



2 LOCATION MAP
1" = 100'-0"

CODE INFORMATION
 APPLICABLE CODES:
 2022 - NEW JERSEY UNIFORM CONSTRUCTION CODE
 2020 - NATIONAL ELECTRICAL CODE
 2021 - INTERNATIONAL RESIDENTIAL CODE
 2021 - NATIONAL STANDARD PLUMBING CODE
 2021 - INTERNATIONAL ENERGY CODE

USE GROUP: R-5 - SINGLE FAMILY RESIDENTIAL
 CONSTRUCTION TYPE: 5B - COMBUSTIBLE UNPROTECTED

BUILDING CHARACTERISTICS:
 NUMBER OF STORIES: 2
 AREA LARGEST FLOOR: 1,090 SF
 NEW BUILDING AREA: XXXX SF
 VOLUME OF NEW CONSTRUCTION: XXXX CF
 TOTAL LAND AREA DISTURBED: XXXX SF

BUILDING CODE ANALYSIS
 ALLOWABLE HEIGHT: 2-1/2 STORIES

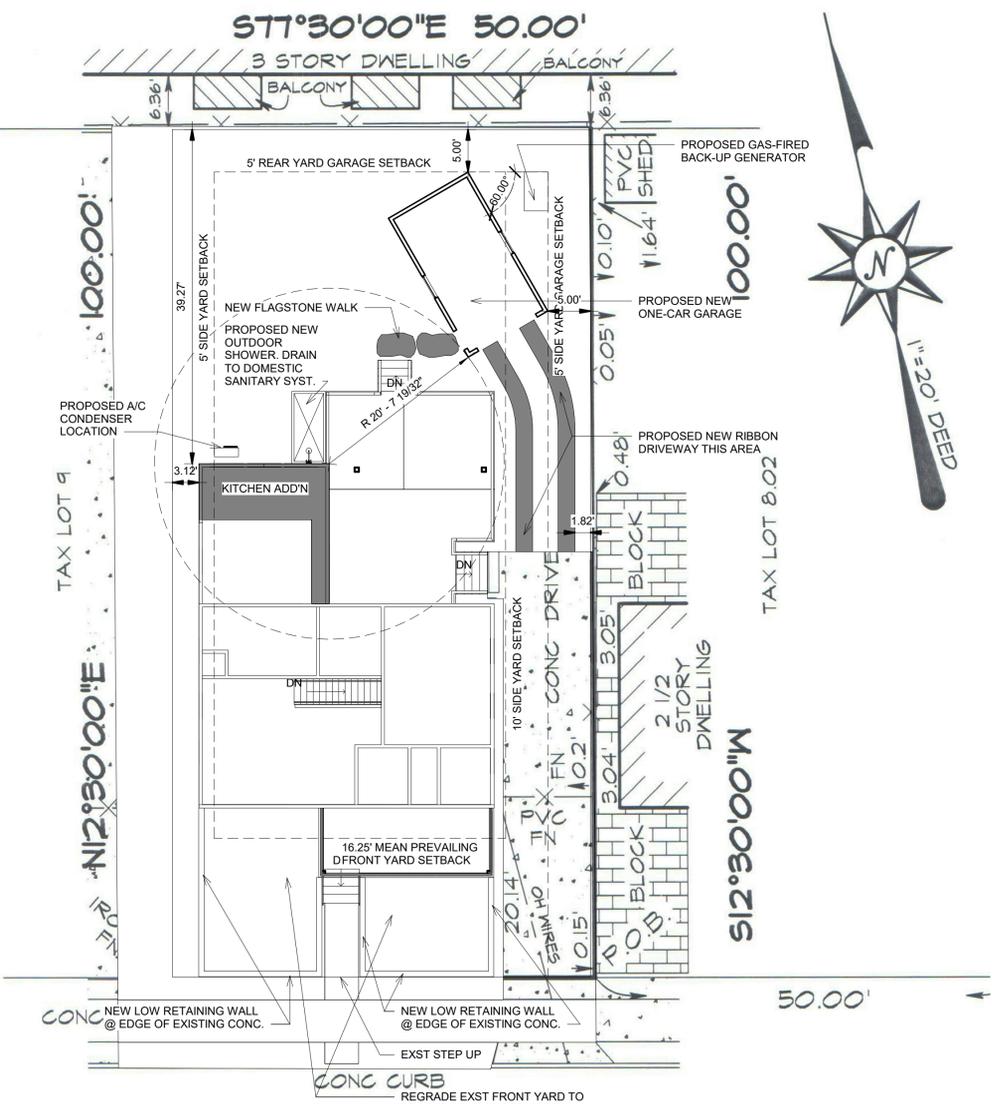
BLDG COVERAGE CALCULATIONS	EXISTING	PROPOSED
SHEDS	169 SF	0 SF
NEW GARAGE	0 SF	204 SF
HOUSE	972 SF	1,090 SF
FRONT PORCH	160 SF	160 SF
TOTAL	1,301 SF	1,454 SF

ZONE: R-1 SINGLE FAMILY RESIDENTIAL

BULK LIMITATIONS	REQUIRED	EXISTING	PROPOSED	VARIANCE
PRIMARY DWELLING	5,000 SF	5,000 SF	NO CHANGE	
MINIMUM LOT SIZE	80 FT	80 FT	NO CHANGE	
MINIMUM LOT DEPTH	100 FT	100 FT	NO CHANGE	
FRONT YD BUILDING SETBACK	17.24 FT. (AVERAGE)	19.95 FT.	NO CHANGE	
FRONT YD PORCH SETBACK	13.16 FT. (AVERAGE)	11.79 FT.	NO CHANGE	
MIN. SIDE YD SETBACK (EXST)	5 FT.	3.12 FT.	NO CHANGE	
MIN. SIDE YD SETBACK (ADDN)	5 FT.	3.12 FT.	NO CHANGE	X
OTHER SIDE YARD	10 FT.	11.6 FT.	NO CHANGE	
REAR YD SETBACK	26 FT.	30.98 FT.	NO CHANGE	
MAX. BLDG HEIGHT	35 FT.	19'-6"	28'-9"	
MAX. BLDG HEIGHT	2-1/2 STORIES	1-1/2 STORY	2 STORIES	
SIDE YARD TO EXIST DRIVEWAY	3 FT.	0.15 FT.	NO CHANGE	
SIDE YARD TO RIBBON DRIVEWAY	3 FT.	1.82 FT.	NO CHANGE	X
MIN. WIDTH OF DRIVEWAY	8 FT.	11.5 FT.	NO CHANGE	
MAX. WIDTH OF DRIVEWAY	12 FT.	11.5 FT.	NO CHANGE	
MAX. WIDTH OF APRON @ PROPERTY LINE	10 FT.	11.5 FT.	NO CHANGE	
MAX. WIDTH OF APRON @ CURB	12 FT.	14.4 FT.	NO CHANGE	
ACCESSORY STRUCTURE	5 FT.	6.75 FT.	5.0 FT.	
SIDE YARD	5 FT.	3.35 FT.	5.0 FT.	
REAR YARD	20 FT	30.25 FT	20.17 FT	
MIN. DISTANCE FROM PRIMARY	800 SF	85 SF	204 SF	
MAX. BUILDING AREA	15 FT.	7'-7" FT	15'-0"	
MAX. BLDG COVERAGE	(35%)1,750 SF	26.0% (1,301 SF)	29.1% (1,454 SF)	
MAX. IMPERV. COVERAGE	(60%)3,000 SF	64.4% (3,219 SF)	59% (2,949 SF)	
MIN. # PARKING SPACES	2	3	4	

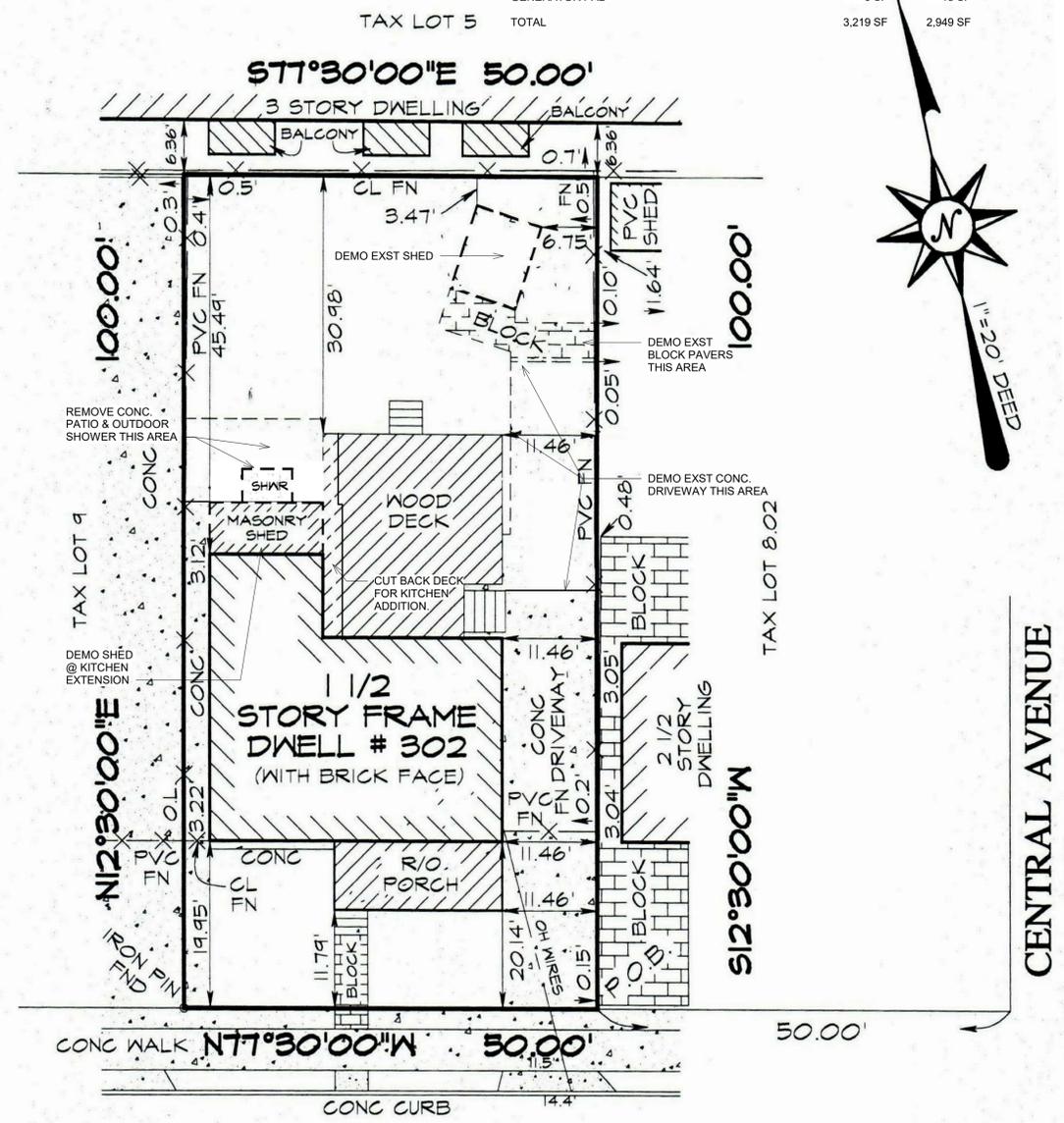
* PLEASE NOTE: EXISTING MINIMUM PORCH SETBACK IS TAKEN FROM SURVEY PLAT BY FP&L ASSOCIATES, DATED 6/19/2023. REQUIRED SETBACKS ARE TAKEN FROM FRONT YARD SETBACK ANALYSIS BY MICHAEL WILLIAMS, DATED 10-8-2023. THIS ANALYSIS SHOWS A SLIGHTLY GREATER EXISTING SETBACK AT THE OPPOSITE END OF THE PORCH.

IMPERVIOUS CALCULATIONS	EXISTING	PROPOSED
BUILDING COVERAGE	1,301 SF	1,454 SF
DRIVEWAY	1,020 SF	614 SF
NEW RIBBON DRIVEWAY	0 SF	106 SF
WALK AT WEST PROPERTY LINE	329 SF	205 SF
FRONT WALK	48 SF	48 SF
DECK	500 SF	452 SF
OUTDOOR SHOWER	21 SF	34 SF
NEW FLAGSTON WALK	0 SF	23 SF
GENERATOR PAD	0 SF	13 SF
TOTAL	3,219 SF	2,949 SF



PARK-PLACE AVENUE

1 PROPOSED SITE PLAN
1" = 10'-0"



PARK-PLACE AVENUE

3 PLOT PLAN WITH DEMO - LOT 8.01, BLOCK 16 (from survey by FP & L Associates, dated 2/13/23)
1" = 10'-0"



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Greenberg Add'n w/ Variance
 302 Park Place Ave.
 Tax Map Sheet #2, Lot 8.01, Block 16
 Bradley Beach, Monmouth County, NJ

REVISION		
No.	Description	Date
1	COMPLETENESS REVIEW	12/22/23

DRAWING
 Cover Sheet

DEC DRAWN BY As indicated SCALE	DEC CHECKED BY 9-27-23 ISSUE DATE
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A-0.0



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DRAWING
Foundation & 1st Floor Plan

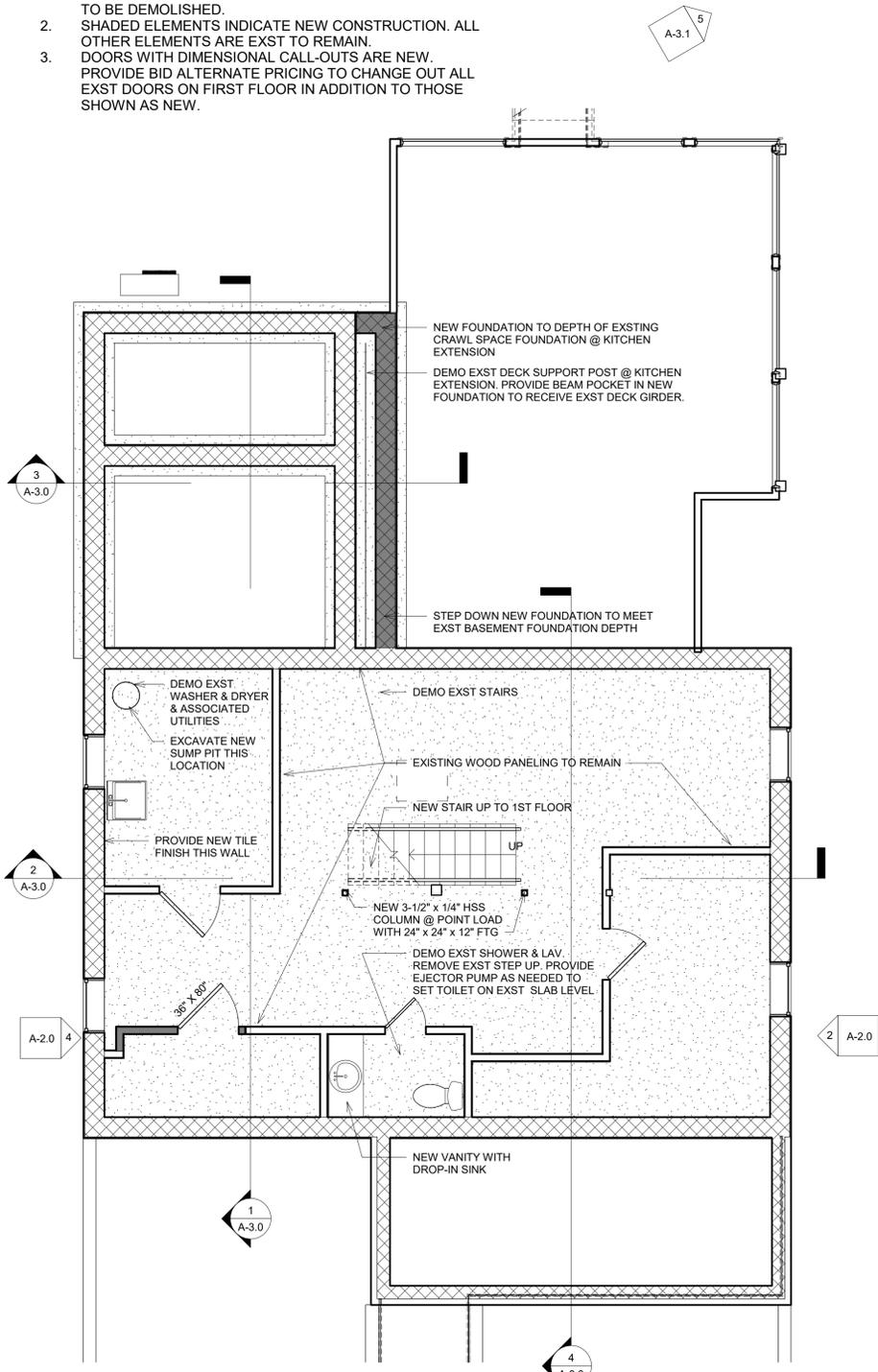
DEC DRAWN BY
 1/4" = 1'-0"
 SCALE

DEC CHECKED BY
 9-27-23
 ISSUE DATE

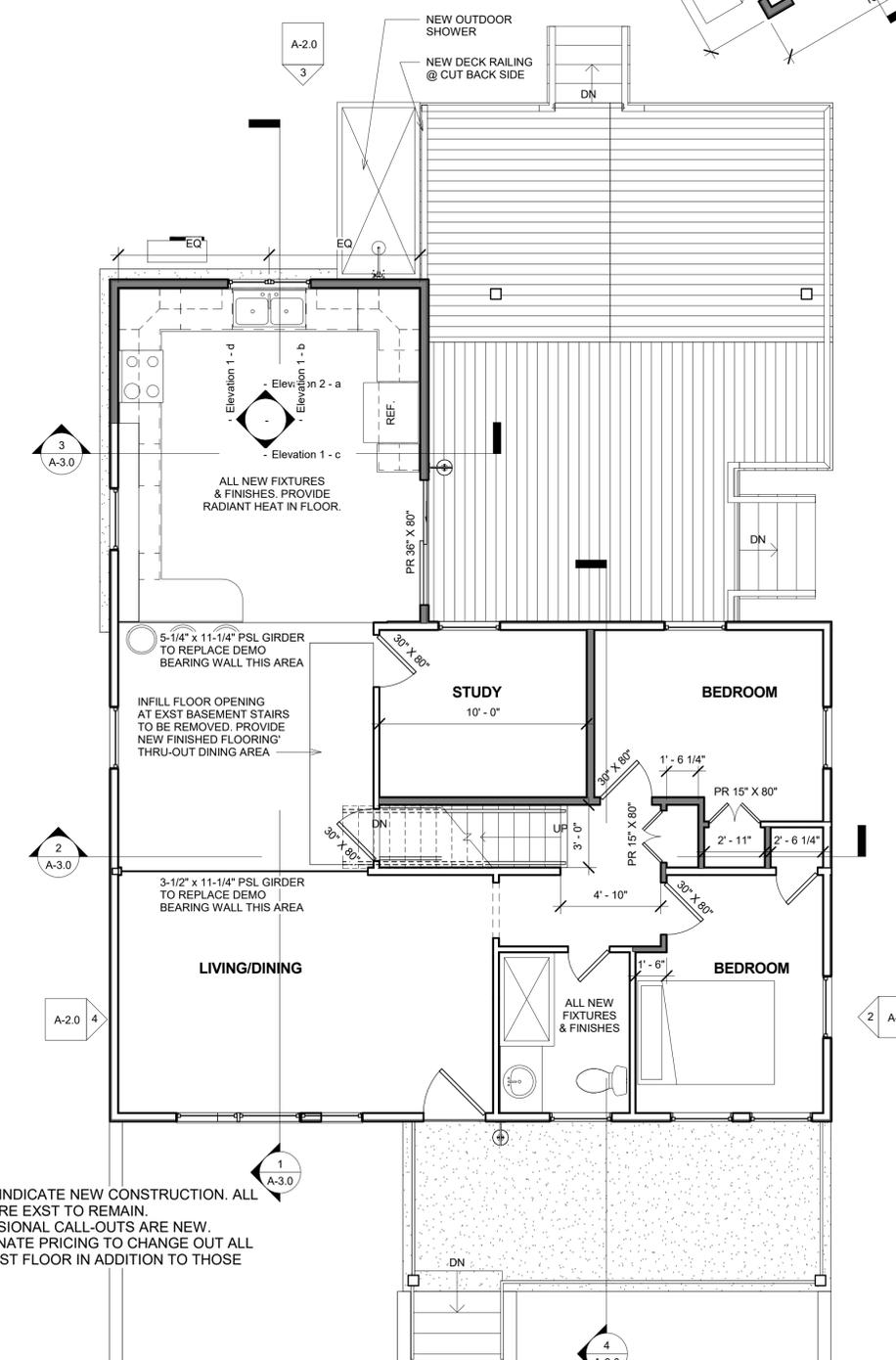
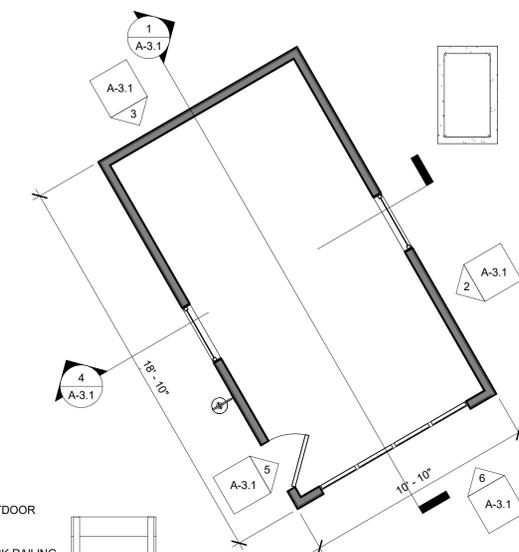
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NOTES:

- DASHED ELEMENTS INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED.
- SHADED ELEMENTS INDICATE NEW CONSTRUCTION. ALL OTHER ELEMENTS ARE EXST TO REMAIN.
- DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW. PROVIDE BID ALTERNATE PRICING TO CHANGE OUT ALL EXST DOORS ON FIRST FLOOR IN ADDITION TO THOSE SHOWN AS NEW.



2 BASEMENT FLOOR PLAN
 1/4" = 1'-0"



NOTES:

- SHADED ELEMENTS INDICATE NEW CONSTRUCTION. ALL OTHER ELEMENTS ARE EXST TO REMAIN.
- DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW. PROVIDE BID ALTERNATE PRICING TO CHANGE OUT ALL EXST DOORS ON FIRST FLOOR IN ADDITION TO THOSE SHOWN AS NEW.

1 1ST FLOOR PLAN
 1/4" = 1'-0"



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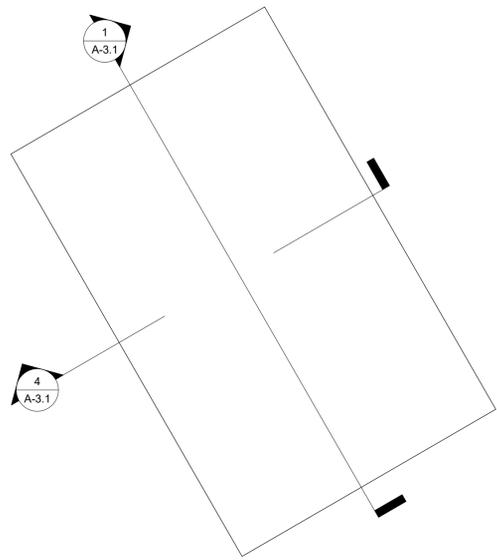
REVISION		
No.	Description	Date

DRAWING
 2nd Floor &
 Roof Plan

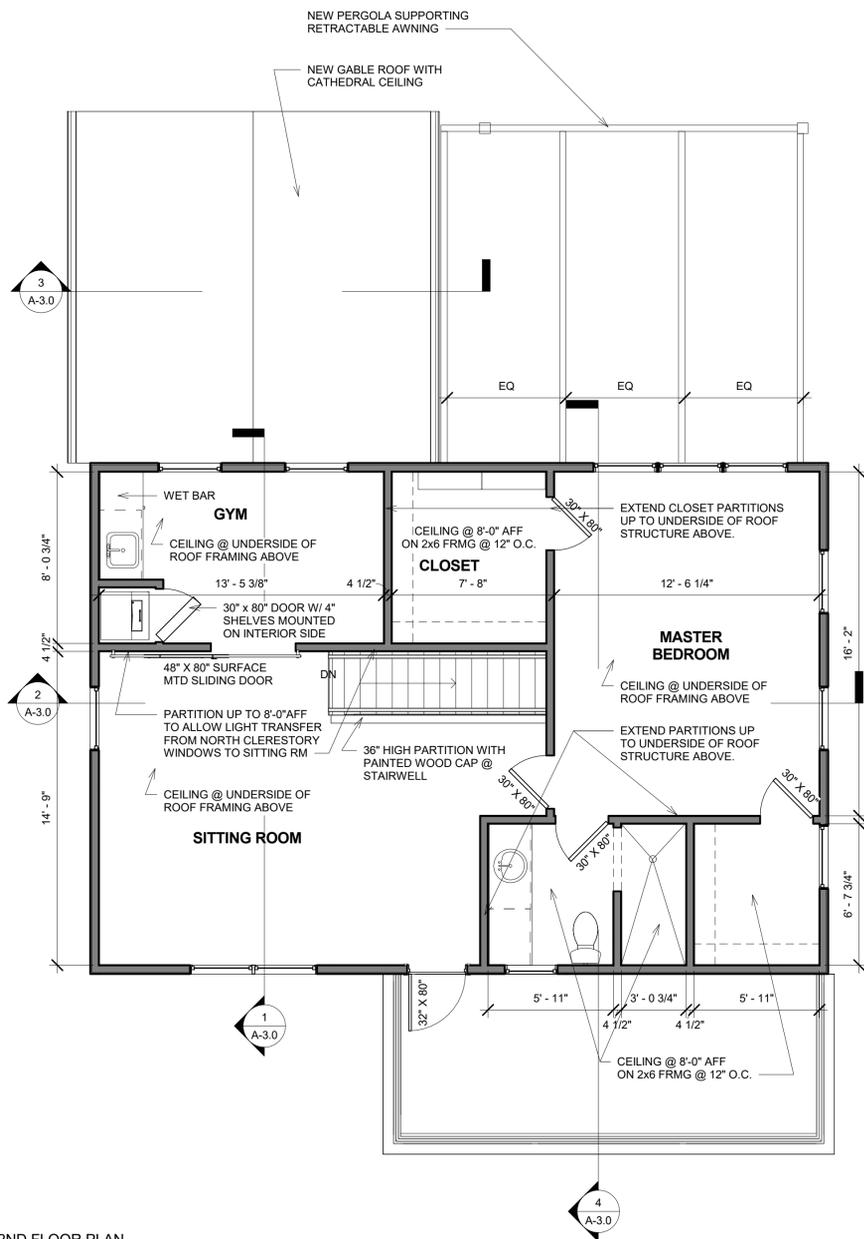
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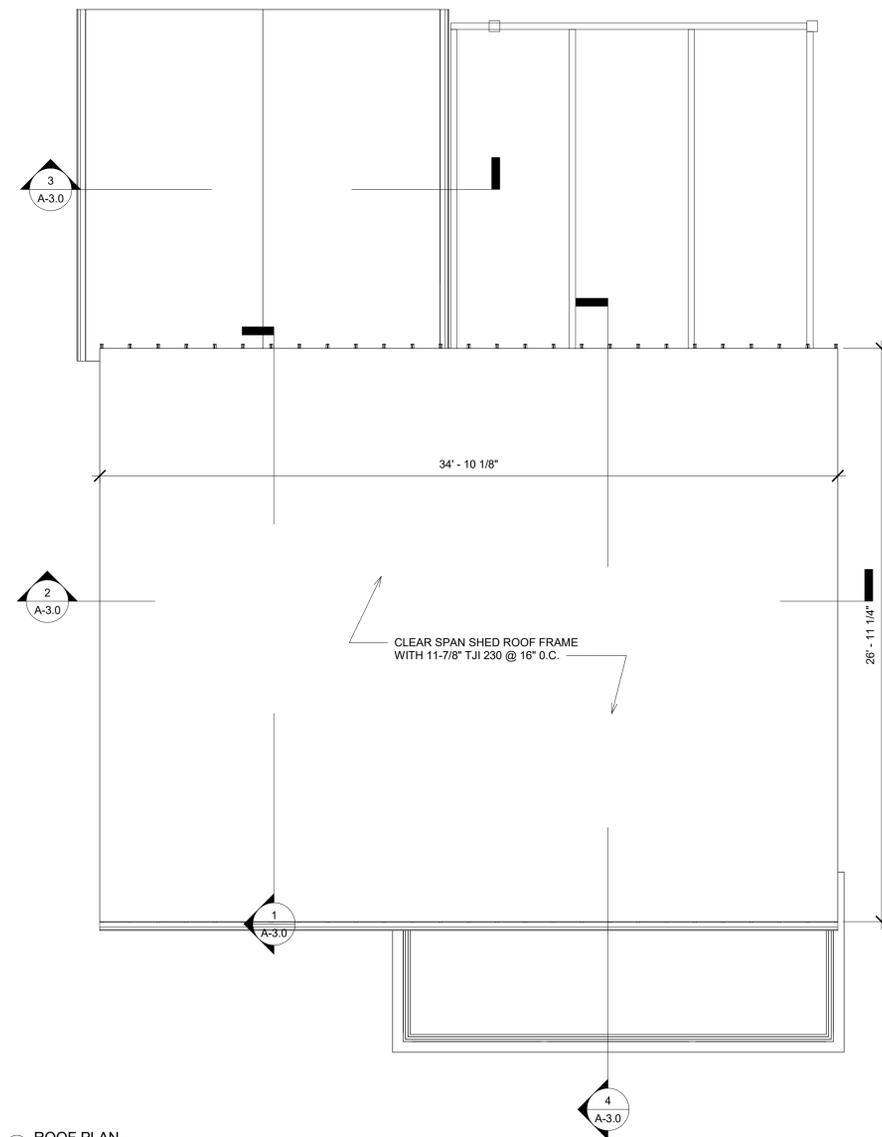
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- NOTES:
1. SHADED ELEMENTS INDICATE NEW CONSTRUCTION. ALL OTHER ELEMENTS ARE EXST TO REMAIN.
 2. DOORS WITH DIMENSIONAL CALL-OUTS ARE NEW.



① 2ND FLOOR PLAN
 1/4" = 1'-0"



② ROOF PLAN
 1/4" = 1'-0"

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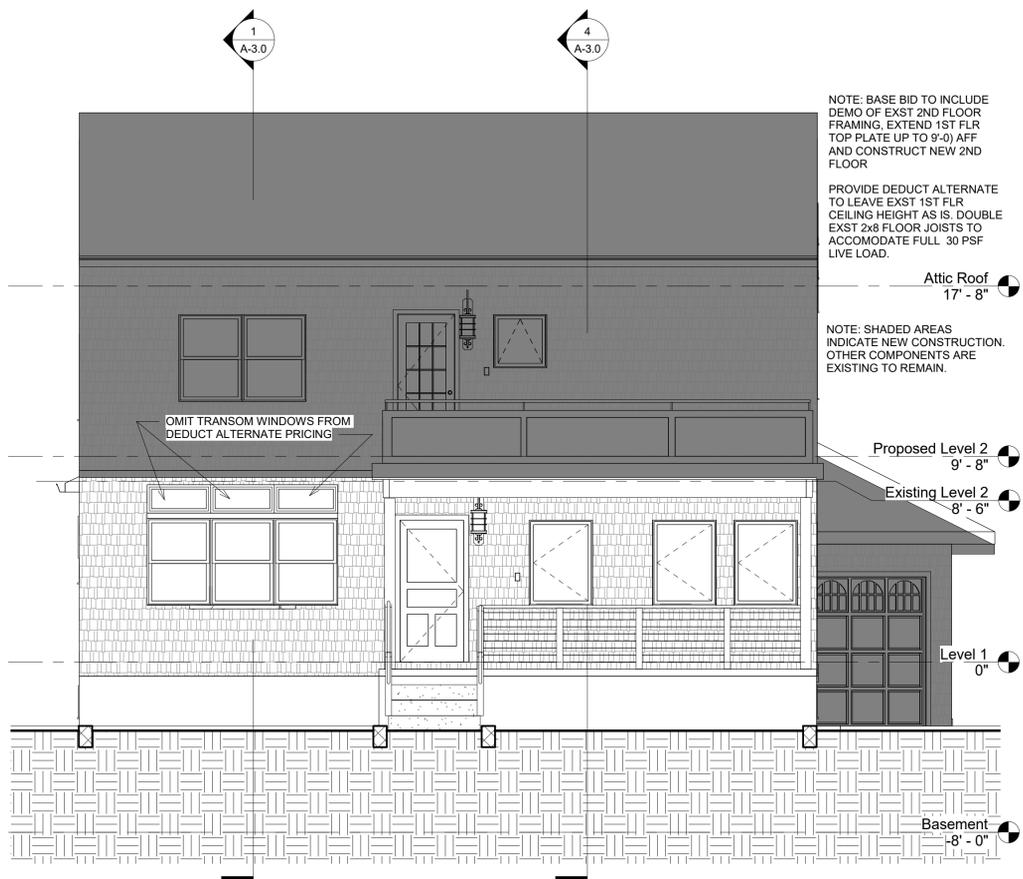
REVISION		
No.	Description	Date

DRAWING
Exterior Elevations

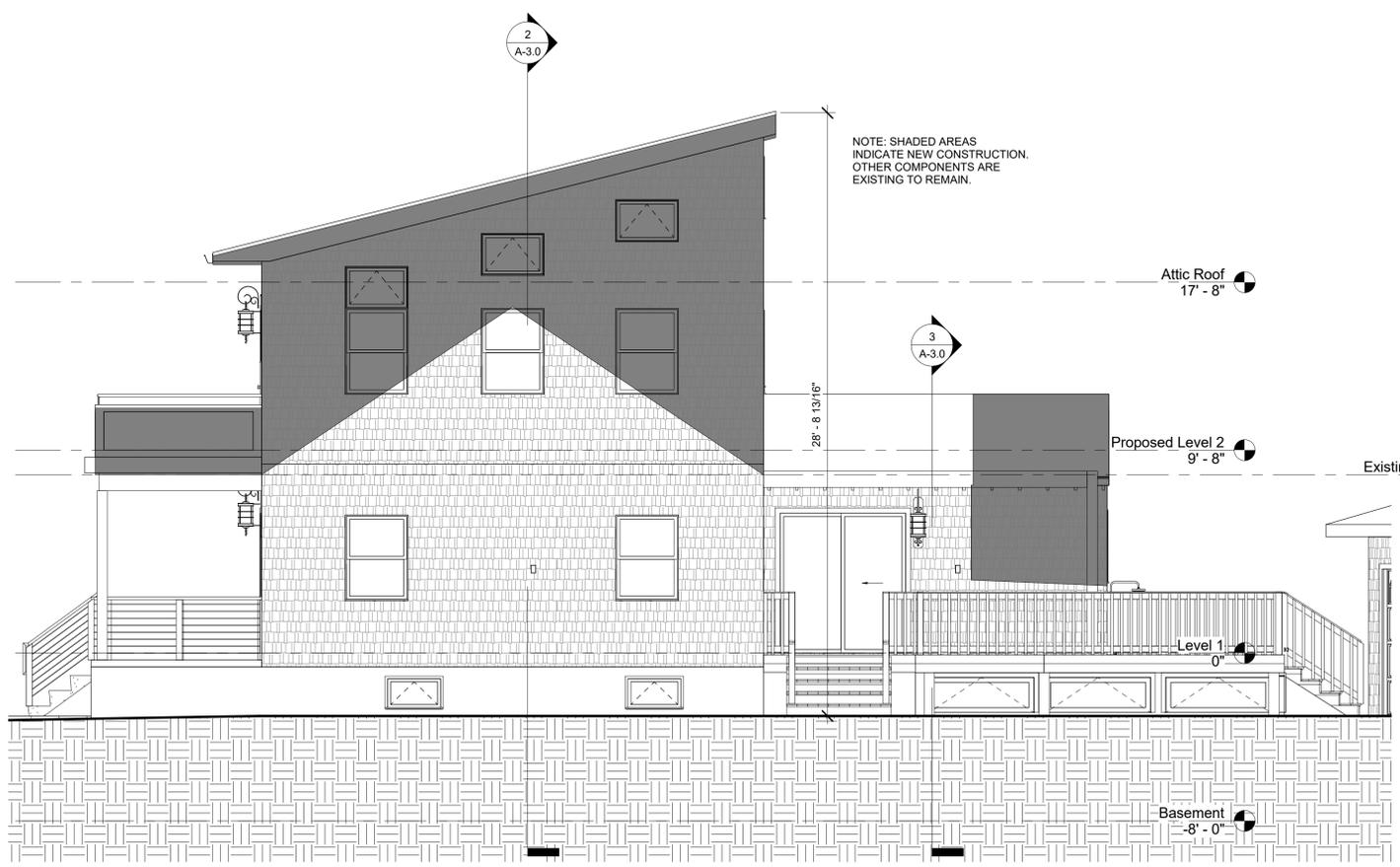
DEC DRAWN BY
1/4" = 1'-0"
SCALE

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9-27-23
ISSUE DATE

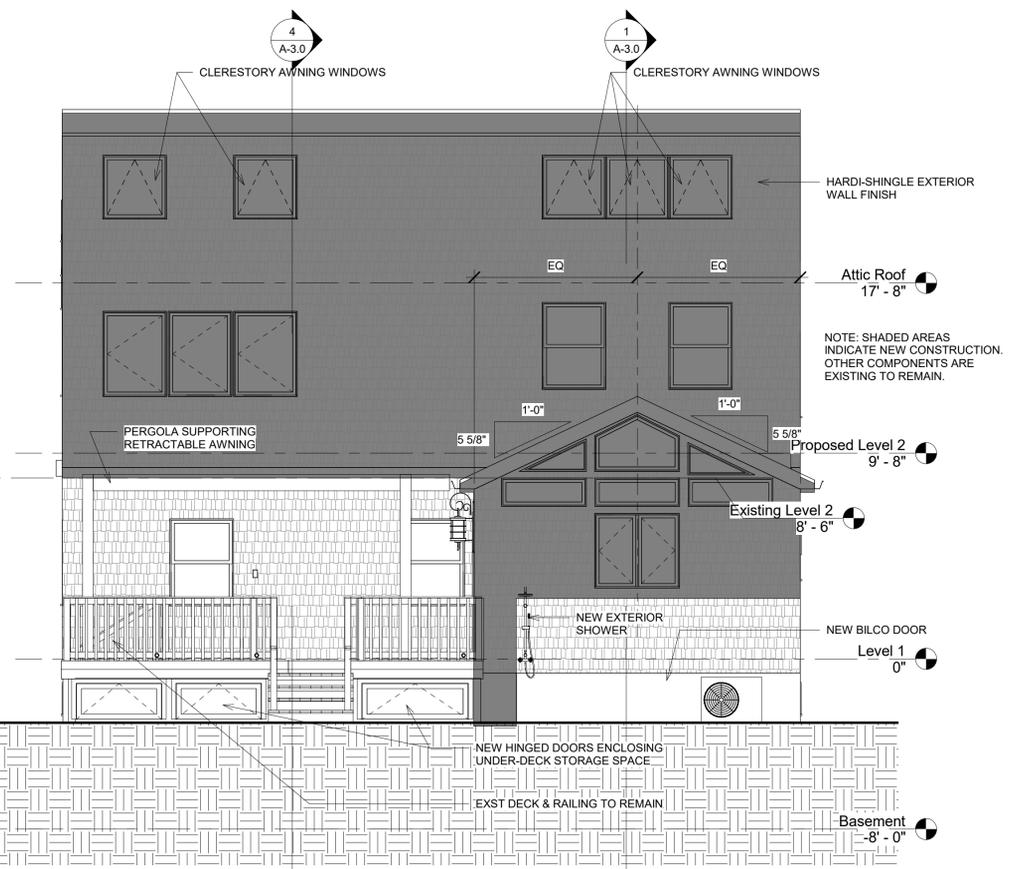
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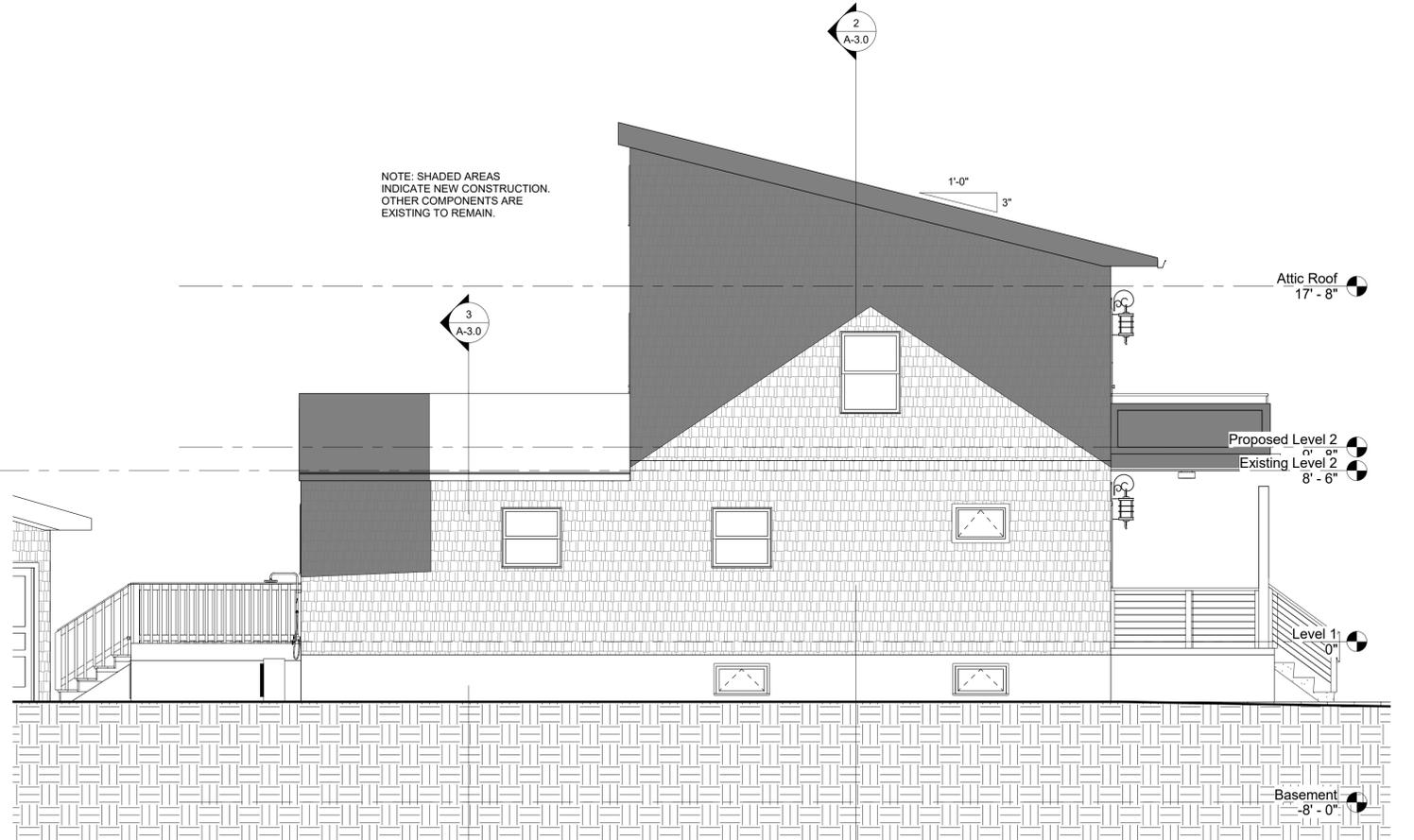
① SOUTH ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"



③ NORTH ELEVATION
1/4" = 1'-0"



④ WEST ELEVATION
1/4" = 1'-0"

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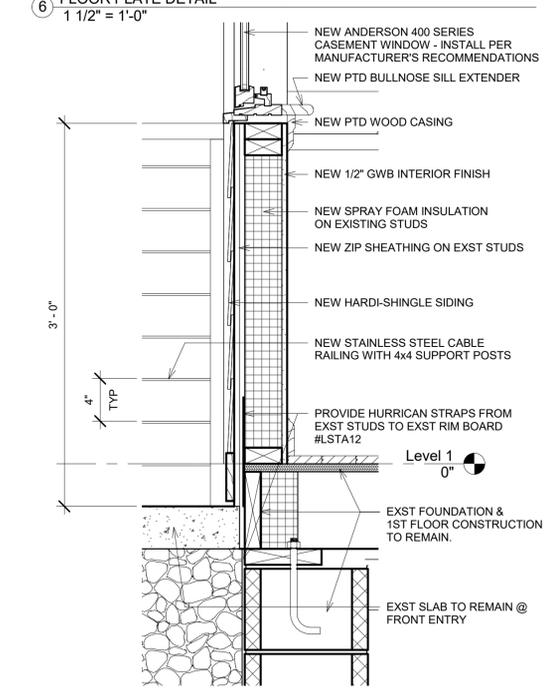
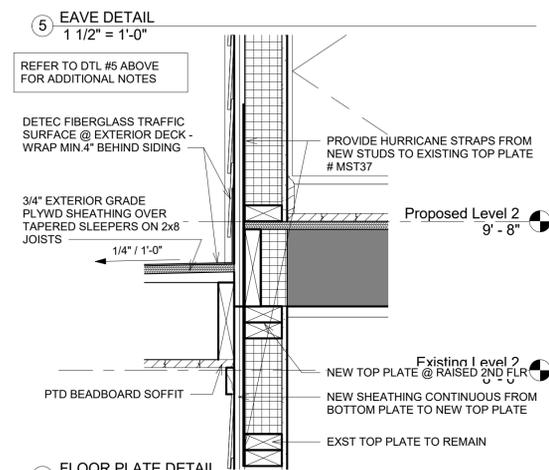
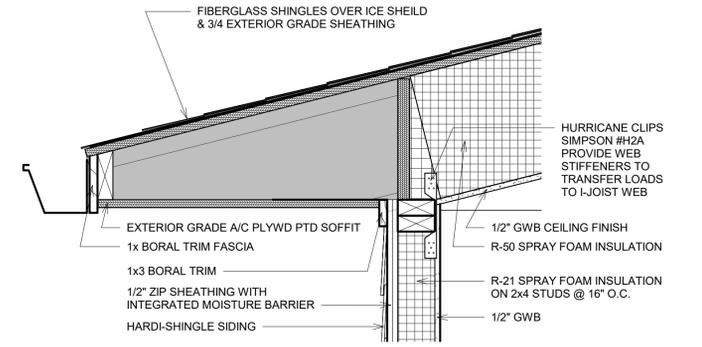
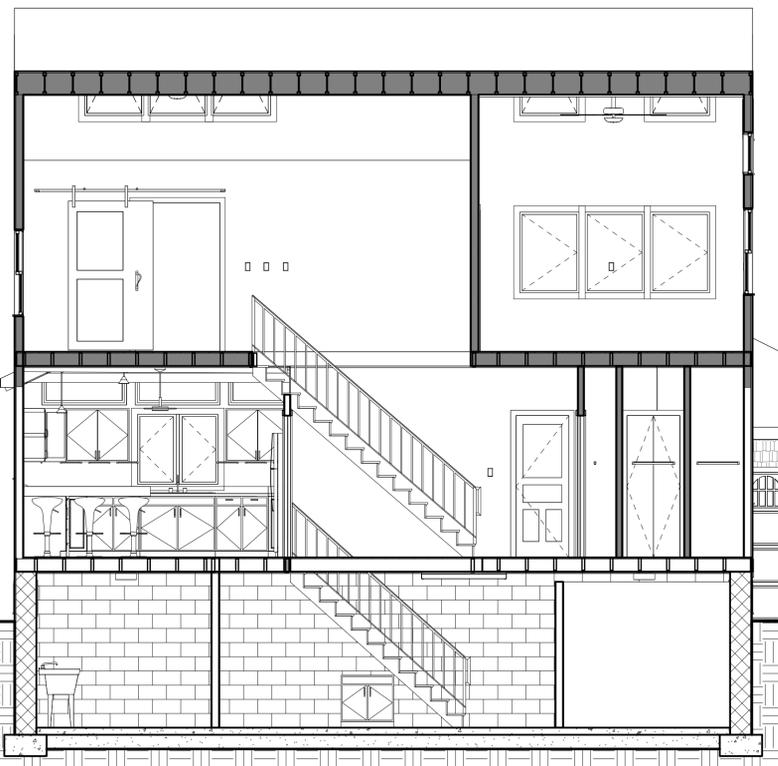
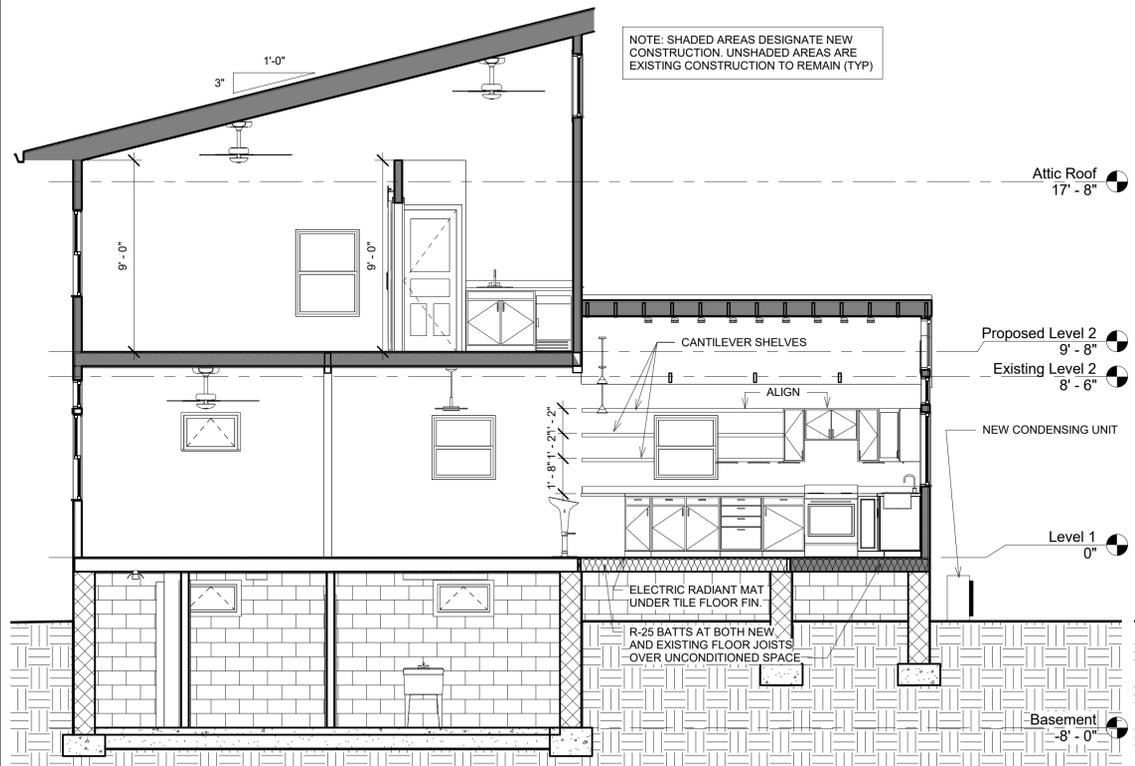
REVISION		
No.	Description	Date

DRAWING
Building Sections

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SCALE

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9-27-23
ISSUE DATE

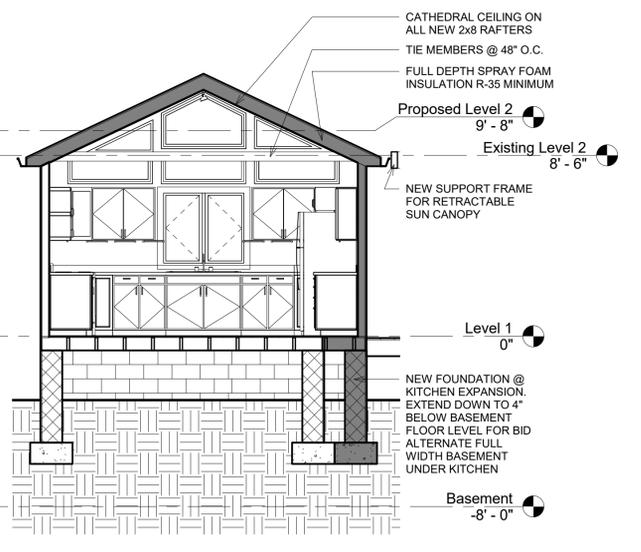
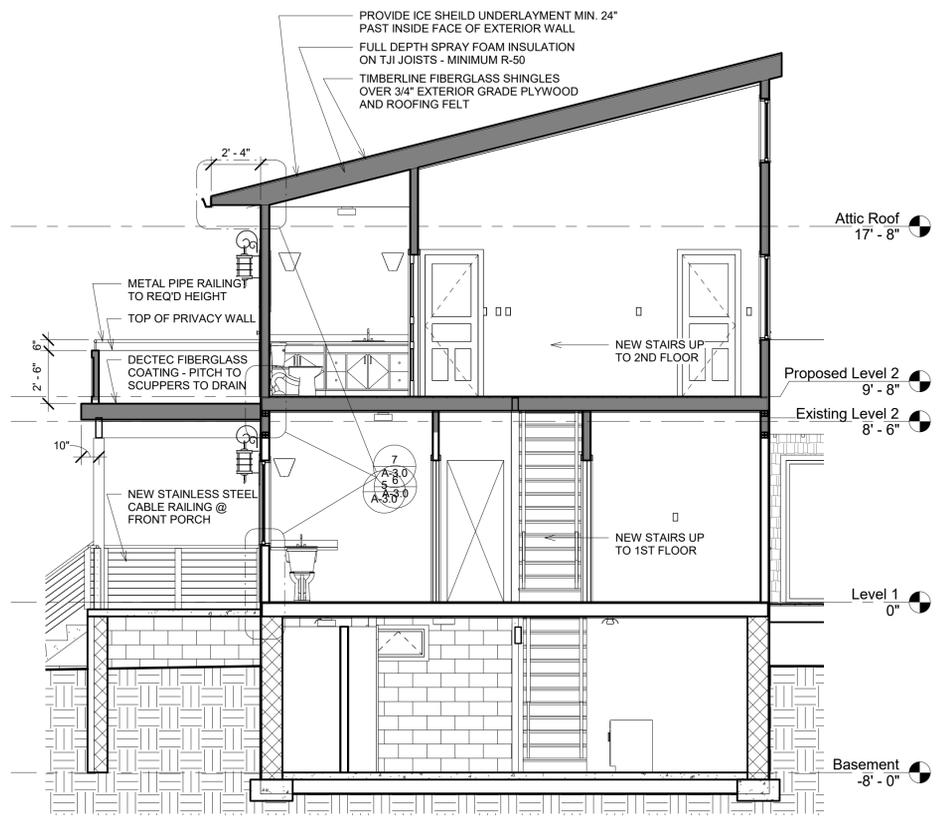
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1 CROSS SECTION @ MAIN HOUSE
1/4" = 1'-0"

2 LATERAL SECTION MAIN HOUSE
1/4" = 1'-0"

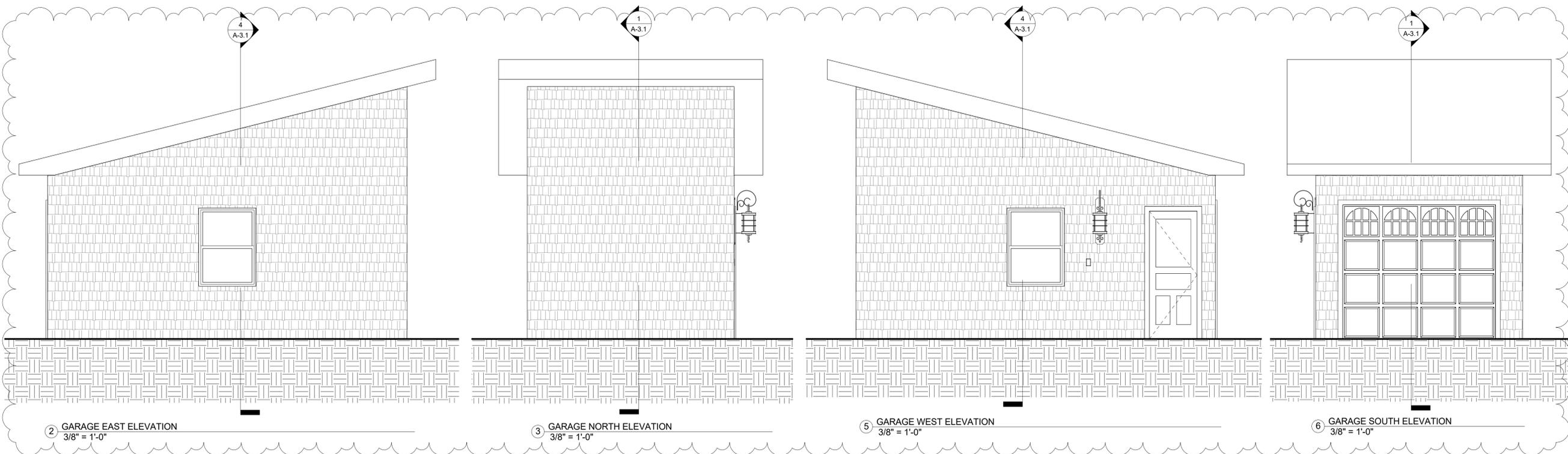
7 ENTRY PORCH DETAIL
1 1/2" = 1'-0"



4 CROSS SECTION MAIN HOUSE @ ENTRY
1/4" = 1'-0"

3 CROSS SECTION @ KITCHEN ADDITION
1/4" = 1'-0"

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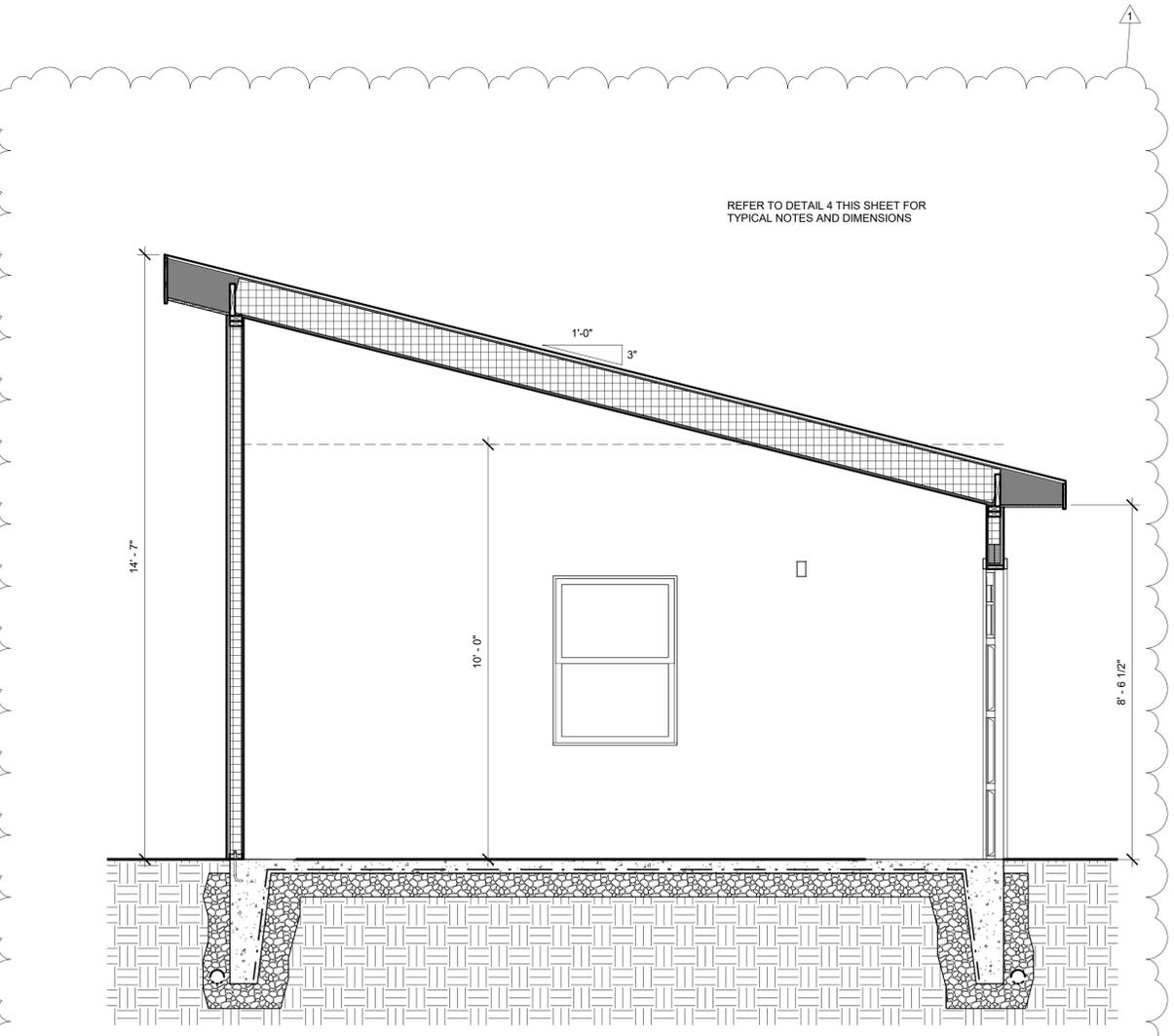


2 GARAGE EAST ELEVATION
3/8" = 1'-0"

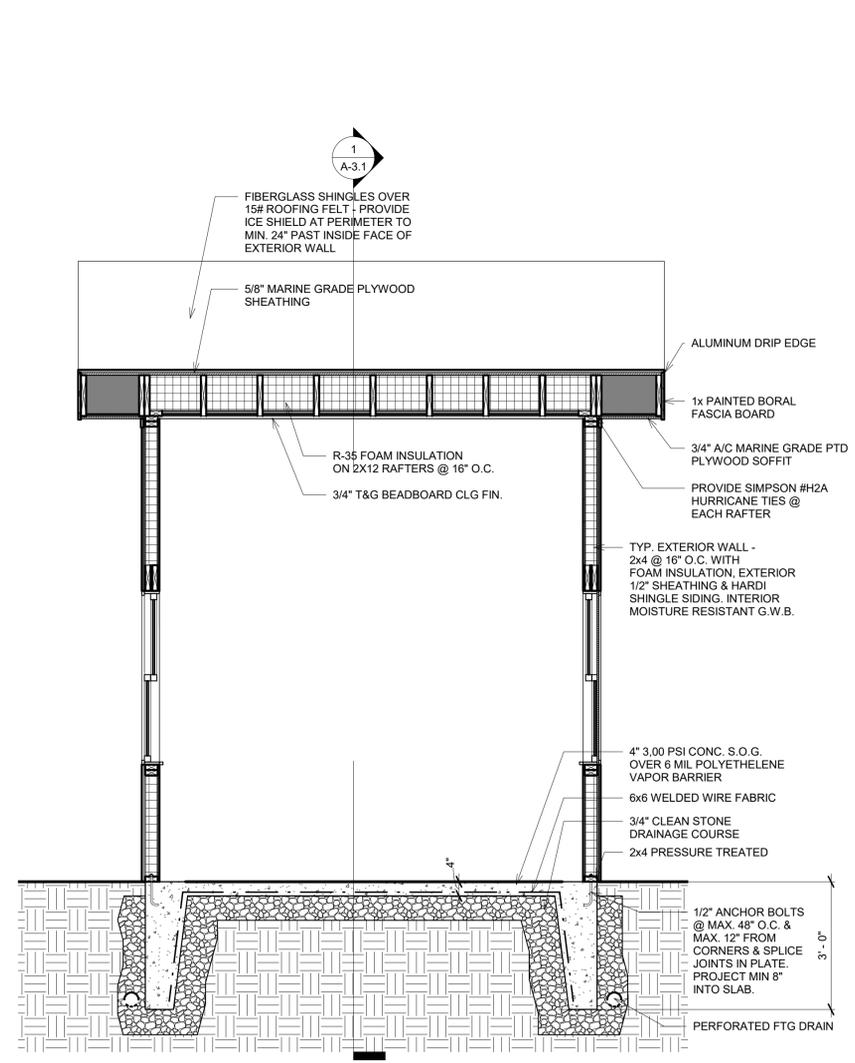
3 GARAGE NORTH ELEVATION
3/8" = 1'-0"

5 GARAGE WEST ELEVATION
3/8" = 1'-0"

6 GARAGE SOUTH ELEVATION
3/8" = 1'-0"



1 LONGITUDINAL SECTION @ GARAGE
1/2" = 1'-0"



4 CROSS SECTION @ GARAGE
1/2" = 1'-0"

REVISION		
No.	Description	Date
1	COMPLETENESS REVIEW	12/22/23

DRAWING
Garage Details

Author
DRAWN BY
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SCALE

Checker
CHECKED BY
9-27-23
ISSUE DATE



① FRONT PERSPECTIVE



② REAR PERSPECTIVE



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DRAWING
 Perspective Views

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	9-27-23
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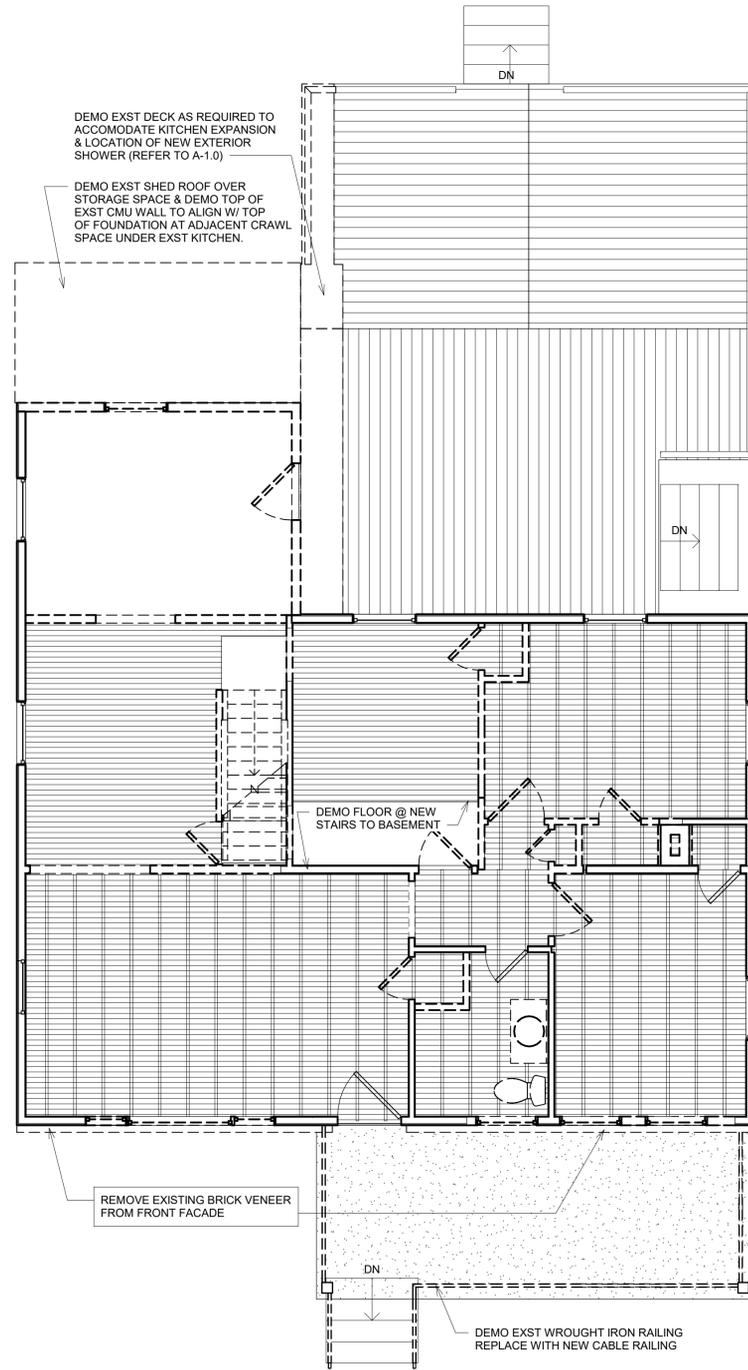
NOTE: REFER TO SHEET A-1.0 FOR DEPICTION OF BASEMENT DEMOLITION SCOPE OF WORK.



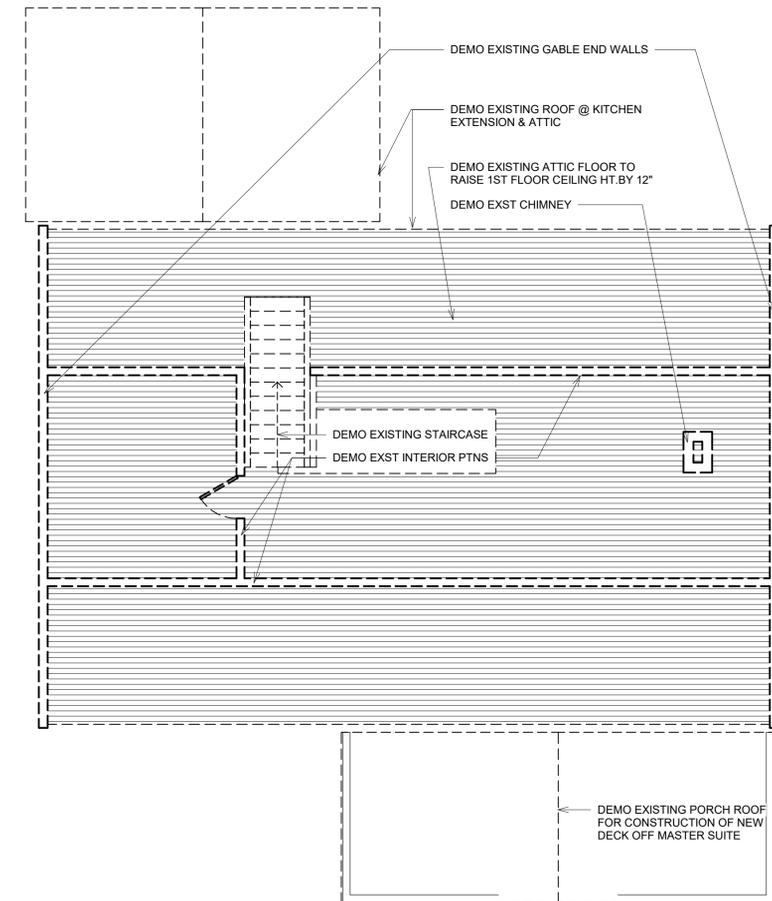
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① 1ST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



② 2ND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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DRAWING
Demolition Plans

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1/4" = 1'-0"
SCALE

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