

LEON S. AVAKIAN, INC. *Consulting Engineers*

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February 9, 2024

Borough of Bradley Beach  
Land Use Board  
701 Main Street  
Bradley Beach, NJ 07720

**Re: Greenberg Residence  
Block 16, Lot 18.01  
302 Park Place Avenue  
Borough of Bradley Beach  
Our File: BBPB 23-23**

Dear Chairman and Board Members:

Our office has received an application submitted for Board review in connection with the above-referenced project. Submitted with the application are the following:

- An architectural plan consisting of eight (8) sheets prepared by David E. Cohen, AIA of DEC Architect, dated September 27, 2023, with the latest revisions dated December 22, 2023.
- A survey consisting of one (1) sheet prepared by John W. Lord, P.L.S., of FP&L Associates, Inc., dated February 13, 2023, with no revisions.
- A setback study consisting of two (2) sheets prepared by Michael J. Williams, P.L.S., of Michael J. Williams Land Surveying, LLC, dated January 23, 2023, with the latest revisions dated October 6, 2023.

The application has been deemed COMPLETE. Our office has reviewed the plans to determine if they conform with the requirements of the Borough Ordinance and report as follows:

1. **Project Description**

- A. The existing lot has a 1 ½-story dwelling with detached sheds, driveway, front porch, and wood deck.
- B. The property is located on the north side of Park Place Avenue between Central Avenue and Madison Avenue (Lot 8.01, Block 16) with a total area of 5,000 square feet.

- C. The Applicant is removing the ½-story and both sheds in the rear yard. The Applicant is proposing a full second story and a 1-story addition at the rear of the dwelling with an outdoor shower. Also proposing a detached one (1) car garage and driveway extension.

2. **Zoning and Land Use**

- A. The property is located in the R-1 Residential Single-Family Zone and a single-family dwelling is permitted as a principal use in this zone.
- B. The proposed detached garage is a permitted accessory uses in this zone.
- C. The Applicant is requesting Board approval for variances on front yard setback to upper porch, side yard setback to addition, building separation, driveway setback, driveway width and others as described below.

3. **Variances and Waivers**

- A. An analysis of the bulk requirements for the R-1 District is as follows:

<b>Lot</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>
Minimum Lot Area	5,000 sf.	5,000 sf.	No Change
Minimum Lot Width	50 ft.	50 ft.	No Change
Minimum Lot Depth	100 ft.	100 ft.	No Change
Maximum Building Coverage	35%	26.0%	29.1%
Maximum Impervious Coverage	60%	64.4% (NC)	59%
Minimum On-site Parking	2 Spaces	2 Spaces	4 Spaces
<b>Principal Dwelling</b>			
Minimum Front Setback, Dwelling	17.24 ft. (Avg)	19.95 ft.	19.95 ft. (2 <sup>nd</sup> story)
Minimum Front Setback, Porch	13.16 ft.	11.74 ft.	No Change
Minimum Front Setback, Upper Porch	13.16 ft.	N/A	11.74 ft. (V)
Minimum Rear Setback, Dwelling	25.0 ft.	45.49 ft.	39.27 ft.
Minimum Side Setback	5 ft.	3.12 ft. (west)	3.12 ft. (west) (V)
	10 ft.	11.46 ft. (east)	No Change (east)
Maximum Building Height	35 ft.	19.5 ft.	28.75 ft.
Number of Stories	2- ½ Stories	1- ½ Stories	2 Stories
<b>Garage</b>			
Minimum Distance to Primary Structure	20 ft.	N/A	See comment below
Minimum Rear Setback	5.0 ft.	N/A	5.0 ft.
Minimum Side Setback	5.0 ft.	N/A	5.0 ft.
Maximum Garage Floor Area	800 sf.	N/A	204 sf.
Maximum Building Height	15 ft.	N/A	14.58 ft.
Minimum Driveway Setback	3 ft.	0. ft. (NC)	1.82 ft. (V)
Minimum Driveway Width	8 ft.	11.46 ft.	7.0 ft. (V)

(V) Variance

(NC) Existing Non-conformity

B. Bulk variances or existing non-conformities are indicated for the following items as noted:

- 1) In accordance with Section 450-13.A.(2), (Porch Setbacks), which states that for permitted residential structures a porch may extend 8 feet into the required front yard setback area, provided the principal structure conforms to the front yard setback requirement or by submission of the appropriate "Setback Averaging" plan as reflected in Ordinance 450-26.D.(7). A "Wrap-Around" porch may exceed the width of the existing or proposed structure, as long as it is in compliance with side setback requirements for the principal structure. The Applicant has provided the average setback map and indicates an average setback of 13.16 feet. The permitted average porch setback is 13.16 feet along Park Place Avenue. The existing front porch has a front setback of 11.79 feet, which represents an existing non-conformity.
- 2) In accordance with Section 450-13.B.(2), (Upper Porch Setbacks), which states that for permitted residential structures may extend 8 feet into the required front yard setback area, provided the principal structure conforms to the front yard setback requirement or by submission of the appropriate "Setback Averaging" plan as reflected in Ordinance 450-26.D.(7). A "Wrap-Around" Upper Porch on corner lots only may exceed the width of the existing or proposed structure, as long as it is in compliance with front yard setback requirements for the principal structure. The permitted average porch setback is 13.16 feet along Park Place Avenue. The Applicant is proposing an upper porch with a front yard setback of 11.79 feet. **A variance is required.**
- 3) In accordance with Section 450-26.D.(1)(e), which states that the minimum side yard setback permitted is 5 feet and 10 feet. The existing west side yard setback is 3.12 feet, which represents an existing non-conformity. The existing east side yard setback is 11.46 feet, which conforms.  
  
The Applicant is proposing a west side yard setback of 3.12 feet to the second-floor addition and the rear addition. **A variance is required.**
- 4) In accordance with Section 450-26.D.(1)(m), which states that the minimum distance from primary structure to the accessory structure is 20 feet. The Applicant is proposing 4 feet between the existing deck to the proposed detached garage. **A variance is required.**

- 5) In accordance with Section 450-41.A.(1), which states that the driveways and parking areas installed for one- and two-family dwellings shall be a minimum of eight feet in width inside the property lines and shall be located a minimum of three feet from a side lot line. The existing driveway width is 11.46 feet, which conforms. The Applicant is proposing a driveway width of 7 feet. **A variance is required.**

The existing driveway setback is 0 feet, which represents an existing non-conformity. The Applicant is proposing a setback of 1.82 feet. **A variance is required.**

- C. The Applicant is proposing the air conditioning condenser in the rear yard and complies with all setbacks.
- D. The Applicant is proposing a generator in the rear yard and complies with all setbacks.

4. **General Comments**

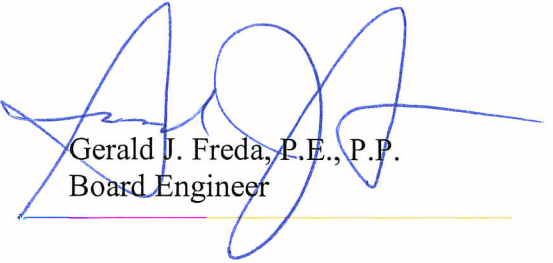
- A. The Applicant should provide testimony on the location and size of the detached garage.
- B. General Note should be added to the plan indicating the existing curb and sidewalk along the frontage will be replaced if found in poor condition.
- C. A General Note should be added to the plan indicating the planting area between the sidewalk and curb must remain natural grass.
- D. **Our office recommends the proposed roof drains should be piped to a pop-up emitter at the curb. A section of the pipe should be perforated pipe surrounded by stone.**
- E. The Applicant should provide information that taxes are currently paid.
- F. The Applicant shall secure any and all construction permits needed for the project.

Our office reserves the right to provide additional comments upon receipt of revised plans.

If you have any questions, or require additional information on this matter, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Gerald J. Freda, P.E., P.P.  
Board Engineer

DMH:mfl

cc: Kristie Dickert, Board Secretary  
Mark Kitrick, Esq., Board Attorney  
Christine L. Bell, P.P., A.I.C.P., Board Planner  
Jeffrey P. Beekman, Esq., Applicant's Attorney  
David E. Cohen, AIA, Applicant's Architect