

1 PROPOSED SITE PLAN
1" = 10'-0"

PARK-PLACE AVENUE

3 PLOT PLAN WITH DEMO - LOT 8.01,
BLOCK 16 (from survey by FP & L
Associates, dated 2/13/23)
1" = 10'-0"

③ Associates
1" = 10'-0"





Greenberg Add'n w/ Variance
302 Park Place Ave.
Tax Map Sheet #2, Lot 8.01, Block 16
Bradley Beach, Monmouth County, NJ

DRAWING

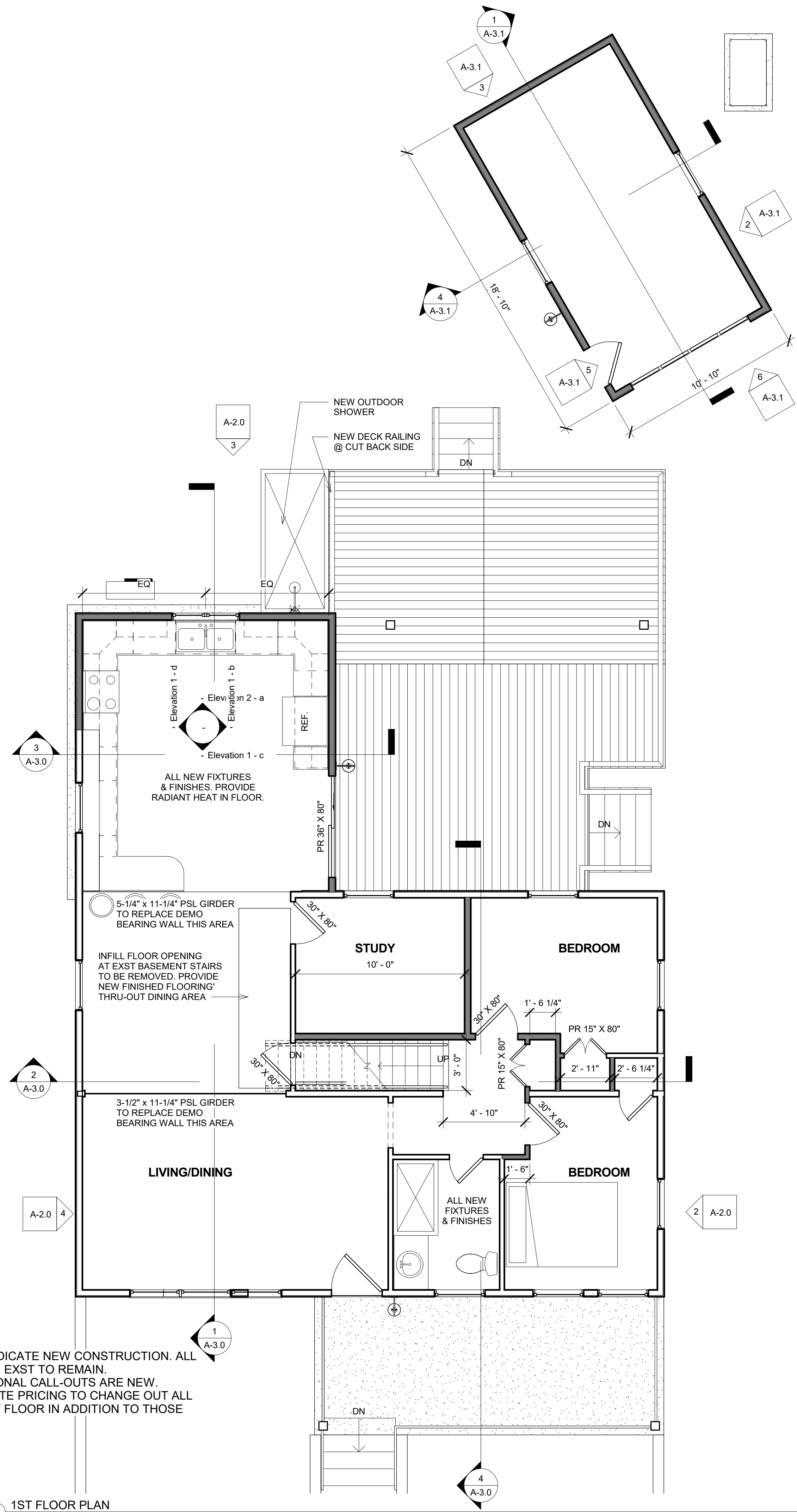
DEC DRAWN BY	DEC CHECKED BY
1/4" = 1'-0" SCALE	9-27-23 ISSUE DATE

A-1.0

- TO BE DEMOLISHED.
SHADED ELEMENTS INDICATE NEW CONSTRUCTION. ALL
OTHER ELEMENTS ARE EXST TO REMAIN.
- DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW.
PROVIDE BID ALTERNATE PRICING TO CHANGE OUT ALL
EXST DOORS ON FIRST FLOOR IN ADDITION TO THOSE
SHOWN AS NEW.
- NEW FOUNDATION TO DEPTH OF EXISTING CRAWL SPACE FOUNDATION @ KITCHEN EXTENSION
- DEMO EXST DECK SUPPORT POST @ KITCHEN EXTENSION; PROVIDE BEAM POCKET IN NEW FOUNDATION TO RECEIVE EXST DECK GIRDER.
- STEP DOWN NEW FOUNDATION TO MEET EXST BASEMENT FOUNDATION DEPTH
- DEMOS EXST WASHER & DRYER & ASSOCIATED UTILITIES
- EXCAVATE NEW SUMP PIT THIS LOCATION
- PROVIDE NEW TILE FINISH THIS WALL
- EXISTING WOOD PANELING TO REMAIN
- NEW STAIR UP TO 1ST FLOOR
- NEW 3-1/2" x 1/4" HSS COLUMN @ POINT LOAD WITH 24" x 24" x 12" FTG
- DEMO EXST SHOWER & LAV. REMOVE EXST STEP UP. PROVIDE EJECTOR PUMP AS NEEDED TO SET TOILET ON EXST SLAB LEVEL.
- NEW VANITY WITH DROP-IN SINK
- BASEMENT FLOOR PLAN

NOTES:

1. SHADED ELEMENTS INDICATE NEW CONSTRUCTION. ALL OTHER ELEMENTS ARE EXST TO REMAIN.
2. DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW. PROVIDE BID ALTERNATE PRICING TO CHANGE OUT ALL EXST DOORS ON FIRST FLOOR IN ADDITION TO THOSE SHOWN AS NEW.



① 1ST FLOOR PLAN
1/4" = 1'-0"



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REVISION		
No.	Description	Date

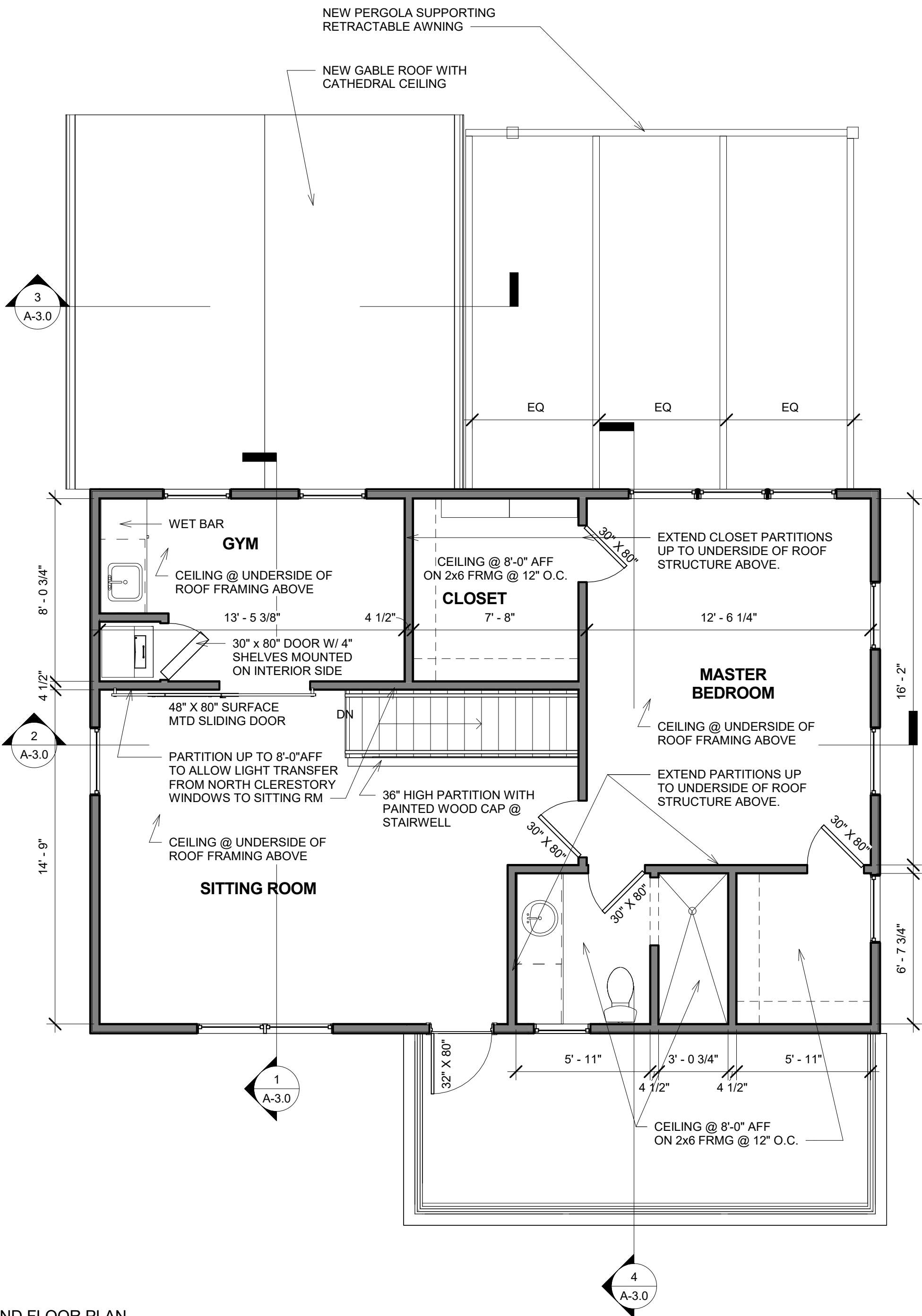
DRAWING
2nd Floor & Roof Plan

DEC DRAWN BY 1/4" = 1'-0" SCALE	DEC CHECKED BY 9-27-23 ISSUE DATE
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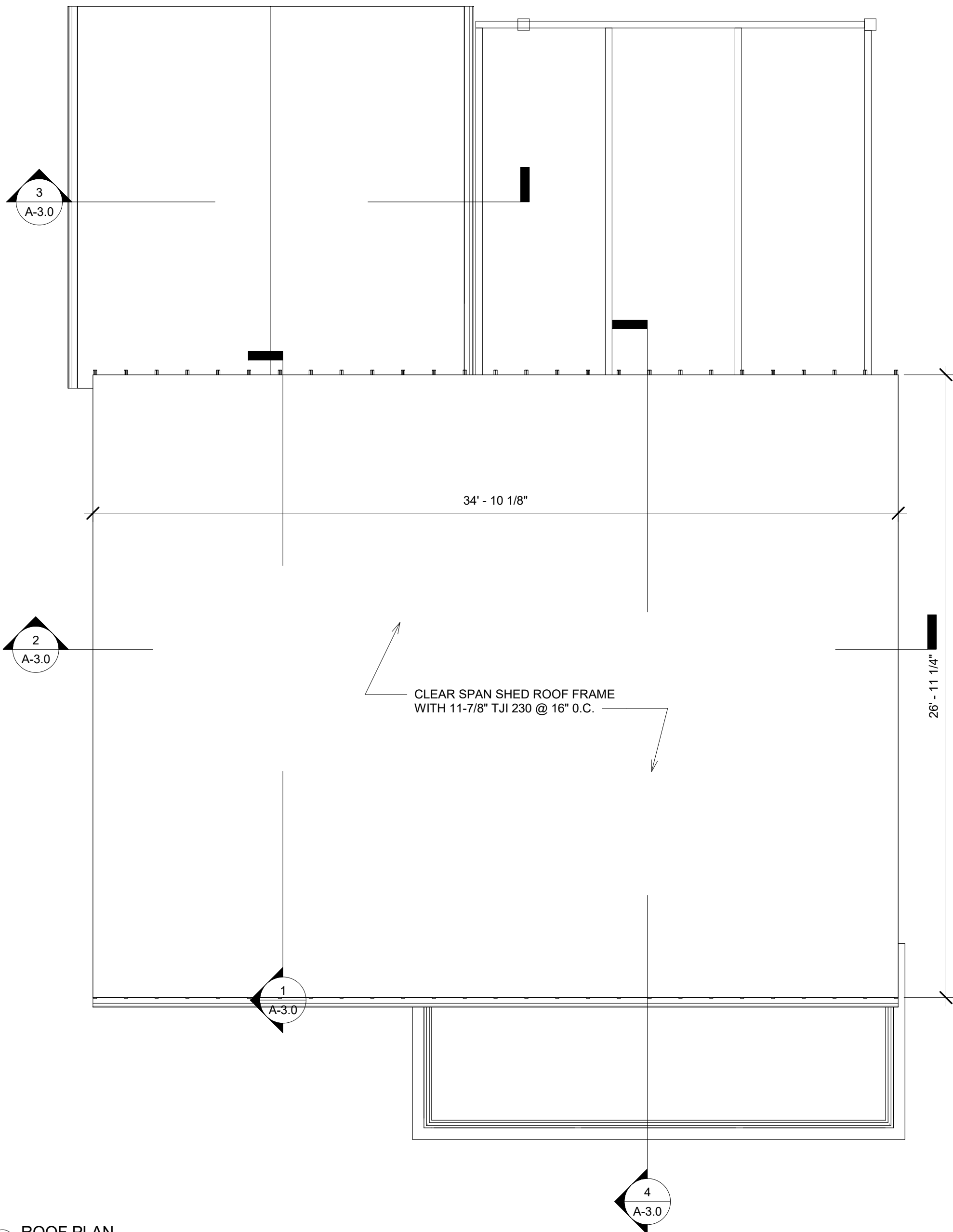
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NOTES:

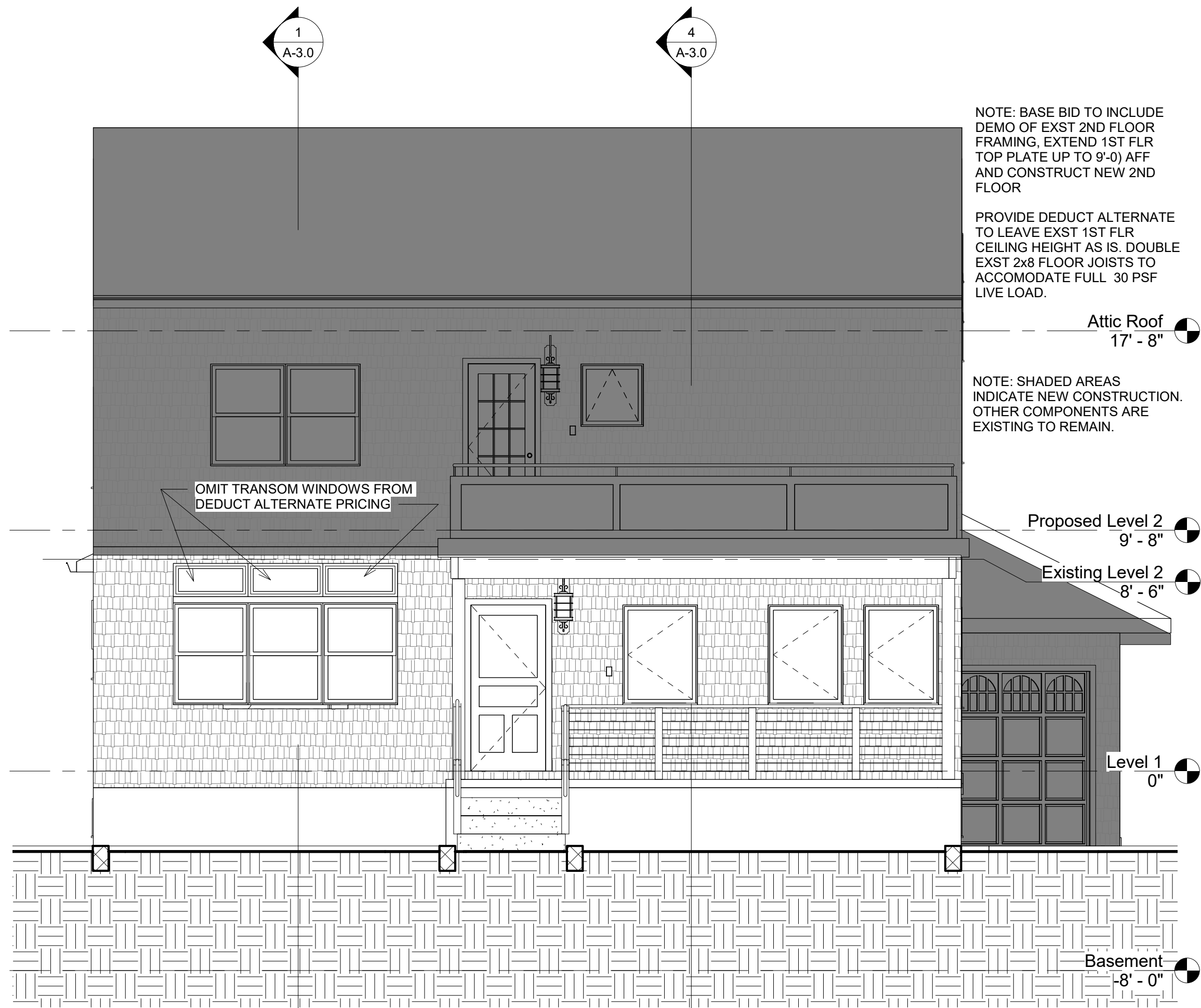
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2. DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW.



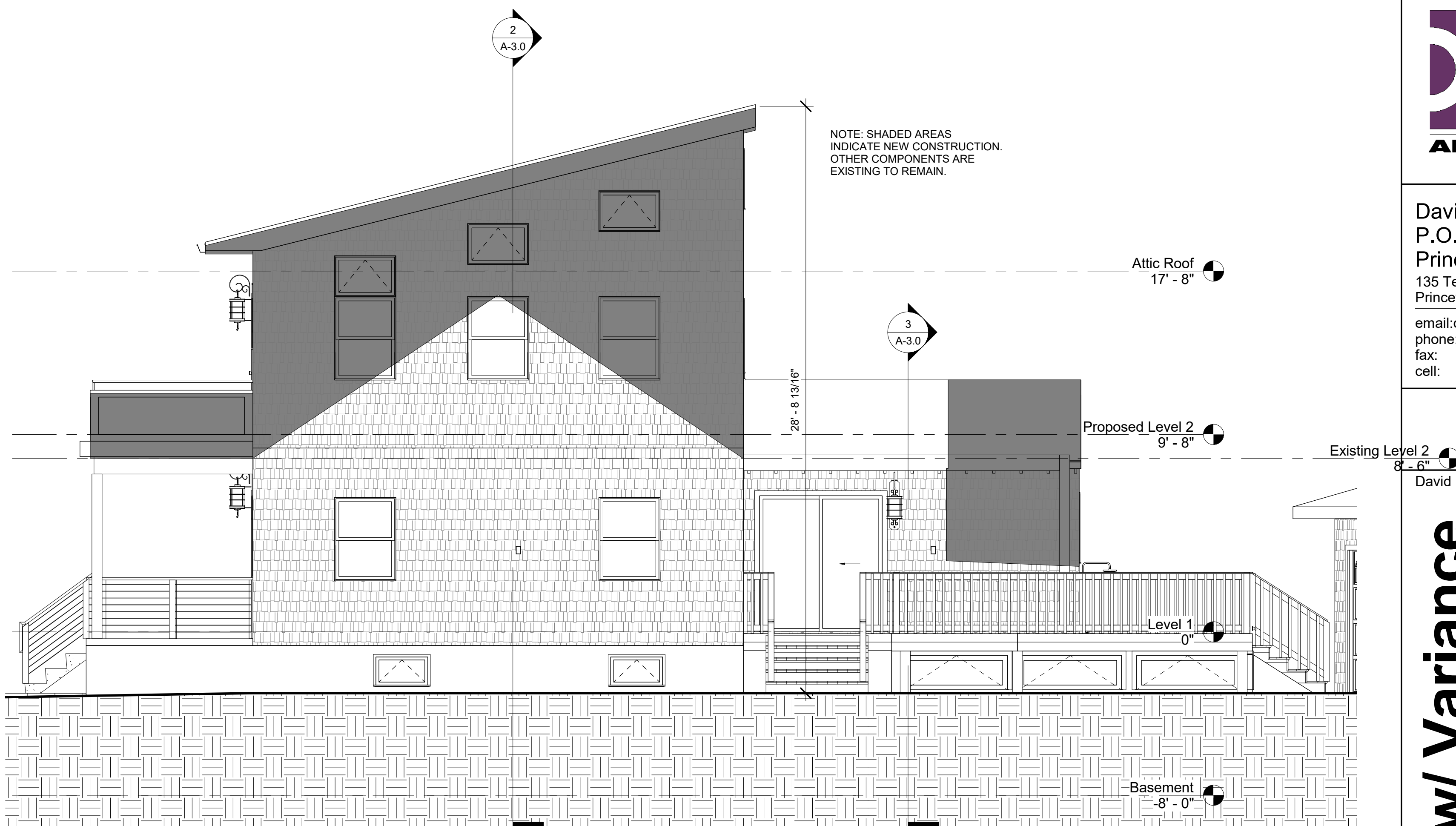
① 2ND FLOOR PLAN
1/4" = 1'-0"



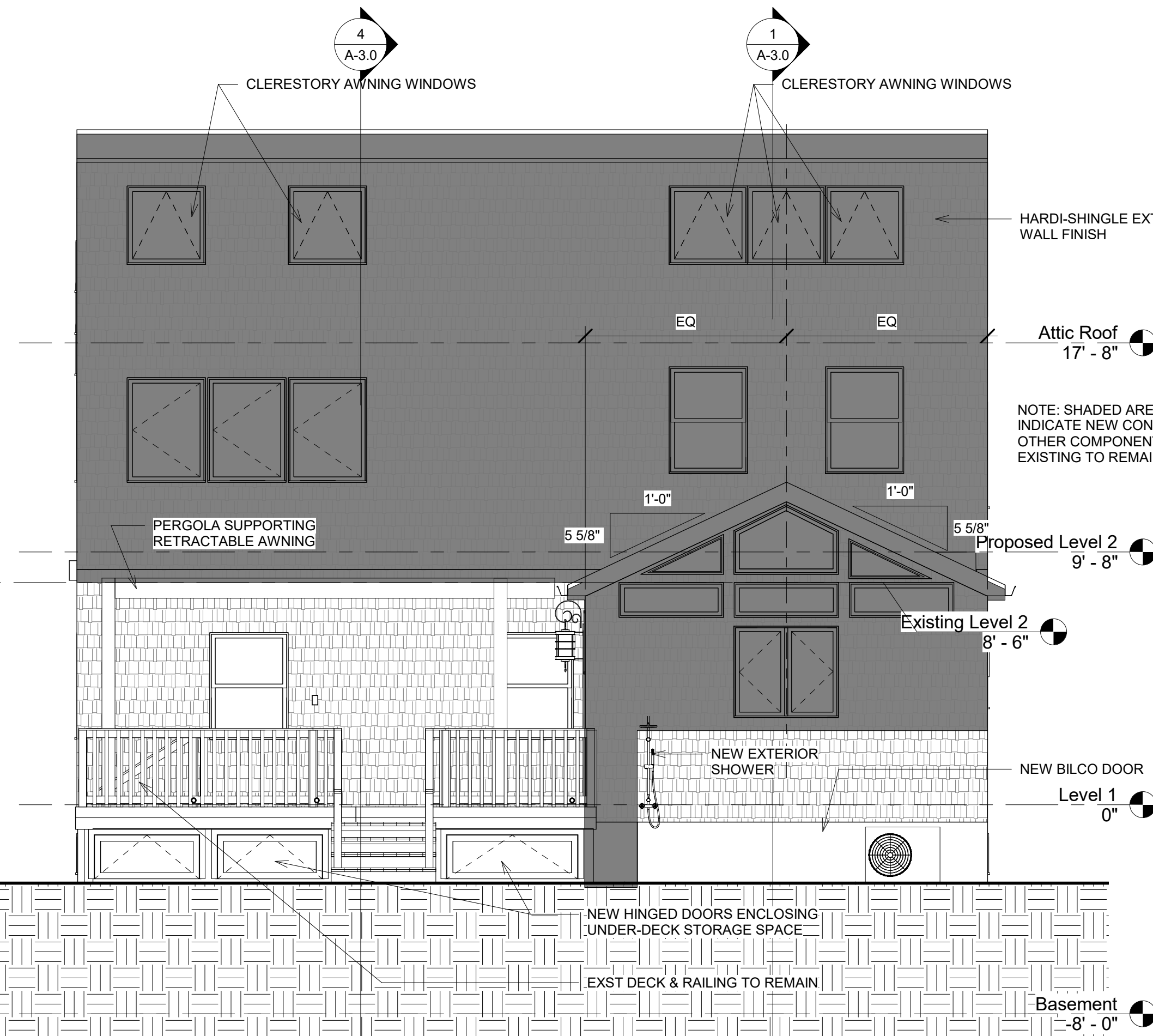
② ROOF PLAN
1/4" = 1'-0"



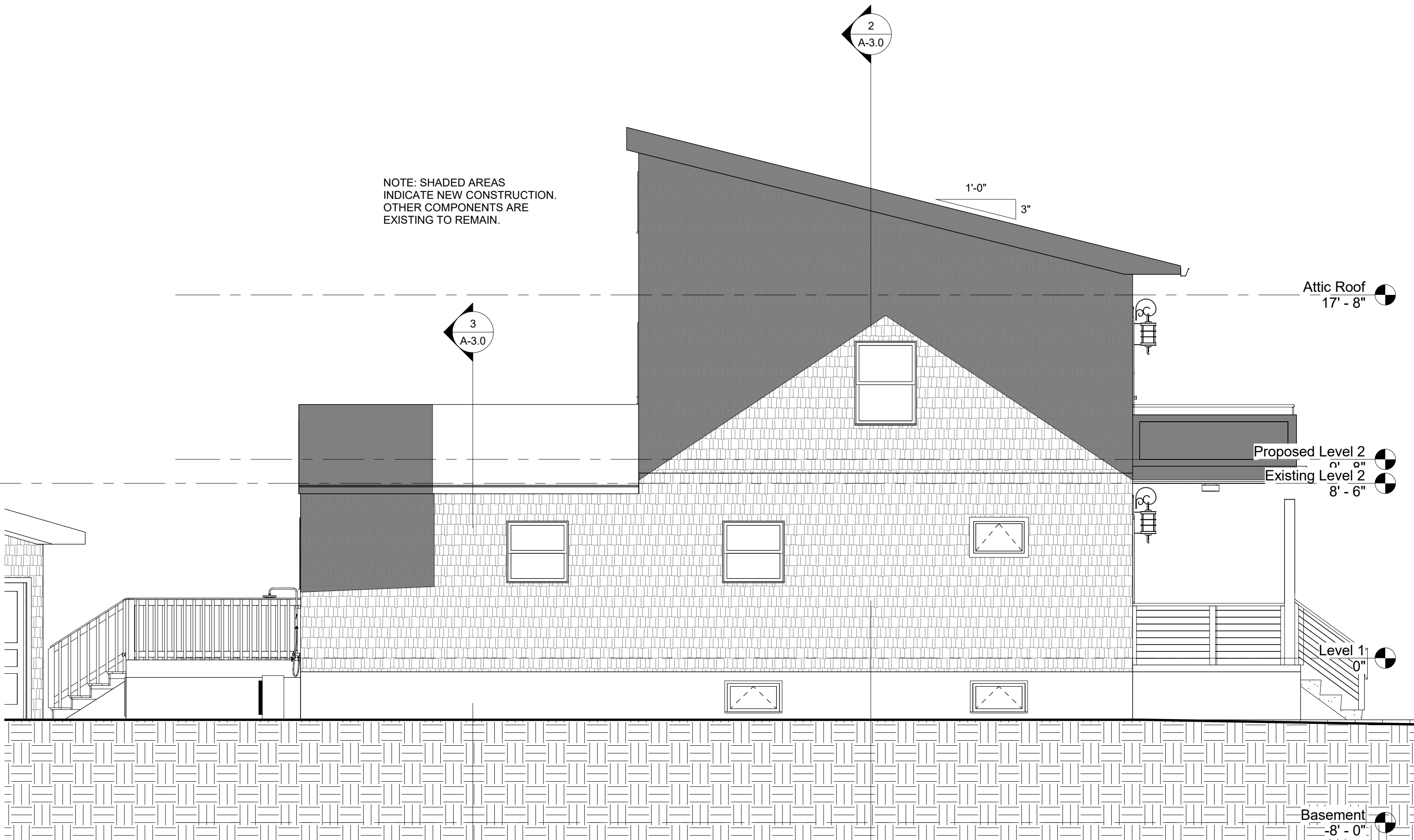
1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"



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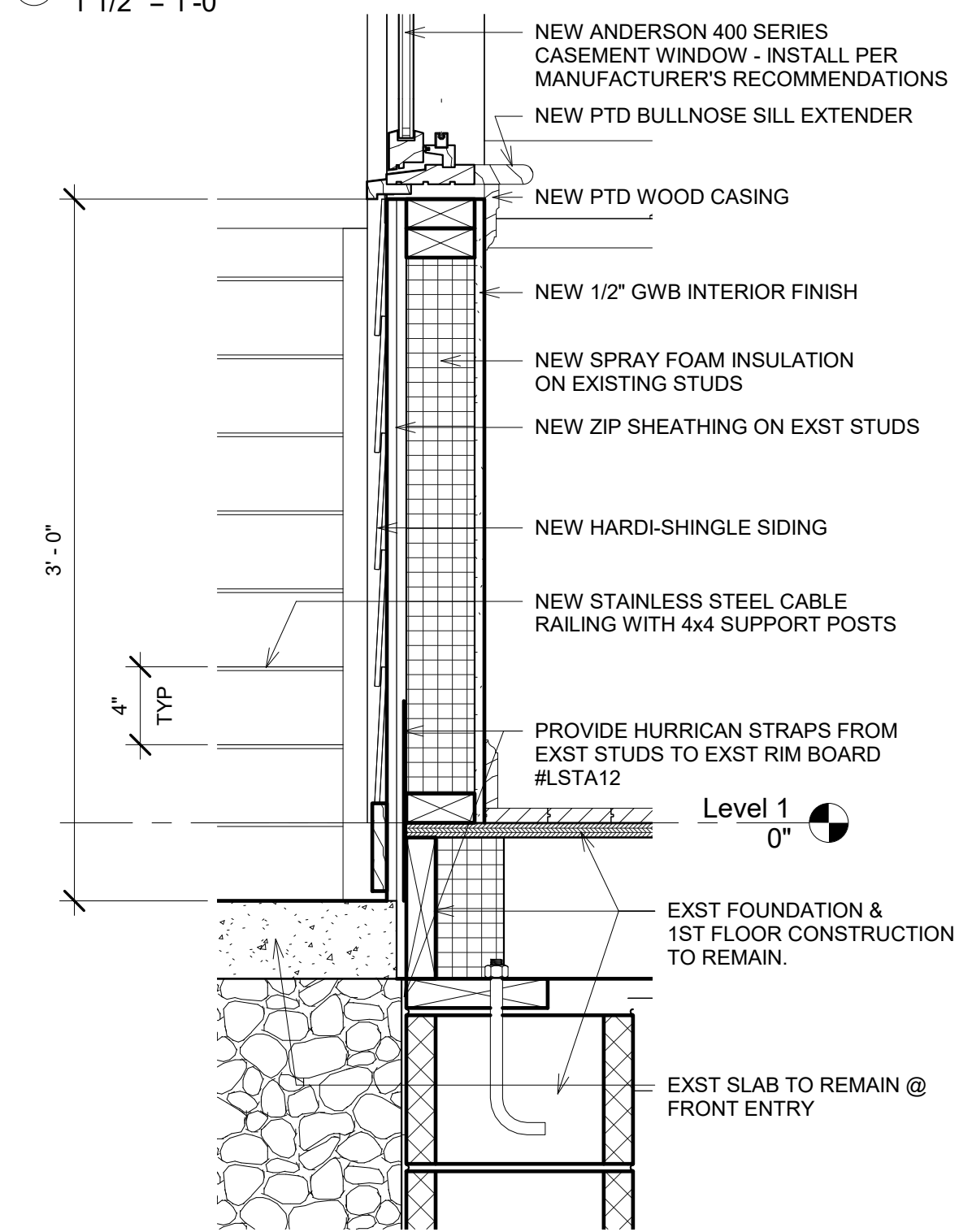
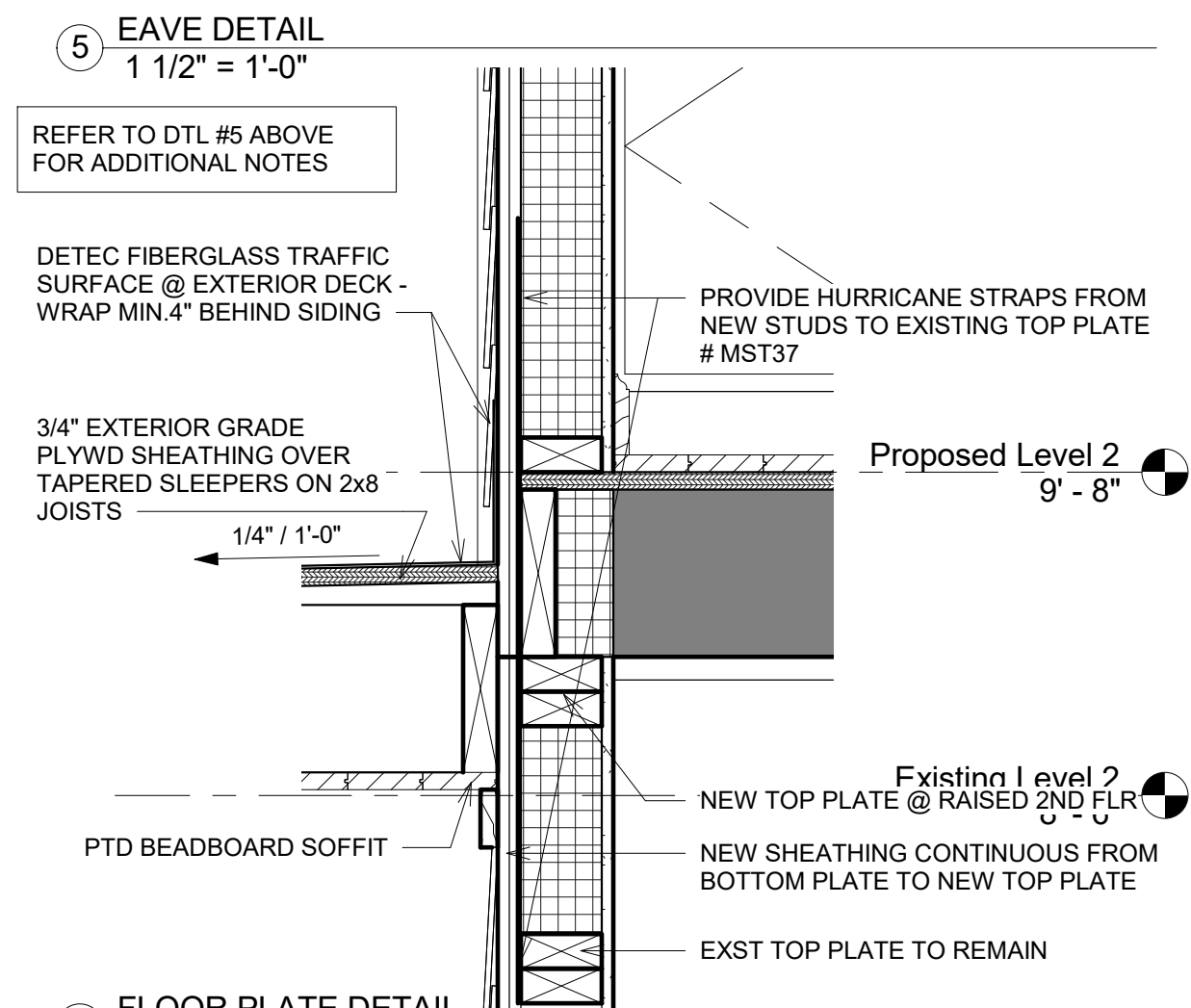
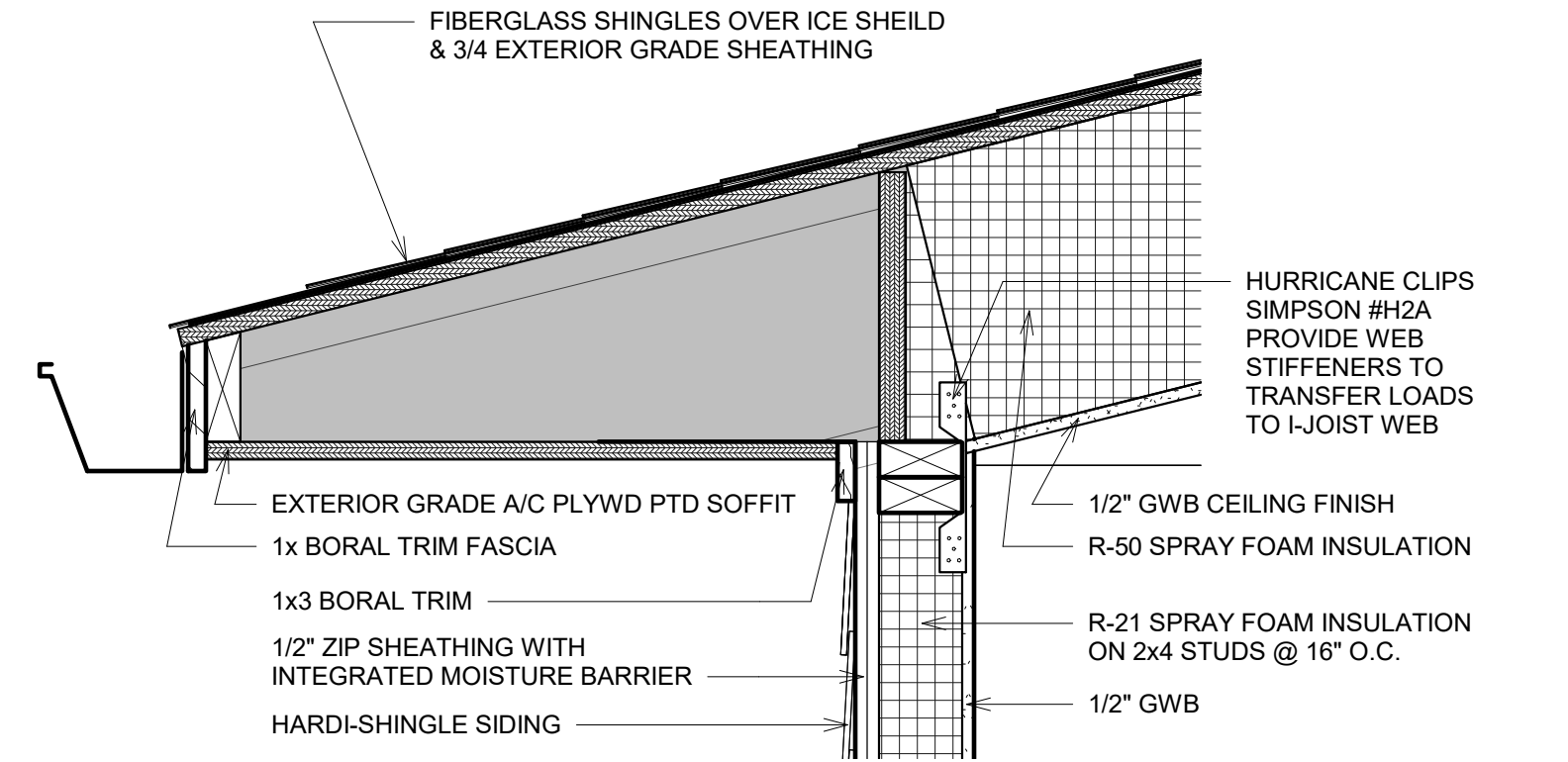
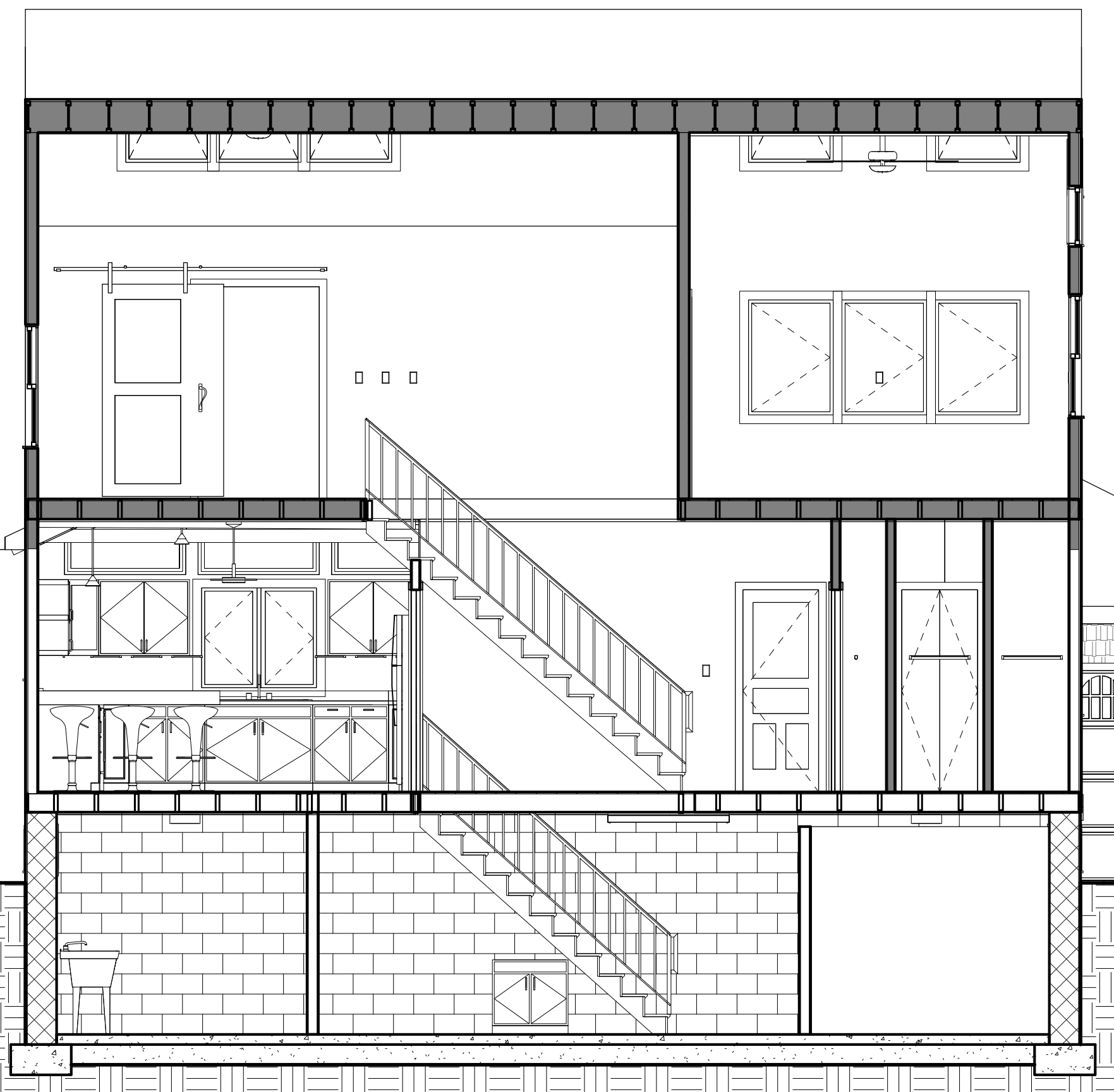
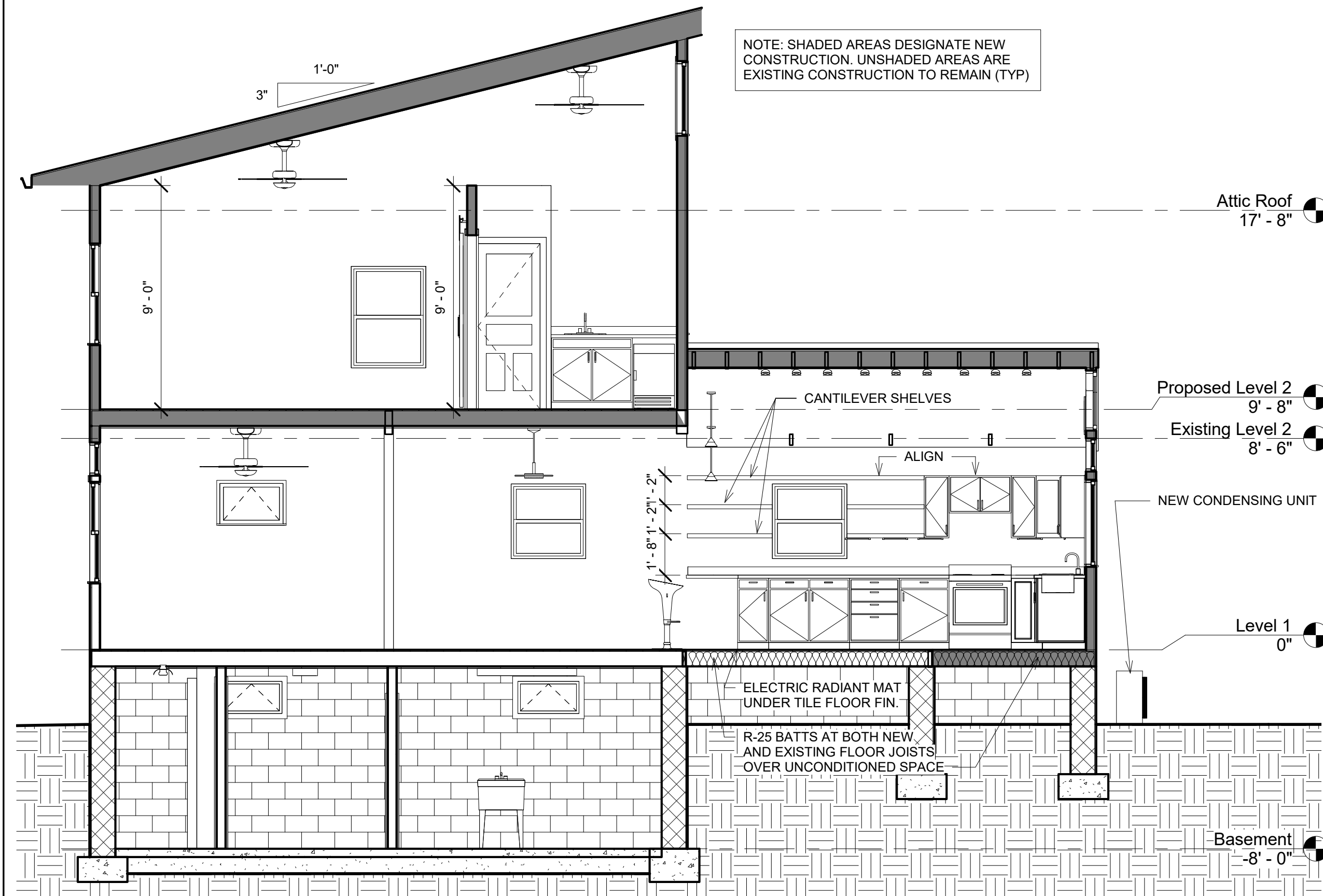
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REVISION		
No.	Description	Date

DRAWING
Exterior Elevations

DEC DRAWN BY 1/4" = 1'-0" SCALE	DEC CHECKED BY 9-27-23 ISSUE DATE
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A-2.0

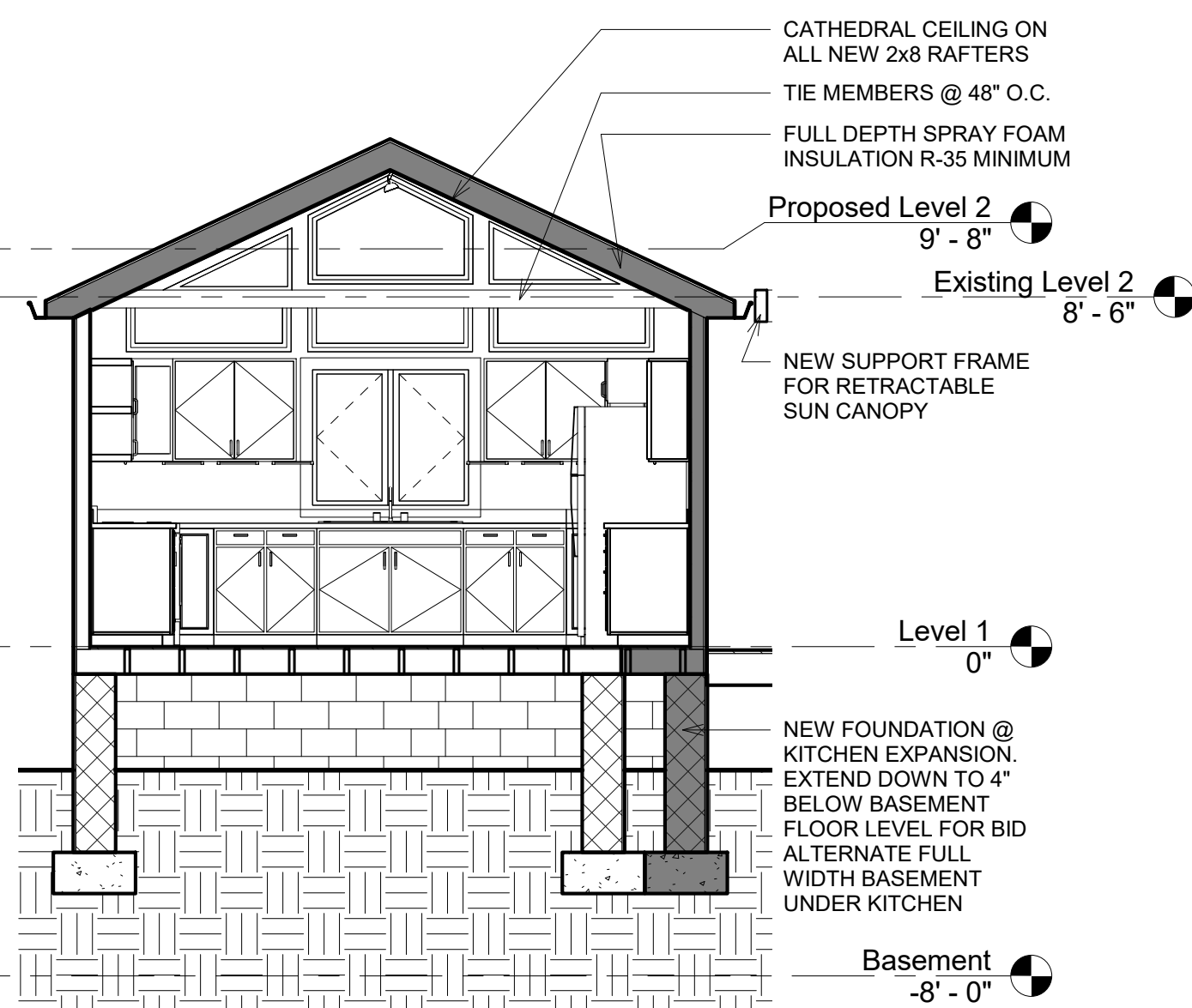
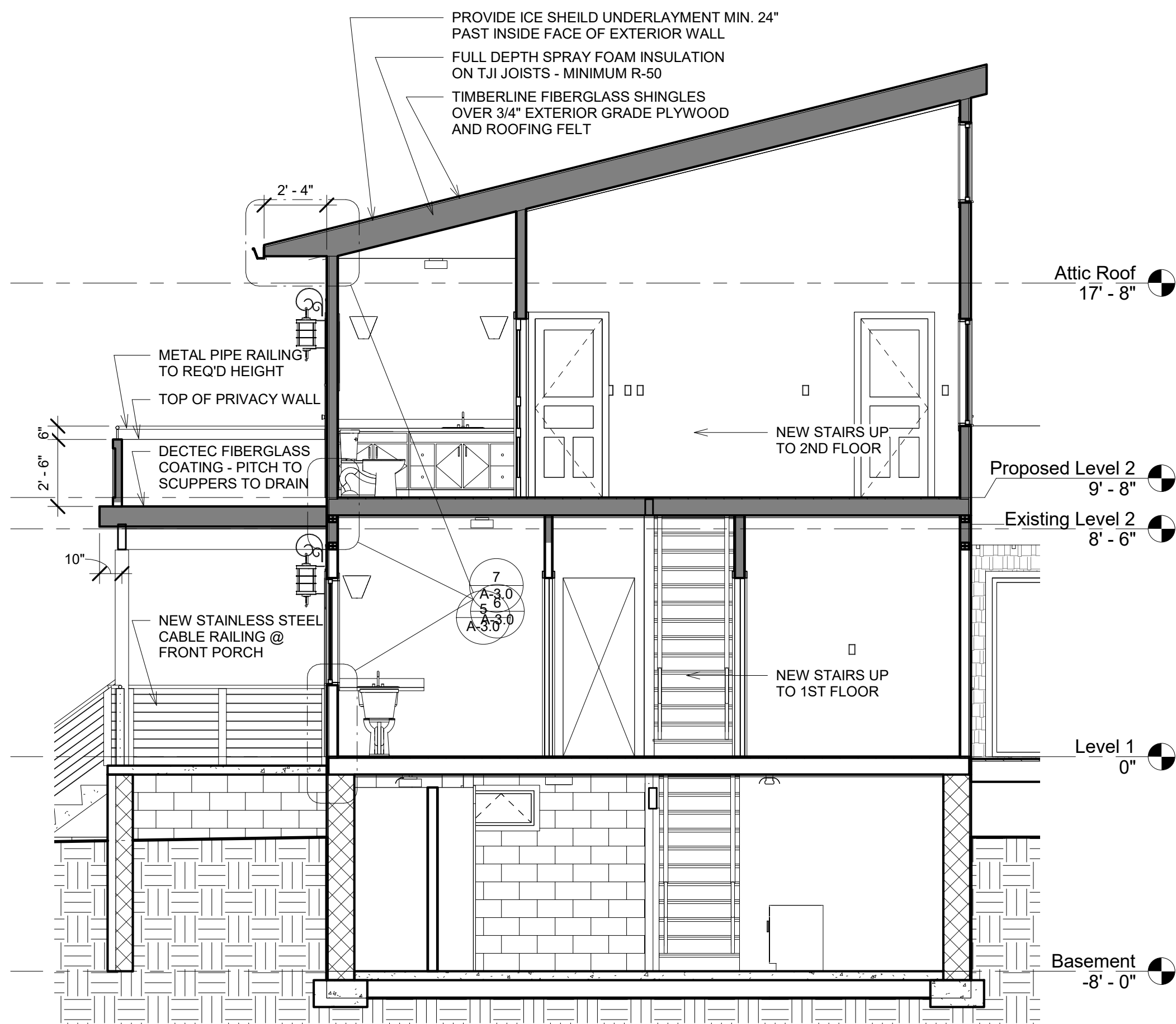


1 CROSS SECTION @MAIN HOUSE
1/4" = 1'-0"

2 LATERAL SECTION MAIN HOUSE
1/4" = 1'-0"

5 EAVE DETAIL
1 1/2" = 1'-0"

REFER TO DTL #5 ABOVE
FOR ADDITIONAL NOTES



4 CROSS SECTION MAIN HOUSE @
ENTRY
1/4" = 1'-0"

3 CROSS SECTION @ KITCHEN ADDITION
1/4" = 1'-0"

7 ENTRY PORCH DETAIL
1 1/2" = 1'-0"



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Greenberg Add'n w/ Variance

302 Park Place Ave.

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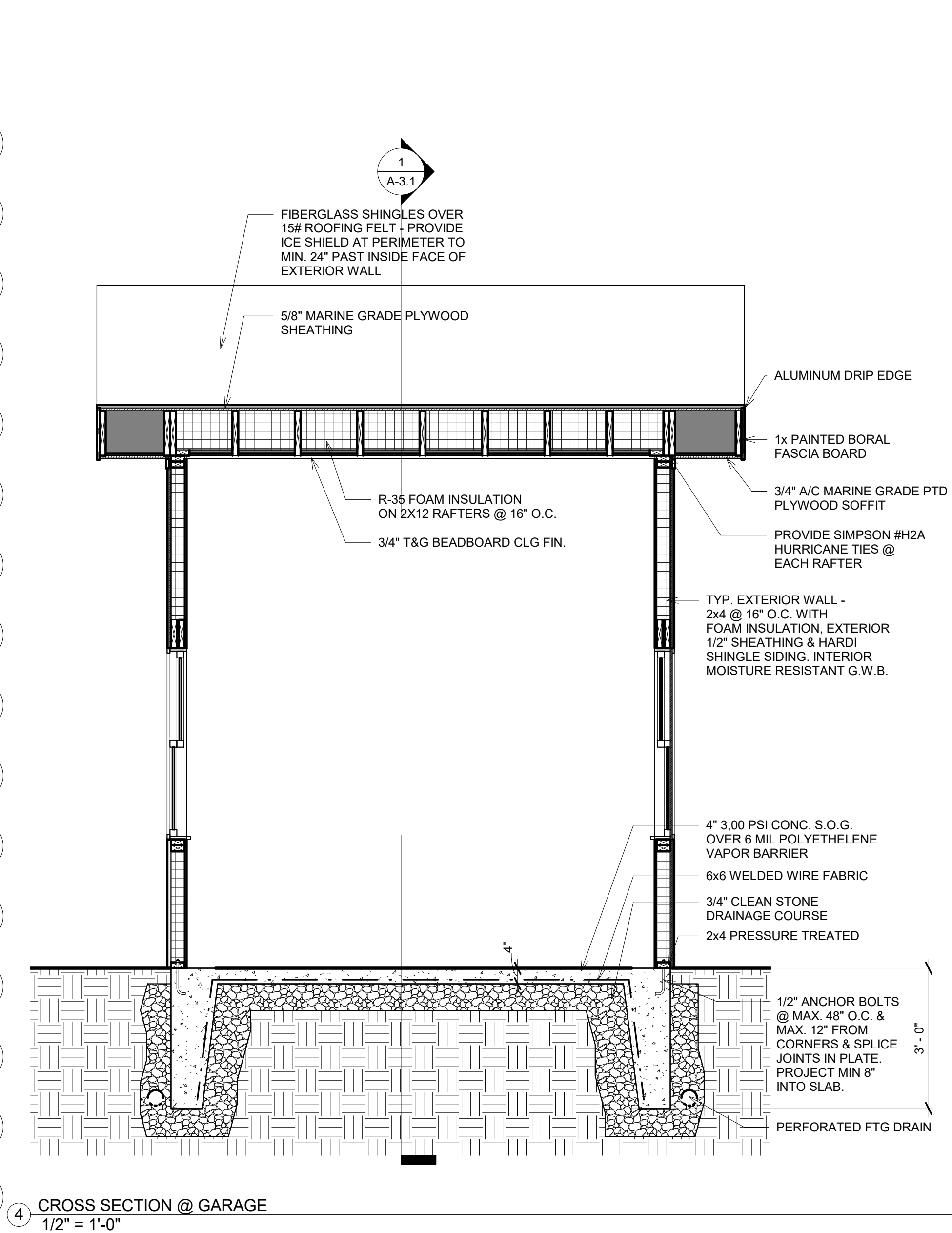
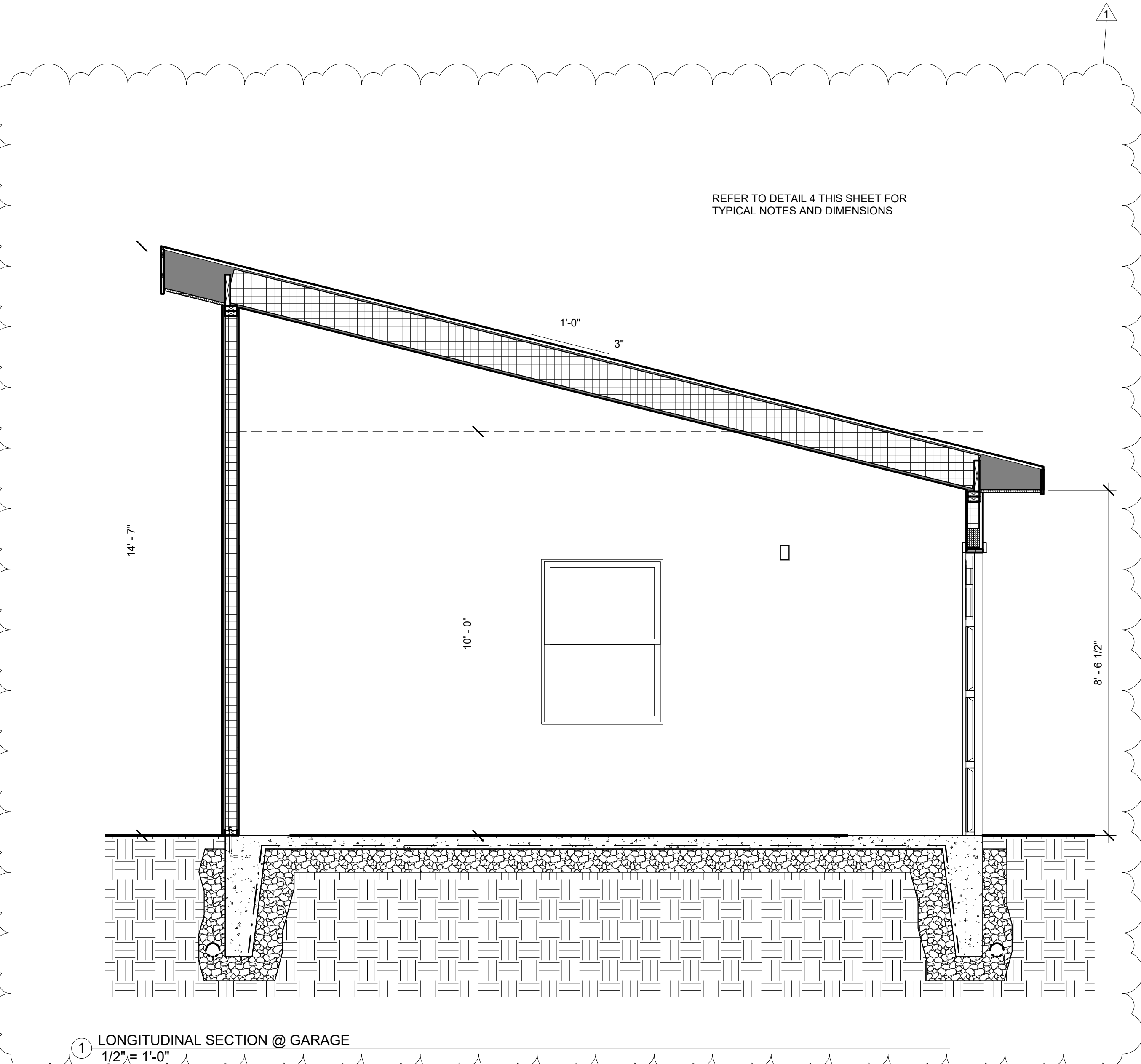
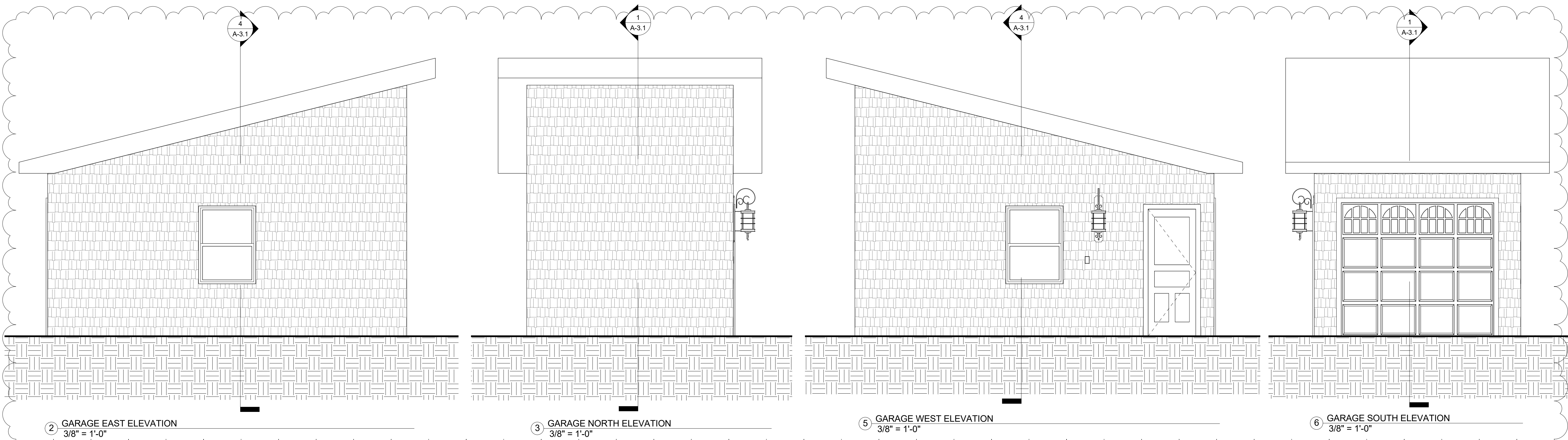
REVISION		
No.	Description	Date

DRAWING
Building
Sections

DEC
DRAWN BY
As indicated
SCALE

DEC
CHECKED BY
9-27-23
ISSUE DATE

A-3.0



DE
ARCHITECT

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REVISION		
No.	Description	Date
1	COMPLETENESS REVIEW	12/22/23

DRAWING
Garage Details

Author DRAWN BY As indicated SCALE	Checker CHECKED BY 9-27-23 ISSUE DATE
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A-3.1



① FRONT PERSPECTIVE



② REAR PERSPECTIVE



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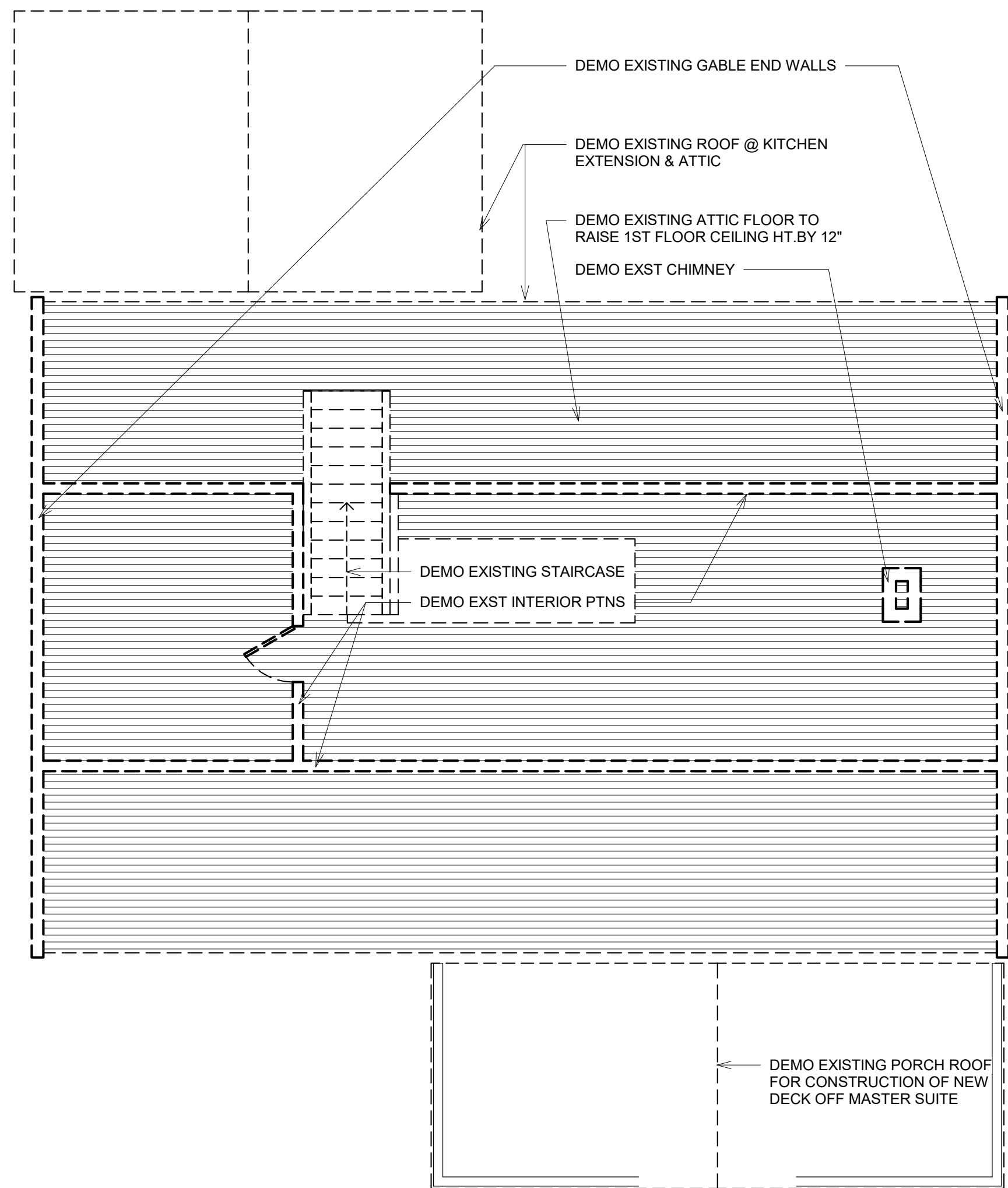
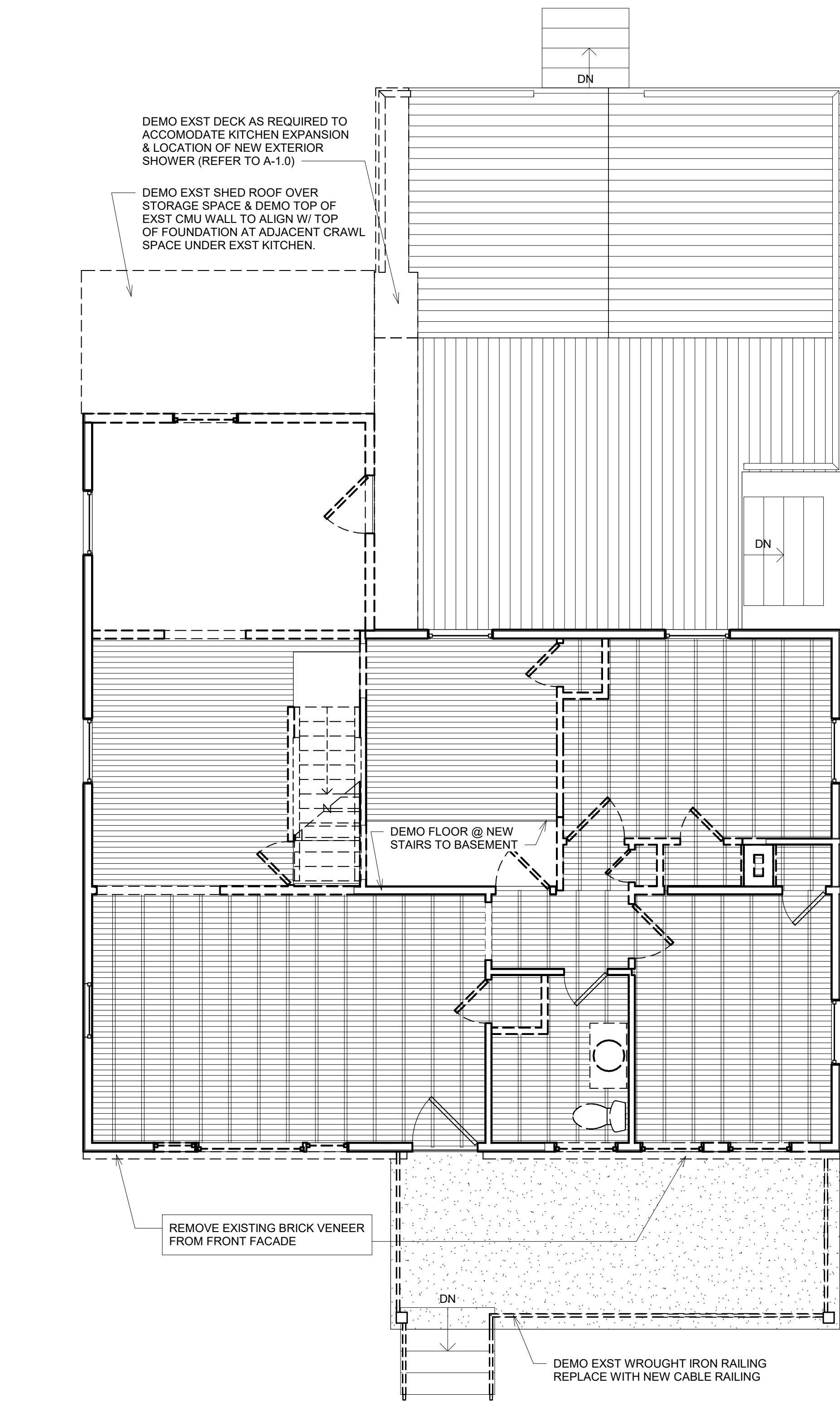
REVISION		
No.	Description	Date

DRAWING
Perspective Views

DEC DRAWN BY	DEC CHECKED BY
	9-27-23
SCALE	ISSUE DATE

A-9.0

NOTE: REFER TO SHEET A-1.0 FOR DEPICTION OF BASEMENT DEMOLITION SCOPE OF WORK.



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DRAWING
Demolition Plans

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D-1.0