TO SUIT CONDUIT ENTRANCE, BUT IN ALL CASES, LOCATE TO AVOID INTERFERENCE WITH EQUIPMENT FROM OTHER TRADES AND LOCATE SO THAT COVERS ARE READILY ACCESSIBLE.
- UNLESS OTHERWISE NOTED ON THE FLOOR PLANS OR FLOOR PLAN NOTES, INSTALL DEVICES AT FOLLOWING HEIGHTS: SWITCHES & C.L. OF INTERCOM STATIONS AT 4'-0" A.F.F.; OUTLETS 18" A.F.F.; AND 6" ABOVE COUNTER.
- ALL OUTLETS AT KITCHEN AND BATH TO BE GROUND FAULT INTERRUPTED. WIRE CIRCUITING RUNS PASSING THROUGH GFI OUTLETS SUCH THAT TRIPPING OF THE GFI OUTLETS DOES NOT INTERFERE WITH POWER OF THE OTHER DEVICES DOWNSTREAM.
- ALL AFFECTED ELECTRICAL COMPONENTS, WIRING, FIXTURES, ETC. WITHIN THE APARTMENT MUST BE EXAMINED BY A LICENSED ELECTRICIAN PRIOR TO INSTALLATION OF FINISHED SURFACES. A WRITTEN STATEMENT MUST BE PROVIDED BY THE ELECTRICIAN THAT ALL COMPLY WITH APPLICABLE CODES AND STANDARDS.
- A LETTER MUST BE PROVIDED BY A LICENSED ELECTRICIAN INDICATING WHETHER OR NOT THE PROPOSED RENOVATIONS WILL OVERLOAD EXISTING ELECTRICAL SERVICE TO THE APARTMENT OR BUILDING.
- GC/ELECTRICIAN SHALL PROVIDE ALL CODE COMPLIANT OUTLETS AND CIRCUITS. DRAWINGS ARE DIAGRAMMATIC AND REFLECT CONVENIENCE OUTLETS ONLY.

28 MAIN ST
BRADLEY BEACH, NJ

Issuance Date: Zoning Set
- January 3, 2023
- March 22, 2023
- April 19, 2023

Owner: The Bradley Beach
Congregation of Jehovah's Witnesses
of New Jersey, 28 Main St, Bradley
Beach, NJ, 07720, Ph: 908-400-5610;
Fax: 732-282-9089

applicant & contract purchaser:
tina & david sacci
28 Main Street
Bradley Beach, NJ 07720
C: 201.693.6048

architect:
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276 Greenpoint Avenue #239
Brooklyn, NY 11222
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O: 848.308.2378

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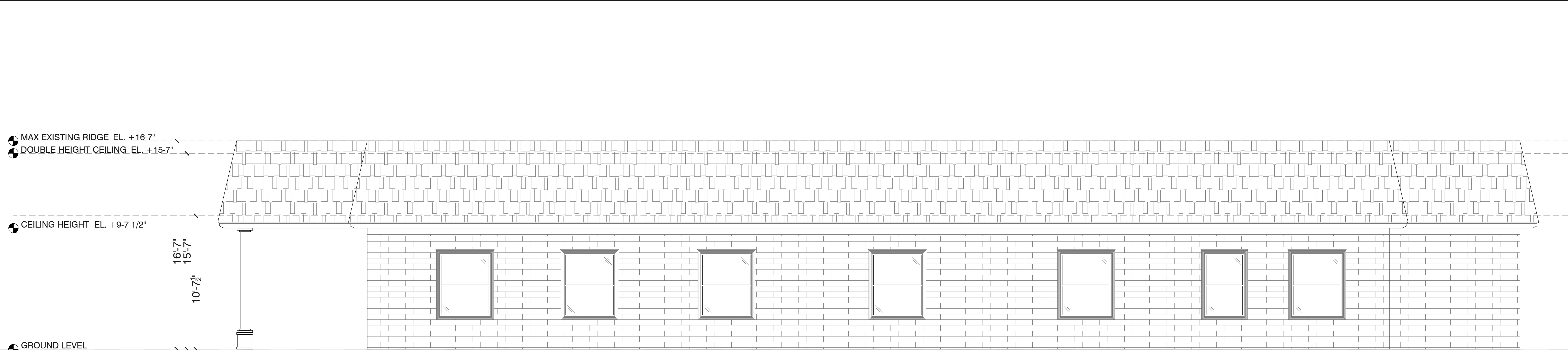
PROPOSED FLOOR AND
LIGHTING/HVAC PLANS

Date: APR 27, 2023

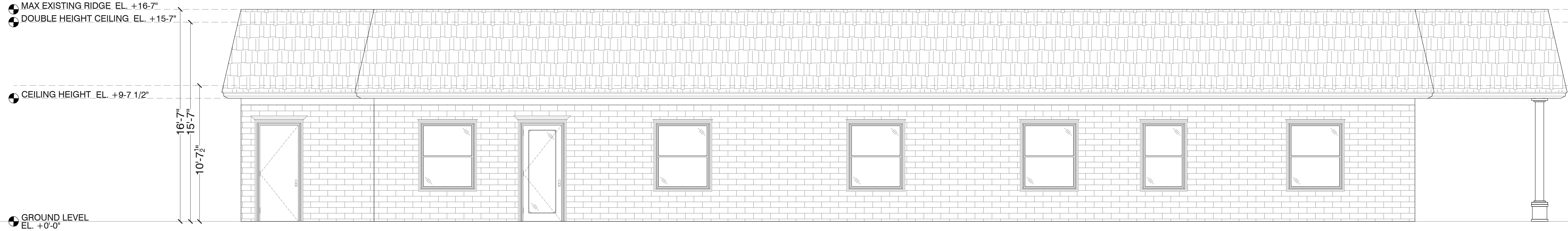
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Drawing:

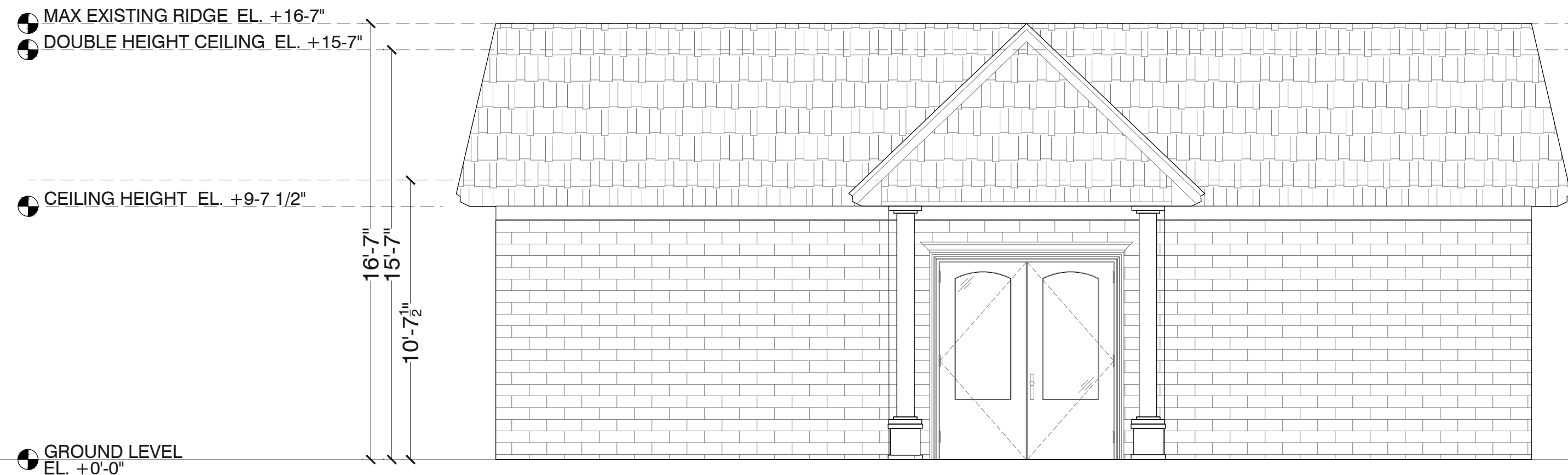
A-100



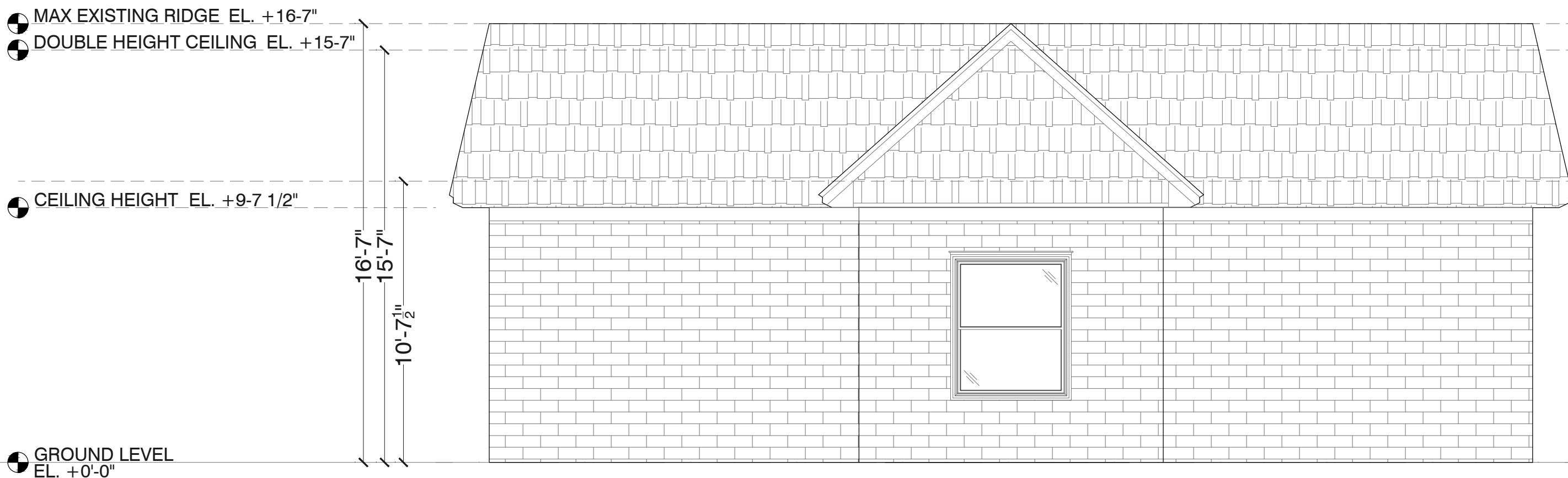
1 EXTERIOR ELEVATION: SOUTH FACING FACADE



2 EXTERIOR ELEVATION: NORTH FACING FACADE



3 EXTERIOR ELEVATION: MAIN STREET FACING FACADE



4 EXTERIOR ELEVATION: REAR FACADE

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EXTERIOR ELEVATIONS

Date: APR 27, 2023

Scale: 1/4" = 1'-0"

Drawing:

A-200

Issuance Date: Zoning Set
- January 3, 2023
- March 22, 2023
- April 19, 2023
-
-
-
-

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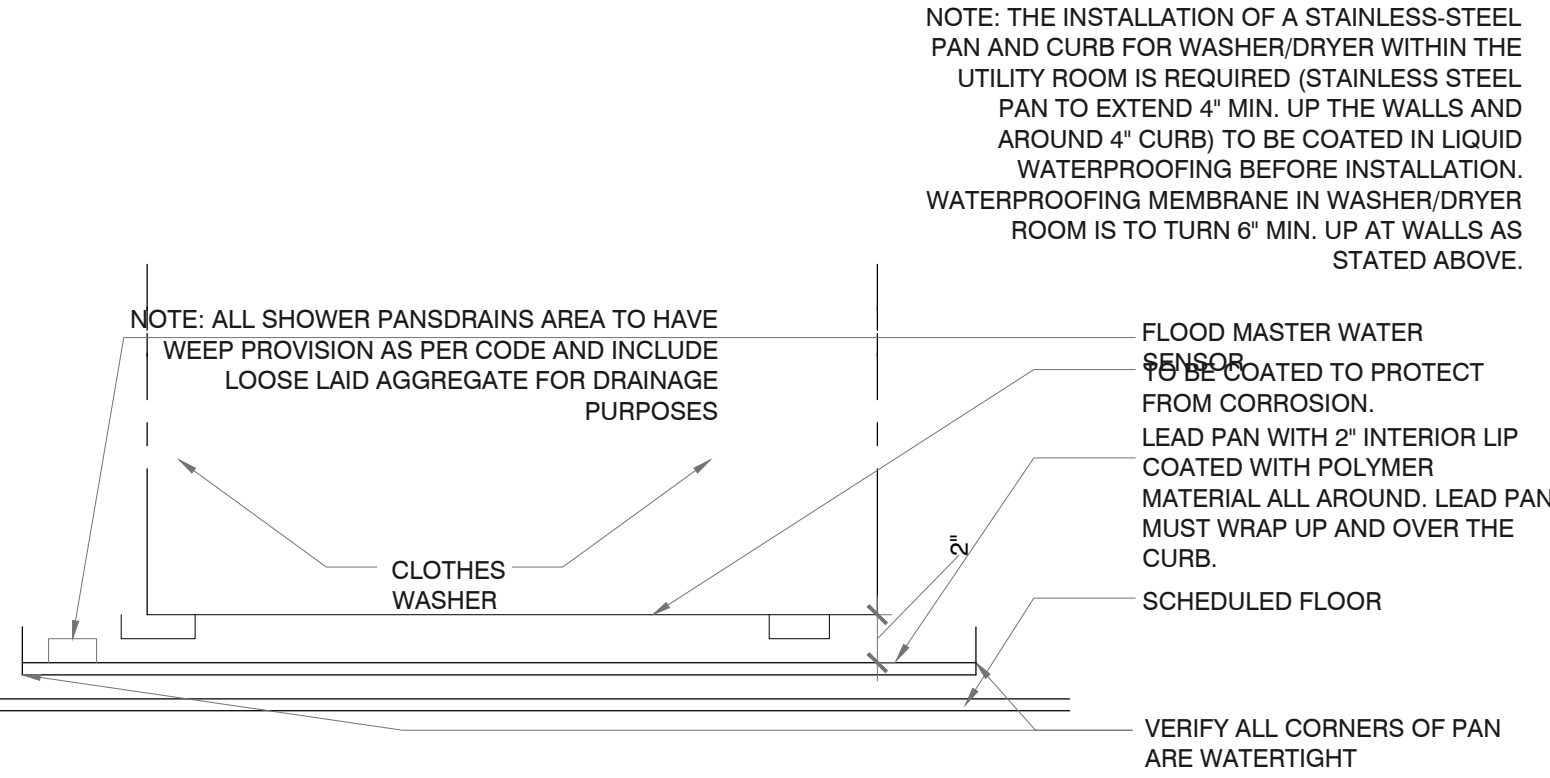
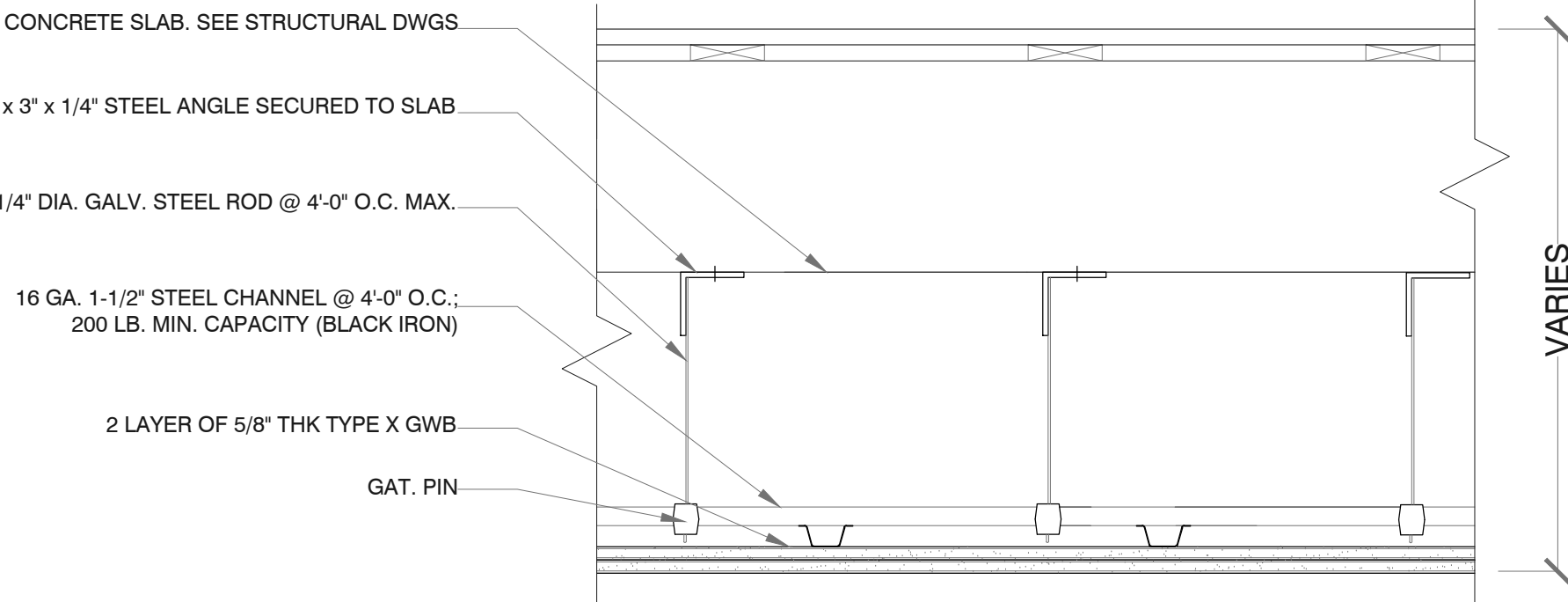
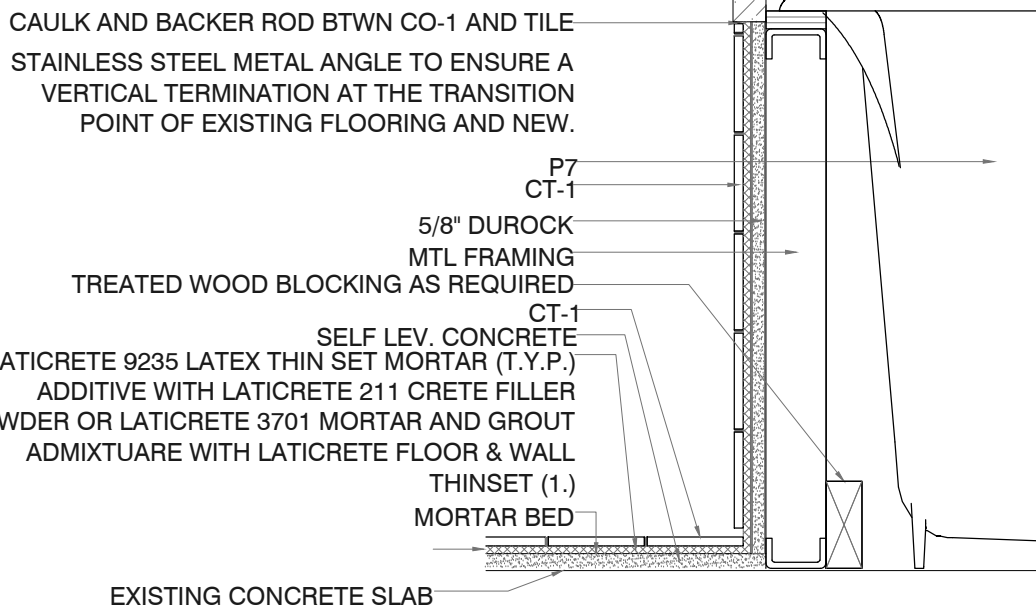
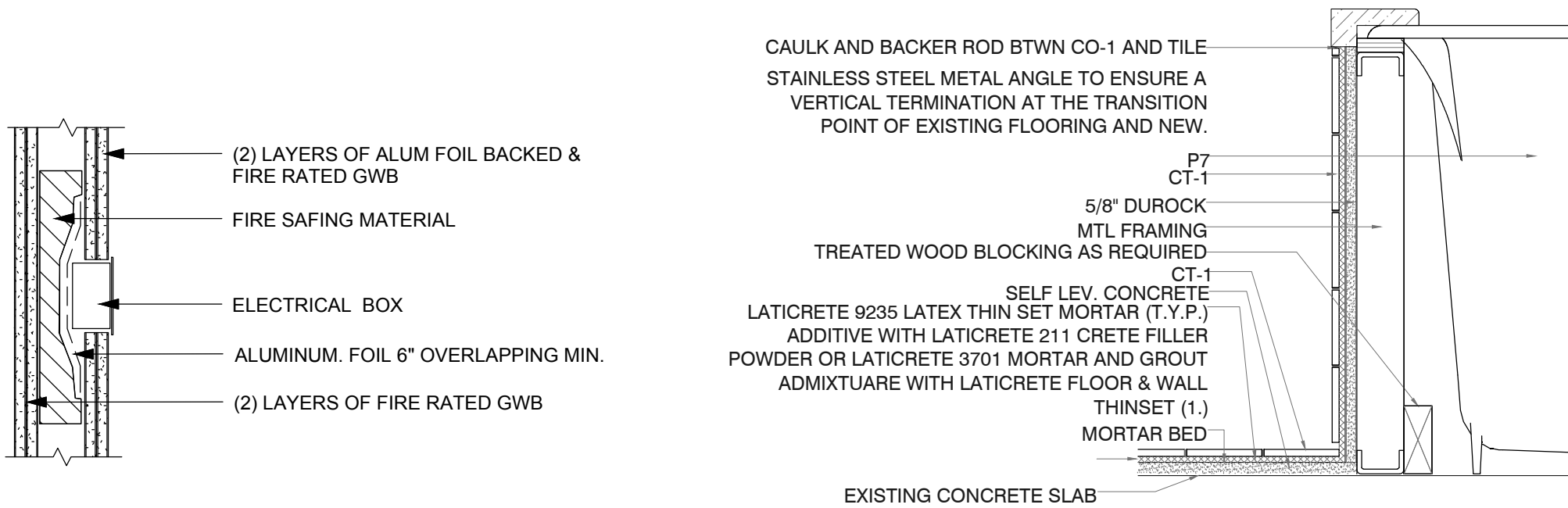
DETAIL DRAWINGS & NOTES

Date: APR 27, 2023

Scale: 1:8

Drawing:

A-600

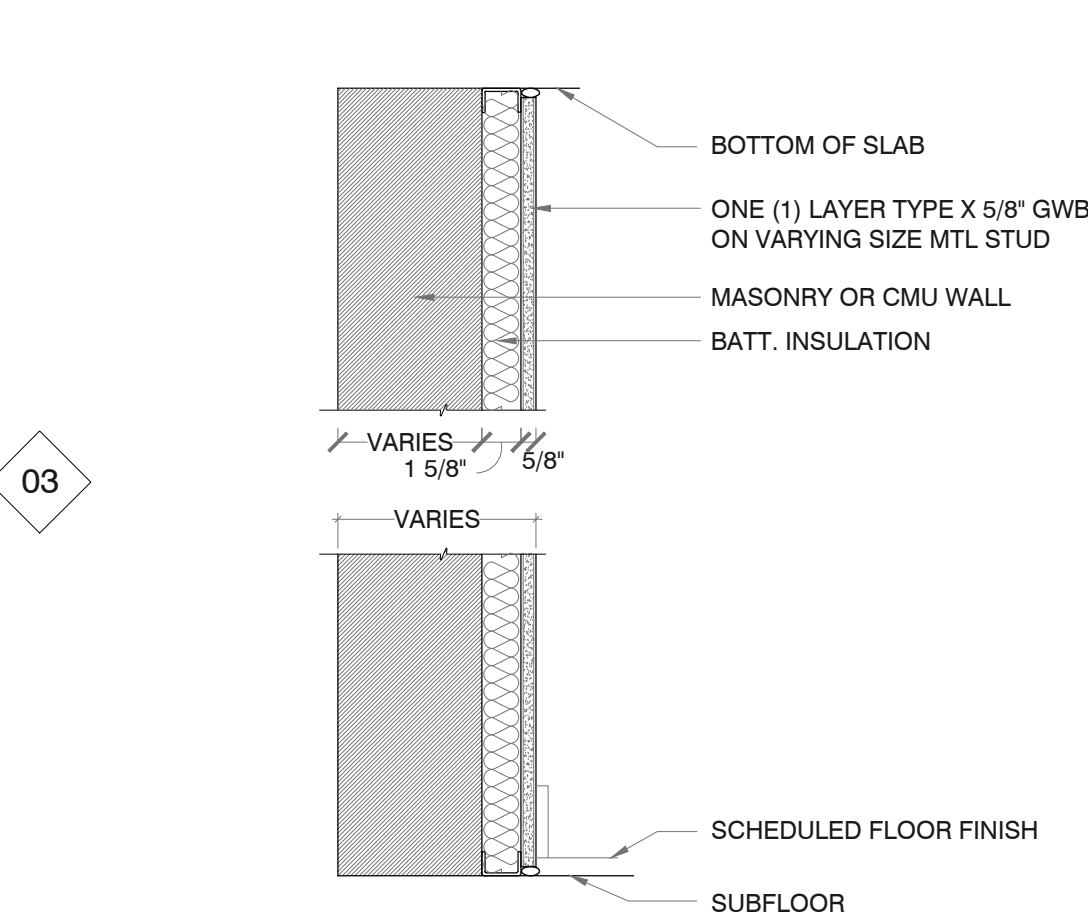


3 OUTLET PENETRATION DETAILS

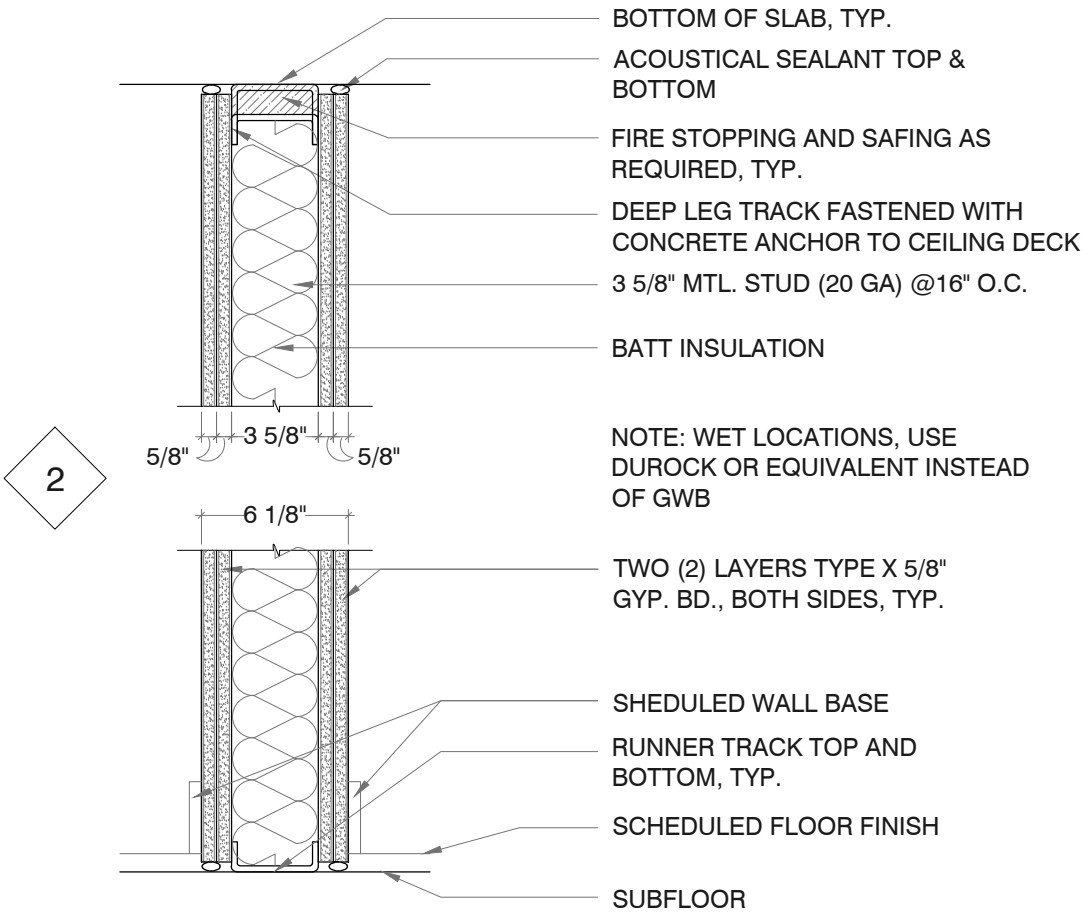
4 TILE DETAILS

5 CEILING DETAILS

6 WASHER PAN / DRAIN DETAIL

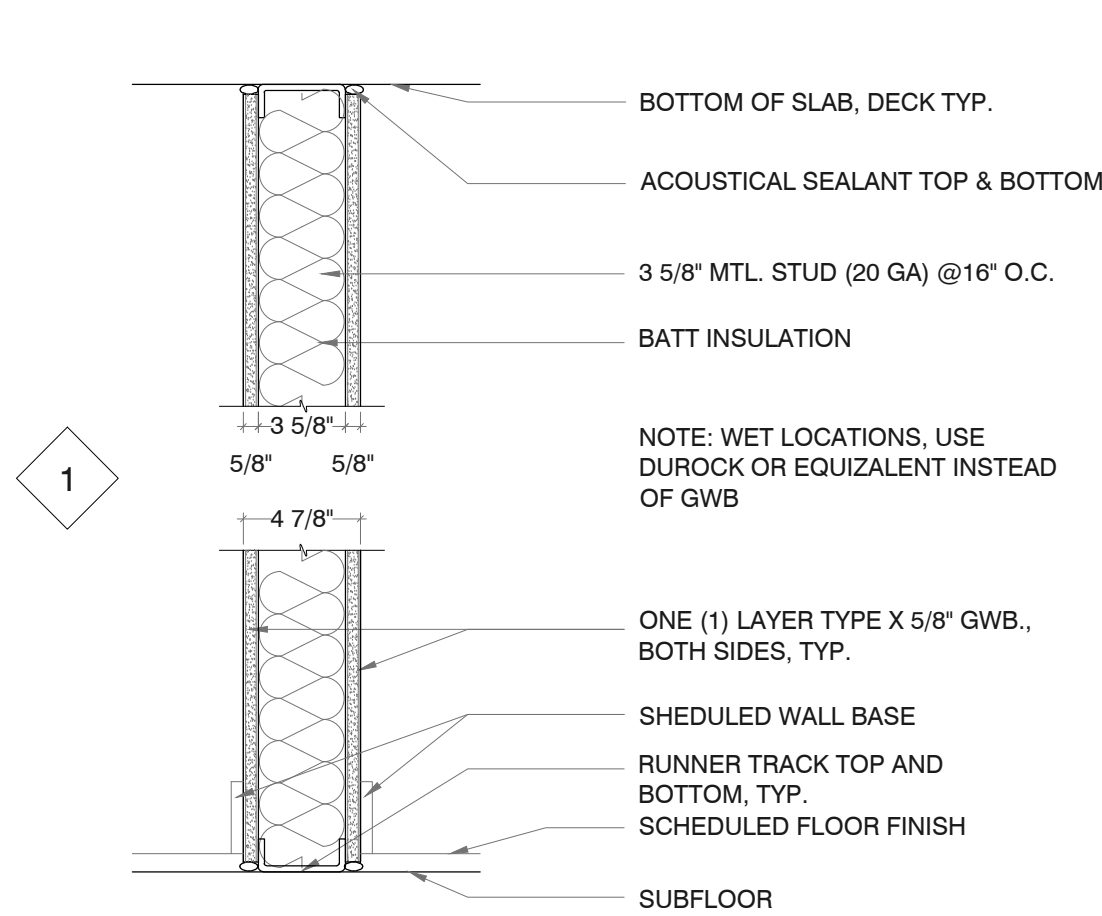


03 NON RATED, FURRING AT MASONRY/ CONCRETE WALL
1'-1/2"=1'-0"

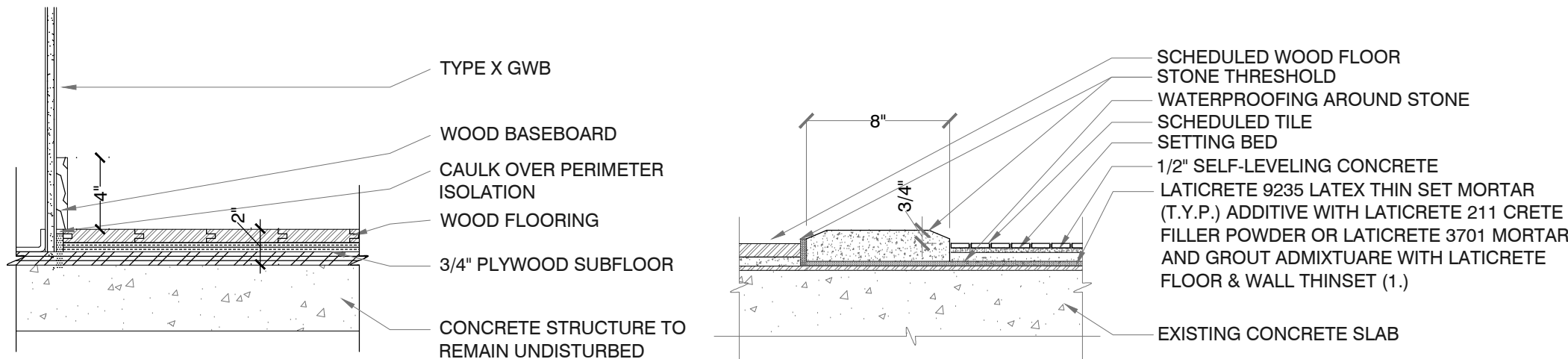


02 TWO HOUR RATED, MTL. STUD
1'-1/2"=1'-0"

UL No: U419
BSA No: 301-80-SM



01 NON-RATED, 3-5/8" MTL. STUD
1'-1/2"=1'-0"



2 FLOOR DETAILS

1 PARTITION WALL DETAILS