

SCOPE OF WORK:

CURRENT OWNER OF AN EXISTING REAR COTTAGE OF A TWO FAMILY EXISTING LOT SEEK TO RENOVATE REAR COTTAGE AND ADD GARAGE TO FIRST FLOOR. RENOVATION PROPOSES MOVING THE RESIDENCE TO THE NEW SECOND FLOOR WITH A REDUCTION FROM 2 BEDROOMS TO ONE BEDROOM APARTMENT. REDUCTION IN BUILDING AREA BY 7%. REDUCTION IN IMPERVIOUS COVERAGE TO COMPLY WITH 60% COVERAGE. COMPLETE NEW EXTERIOR INSULATED WOOD FRAME BUILDING, NEW SLAB ON GRADE, NEW FOOTINGS ON EXISTING LOT COVERAGE AREA.

1. ALL MAJOR ITEMS OF WORK ARE LISTED OR SPECIFIED. ITEMS NOT LISTED OR SPECIFIED, BUT IMPLIED OR NOTED ON OTHER DRAWINGS, ARE HEREBY INCLUDED IN THE SCOPE OF WORK.
2. NEWSTRUCTURAL COMPONENTS, INSULATION AND FINISHES.
3. NEW MILLWORK, ARCHITECTURAL WOOD WORK AND CABINETRY.
4. NEW BATHROOM FIXTURES IN NEW LOCATIONS.
5. NEW PLUMBING FIXTURES, FITTINGS, EQUIPMENT AND RELATED FINISHES AND KITCHEN WITH MODIFIED LAYOUT.
6. NEW WINDOWS AND ENTRY DOORS TO BE ENERGY COMPLIANT.
7. MECHANICAL WORK TO INCLUDE SPLIT AIR SYSTEMS.
8. NEW ELECTRICAL SERVICE TO INCLUDE CAR CHARGER IN GARAGE.

GENERAL CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR FORMULATION, DOCUMENTING, AND CARRYING OUT SOIL EROSION AND SEDIMENTATION CONTROL PLANS WHICH SHALL INCLUDE PROVIDING AND MAINTAINING OF SWALES, DIVERSIONS AND FILTERS N HE CONSTRUCTION AREA AND AROUND THE WORK SITE TO PREVENT SOIL EROSION AND SEDIMENTATION PROBLEMS.

2. CONNECTIONS- ALL NAILED CONNECTIONS TO COMPLY WITH THE FASTENER SCHEDULE TABLE 602.3(1) - 602.3(5) OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER SCHEDULE AND/OR MANUFACTURERS RECOMMENDED SPECIFICATIONS AND/OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER IS MORE STRINGENT UNLESS NOTED OTHERWISE.

3. WOOD CONNECTORS - ALL WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE CO. INC. OR ALTERNATE AS APPROVED BY THE ARCHITECT. ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 316L STAINLESS STEEL. THE SUBSTITUTION OF SIMPSON ZMAX GALVANIZED (G135) CONNECTORS AND FASTERNERS SHALL ONLY BE ALLOWED UPON BOTH SIMPSON'S AND THE LOCAL CONSTRUCTION CODE OFFICIAL'S APPROVAL BASED ON THE CONTRACTOR'S SUBMISSION OF THE SPECIFICATIONS OF THE PRESSURE TREATED WOOD TO BE USED N THE PROJECT. .

4. WALL BRACING - WALLS SHALL BE BRACED IN ACCORDANCE WITH R602.10. THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH R602.103, METHOD 3.

5. CUTTING AND NOTCHING: NO NOTCHING OF WOOD BEAMS, JOISTS, RAFTERS, OR STUDS IS ALLOWED UNLESS THE CUTTING OR NOTCHING COMPLIES WITH THE ALLOWED FIGURES R502.8, R602.6(10 & R602.6(2)). IF TJI FLOOR JOISTS ARE USED, CUTTING AND NOTCHING IS ONLY ALLOWED PER THE MANUFACTURER'S RECOMMENDATIONS. CUTTING AND NOTCHING OF ENGINEERED LUMBER IS ALLOWED ONLY PER THE MANUFACTURER'S RECOMMENDATIONS. .

6. WATER RESISTANT GYPSUM WALLBOARD: PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT WALLS AND CEILINGS OF BATHROOMS, POWDER ROOMS, AND LAUNDRY ROOMS.

7. EGRESS: BASEMENTS WITH HABITABLE SPACE AND EVERY BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR DIRECTLY TO HE EXTERIOR APPROVED FOR EMERGENCY EGRESS AND RESCUE AS PER SECTION R310. THE UNITS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.
A. SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
B. MINIMUM NET CLEAR OPENING OF 5.7 SF.
C. MINIMUM NET CLEAR OPENING HEIGHT OF 24"
D. MINIMUM NET CLEAR OPENING WIDTH OF 20"

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH RULES AND REGULATIONS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION THEREFORE.
2. ALL WORK MATERIALS SHALL COMPLY WITH THE NEW JERSEY BUILDING CODE.
3. ALL WORK SHALL COMPLY WITH THE APPLICABLE STANDARDS OF THE BUILDING OWNER.
4. ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD, TOGETHER WITH ALL JOB CONDITIONS PRIOR TO START OF CONSTRUCTION, & HE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
5. SCOPE OF WORK IS LIMITED TO THE AREAS SHOWN ON DRAWINGS.
6. GENERAL CONTRACTOR SHALL COMPLY WITH NEW JERSEY BUILDING CODE
7. ALL PARTITIONS SHALL BE NON-COMBUSTIBLE APPROVED TYPE WITH THE MINIMUM FIRE RATINGS SHOWN.

ENERGY CONSERVATION CODE:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW JERSEY §28-104.7.9 ENERGY CONSERVATION CODE. THE APPLICATION SHALL CONTAIN ALL INFORMATION REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE NEW JERSEY ENERGY CONSERVATION CODE. THIS INFORMATION SHALL INCLUDE SIGNED AND SEALED CONSTRUCTION DRAWINGS, INCLUDING ELECTRICAL DRAWINGS, TO THE EXTENT THAT THEY DEMONSTRATE SUCH ENERGY CODE COMPLIANCE [IN THE ENERGY ANALYSIS OR THE SUPPORTING DOCUMENTATION)], AS REQUIRED BY SUCH ENERGY CODE AND RULES.

FLOOD ZONE STATEMENT:

THIS PROJECT SITE IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

DRAWING LIST:

ARCHITECTURAL:

A-001	NOTES, DWG LIST, SYMBOLS, BLOCK AND LOT INFO
A-002	TAX MAP, SURVEY, AND KEYMAP
A-003	CONTEXT PHOTOS
A-010	SCHEDULES
DM-100	DEMOLITION PLANS, AND NOTES
Z-100	ZONING PLANS AND ANALYSIS. SURVEY, AREA BREAKDOWN
A-100	PROPOSED PLANS, AND NOTES
A-101	PROPOSED LIGHTING PLANS, AND NOTES
A-200	PROPOSED EXTERIOR ELEVATIONS
A-600	BUILDING DETAILS

LOT INFORMATION:

1. LOCATION	
1.1. OWNER	BRIAN DOWNEY
1.2. LOCATION	619 4TH AVENUE BRADLEY BEACH NJ
1.3. COUNTY	Monmouth County
1.4. BLOCK	60
1.5. LOT	3
1.6. ZONING:	R-1
1.7. BUILDING CLASS	17
1.8. PROPERTY CLASS	Residential (2)

CODE AND ZONING:

BUILDING TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING THE FOLLOWING:

1. INTERNATIONAL BUILDING CODE/2021, NJ ED.
2. NATIONAL STANDARD PLUMBING CODE/2021, NJ ED.
3. NATIONAL ELECTRICAL CODE (NFPA 70)/2020
4. INTERNATIONAL ENERGY CONSERVATION CODE/2021
5. INTERNATIONAL MECHANICAL CODE/2021
6. INTERNATIONAL RESIDENTIAL CODE/2021, NJ ED.
7. INTERNATIONAL FUEL GAS CODE/2021
8. ICC A117.1-2017 BARRIER FREE SUBCODE

PROJECT NOTES:

1. WATER & SEWER: EXISTING WATER SERVICE TO BE USED.

2. WEATHER BARRIER AND SIDING: ALL NEW EXTERIOR WALLS TO RECEIVE WEATHER BARRIER AND SIDING. WEATHER BARRIER SHALL BE BLUE SKIN WRAP (OR APPROVED EQUIVALENT), FLASHING, FLEX FLASHING, AND SEAM TAPE. SIDING SHALL BE VERTICAL HARDIE BOARD BOARD AND BATTEN. EXTERIOR FINISH ON EXPOSED FOUNDATION WALLS SHALL BE CEMENT PARGE, COORDINATION COLOR AND FINISH WITH ARCHITECT. INSTALL ALL WEATHER BARRIER AND SIDING PRODUCTS PER THE MANUFACTURERS RECOMMENDATIONS.

3. STONE VENEER: (IF APPLICABLE) AT AREAS SHOWN AS STONE VENEER, PROVIDE CULTURED STONE AS SELECTED BY ARCHITECT AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

4. ROOFING: GAF TIMBERLINE BIRCHWOOD SHINGLES

5. EXTERIOR TRIM: AZEK .

6. SOFFITS: PROVIDE VENTED AZEK SOFFITS AT ALL OVERHANGS. PROVIDE AIR VENT BAFFLES IN ROOF RAFTERS, SEE FIRE RATED DETAIL AT SOFFITS CLOSE TO PROPERTY LINES.

7. GUTTERS AND DOWNSPOUTS: ALUMINUM GUTTERS AND DOWNSPOUTS DRAIN AWAY FROM DWELLING.

8. INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION BAFFLES AS NECESSARY. PROVIDE R VALUES IN WALLS AND ROOFS PER ENERGY CODE COMPLIANCE .

9. INTERIOR DOORS: WOOD PAINTED 1 $\frac{3}{4}$ " SOLID CORE DOORS. ALL INTERIOR DOORS SHALL AVE NOMINAL HEAD HEIGHT F 7'-6" UNLESS OTHERWISE NOTED.

10. FINISH FLOORS: GARAGE FLOORING TO BE SEALED CONCRETE. SECOND FLOOR DWELLING TO BE 5" WHITE OAK T&G FLOORING. TILE IN BATHROOM.

11. BUILT IN MILLWORK AND SHELVING: SOLID OAK STAINED PER ARCHITECTS SAMPLES.

12. CLOSETS: AT ALL NEW COAT AND BEDROOM CLOSETS PROVIDE ROD(S) AND SHELVES AS SHOWN. AT ALL NEW PANTRY AND LINEN CLOSETS PROVIDE (5) SHELVES.

13. INTERIOR PAINT: PREP AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENJAMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH ARCHITECT.

SMOKE AND CO DETECTOR NOTES:

1. ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE TO ANY SLEEPING ROOM AND IN EACH SLEEPING ROOM, EITHER WALL OR CEILING MOUNTED AS INDICATED ON PLANS AND PER NFPA # ~~78~~ ⁷⁸ ~~80~~.
2. EACH DWELLING UNIT WILL BE EQUIPPED WITH BSA APPROVED CO DETECTING DEVICE RECEIVING PRIMARY POWER FROM BUILDING WIRING WITH NO SWITCH IN THE CIRCUIT.
3. REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE DEDICATED BRANCH CIRCUIT OR UNSWITCHED BRANCH OF POWER CIRCUIT ALSO USED FOR POWER AND LIGHTING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
4. SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE DETECTOR WILL ACTIVATE ALL THE DETECTORS IN INDIVIDUAL DWELLING UNIT .
5. EACH DETECTOR AND INTERCONNECTING WIRING SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISION OF NFPA 72.
6. SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, HALLS AND REQUIRED ROOMS.

Architectural Plans for Land Use Variance to Bradley Beach Land Use Board for 619 4th Ave(Block 60, Lot 3) Borough of Bradley Beach, New Jersey.

The Undersigned is the Owner of Block 60, Lot 3 (619 4th Avenue), Borough of Bradley Beach, New Jersey, delineated hereon and hereby consents to the Application and filing of this/these Plans.

Brian Downey

Sworn to and Subscribed before me by Brian Downey this _____ day of _____, 2023

Notary:

Approved by the Borough of Bradley Beach Land Use Board on _____, 2023.

Chairperson

Secretary

Board Engineer

619 4TH AVENUE
BRADLEY BEACH, NJ
07720

DRAWING SUBMITTAL DATES:

JULY 13, 2023 ZONING SUBMITTAL
NOV. 17 2023 VARIANCE SUBMITTAL
MAR. 14 2024 VARIANCE RESUBMIT

APPLICATION FOR LAND USE
VARIANCES:

1. NON CONFORMING LOT SIZE
2. LOT OVERLAP R1/GB

owner:

brian downey

619 4th Avenue
Bradley Beach, NJ 07720
C: 917.690.3614

architect:

c.wall architecture

276 Greenpoint Avenue #239
Brooklyn, NY 11222
O: 347.689.2652

57 Main Street, #4
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OFFICE@cwallarchitecture.com
O: 848.308.2378

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NOTES, BLOCK & LOT INFO,
SCOPE OF WORK, INSPECTIONS

Date: MARCH 14, 2024

Scale: NTS

Drawing:

A-001

619 4TH AVENUE
BRADLEY BEACH, NJ
07720



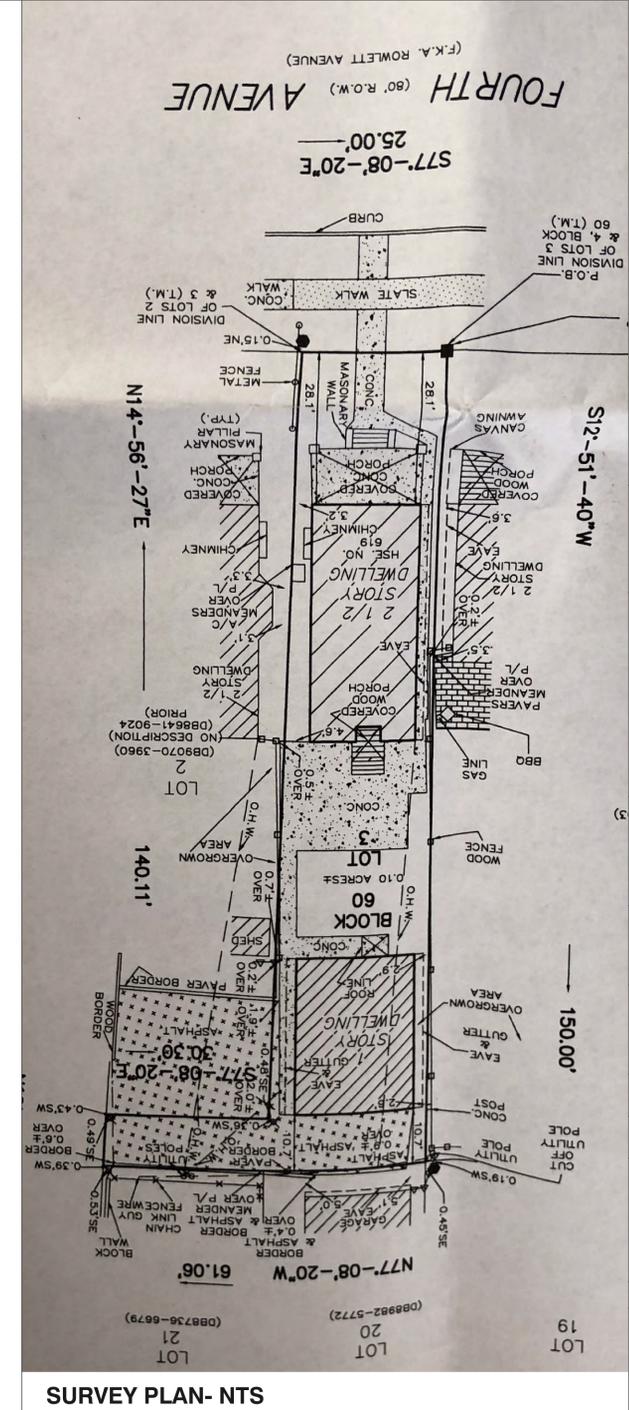
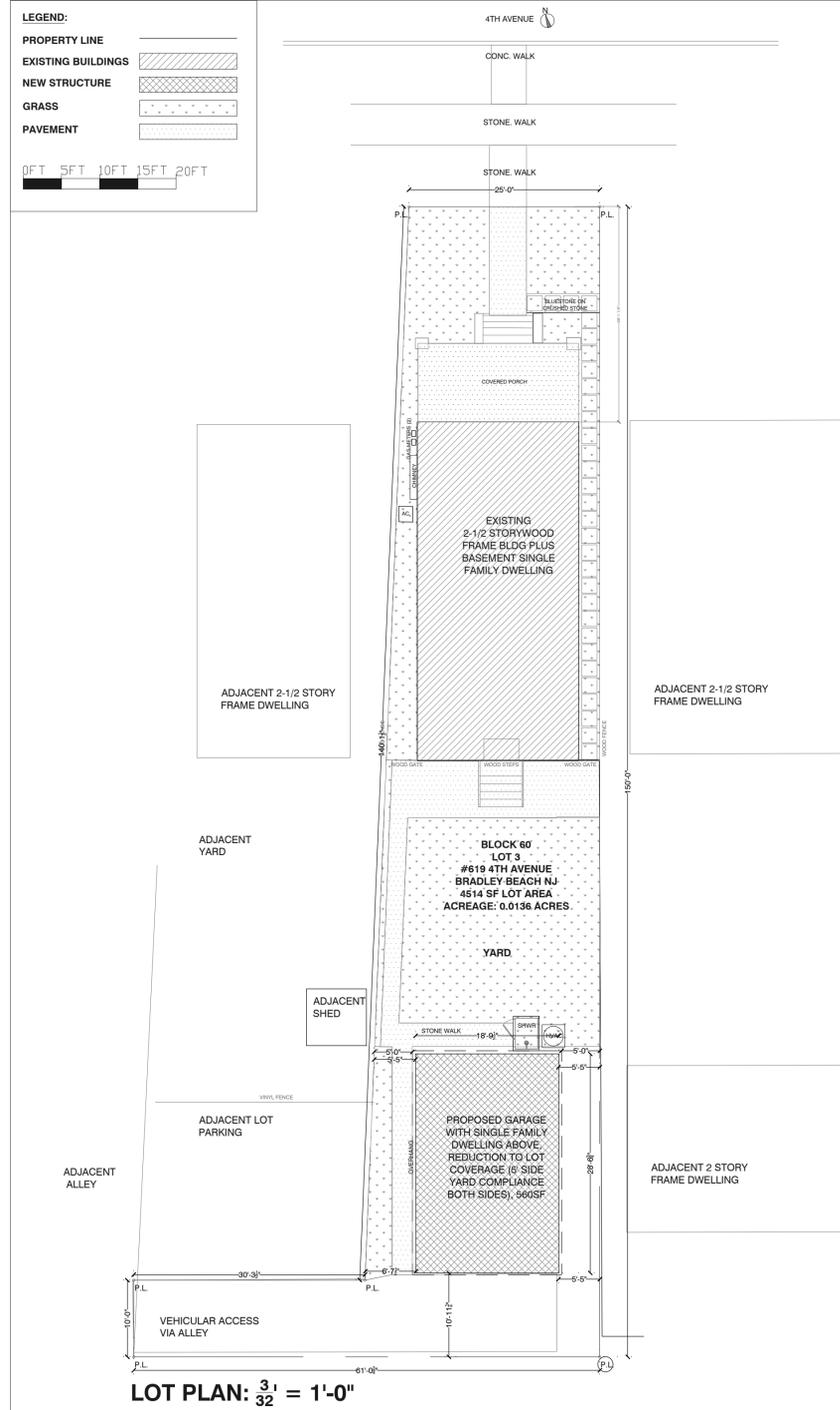
1 BRADLEY BEACH ZONING MAP WITH LOT OUTLINE

2 BLOCK AERIAL MAP WITH LOT OUTLINE

LEGEND:

- PROPERTY LINE
- EXISTING BUILDINGS
- NEW STRUCTURE
- GRASS
- PAVEMENT

0FT 5FT 10FT 15FT 20FT



KEY MAP: $\frac{1}{64}'' = 1'-0''$

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PLOT PLAN, SURVEY PLAN, KEY MAP, TAX MAP

Date: MARCH 14, 2024

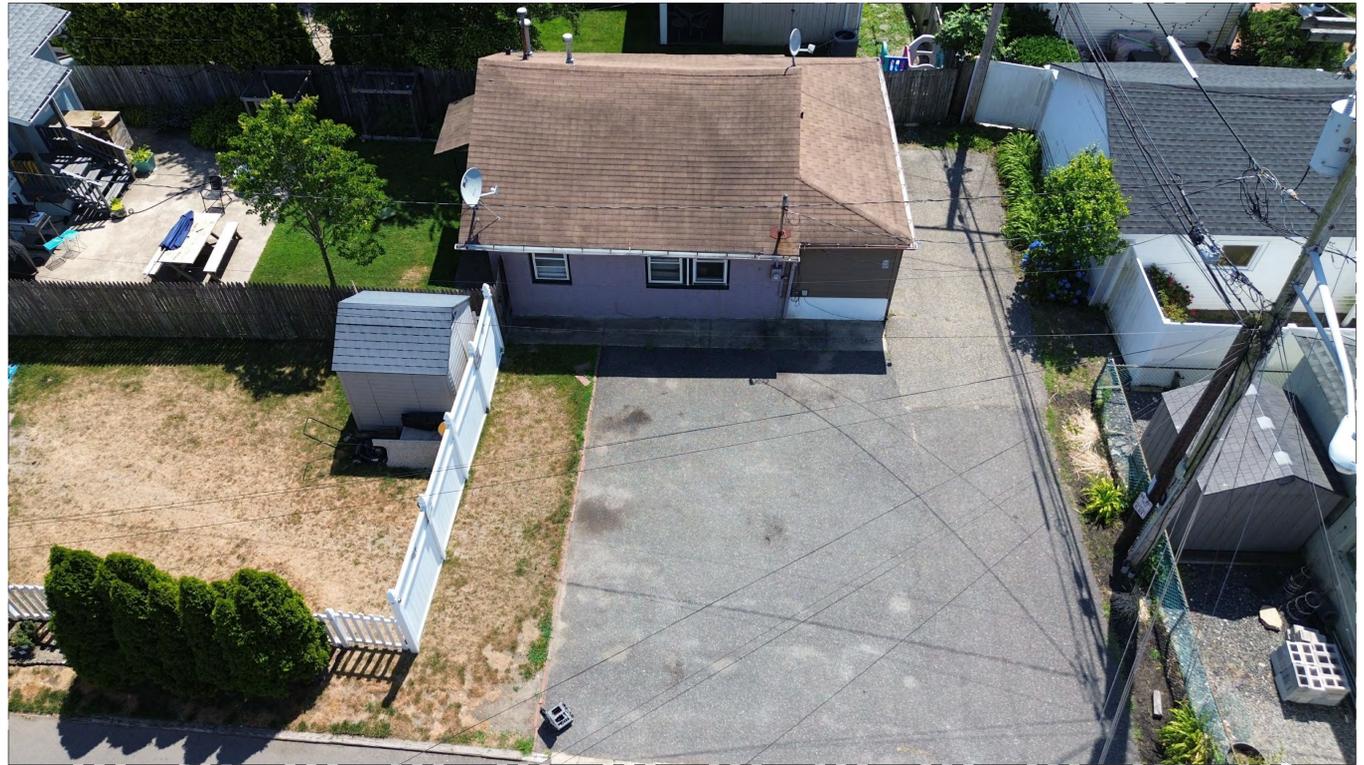
Scale: NTS

Drawing:
A-002

619 4TH AVENUE
BRADLEY BEACH, NJ
07720



EXISTING CONDITIONS



EXISTING CONDITIONS- AERIAL VIEW



PROPOSED RENDERING ON LOT



BACK HOUSE WITH CURRENT PARKING

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CONTEXT PHOTOS

Date: MARCH 14, 2024

Scale: NTS

Drawing:

A-003

[619 4TH AVE. BRADLEY BEACH, NJ] [MAY 24, 2023]
CONSTRUCTION DOCUMENT SUBMISSION (DRAFT)
PLUMBING FIXTURES:

TAG	DESCRIPTION	MANUFACTURER	MODEL #	OTHER	SIZE	QUANTITY
P1	KITCHEN 205 FAUCET	BRIZO	63065LF-SLLHP - Brizo Odin 1.8 GPM Single Hole Pul Down Kitchen Faucet with Square Spout - Less Handle	BRUSHED NICKEL (VERIFY)		1
P2	BATH 201 SHOWER STEAMER	MR STEAM	STEAM@HOME STEAM PACKAGE			1
P3	BATH 201 FAUCET	SUN VALLEY BRONZE	CS-WLF04/P-N925/K-901 - WALL MOUNT LAVATORY FAUCET	RAW WHITE BRONZE (VERIFY)		
P4	BATH 201 VANITY SINK	VIDA XL	Basin River Stone Oval		(14.6"-18.1") x (11.4"-14.2") x 5.9" (W x D x H)	1
P5	KITCHEN 205 SINK	BLANCO	442536 - Precis Undermount 30-in x 18-in Metallic Gray Granite Single Bowl Kitchen Sink		28 X 16 X 9.5	1
P6	BATH 201 SHOWER SET	KOHLER	TS14422-4-BV - PURIST	BRUSHED NICKEL (VERIFY)		
P7	BATH 201 TOILET	KOHLER	K-31539-0- VEIL WALL HUNG TOILET			
P12	OUTDOOR SHOWER	TBD				1

ACCESSORIES

MATERIAL I.D.	DESCRIPTION	MANUFACTURER	MODEL/TYPE	COLOR	SIZE	QTY
A1						
A2						
A3						

EQUIPMENT:

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL #	SIZE	QNTY	ELECTRICAL REQUIREMENTS
E1	WASHER / DRYER STACK	LG	WKEX200HWA - LG 27 in. Wash Tower with 4.5 cu. ft. Washer with 6 Wash Programs & 7.4 cu. ft. Electric Dryer with 6 Dryer Programs, Sensor Dry & Wrinkle Care - White	27" x 74 3/8" x 30 3/8"	1	
E3	UC REF/FREEZER DRAWER	KITCHENAID	KUDF204KSB	23-7/8" W X 24 D X 34-1/8" H	1	
E4	DISHWASHER	GE	PDT1455SLSS - GE Profile 18" Built-In Dishwasher with Top Control, 47 dBA Sound Level, 8 Place Settings, 3 Wash Cycles & Sanitize Cycle - Stainless Steel	17.75 W X 32.5 H X 22.5 D	1	
E6	CONCEALED HOOD	XO	XOI225C-XO 22 in. Standard Style Range Hood with 3 Speed Settings, 600 CFM, Convertible Venting & 2 LED Lights - Stainless Steel	20.6(w) X 11.2(h) X 11.5(d)	1	
E7	INDUCTION TOP	FRIGIDAIRE	FCI3027AB - Frigidaire 30 in. 4-Burner Induction Cooktop with Simmer Burner - Black	30.62" W X 21.37" D X 2.87" H		
E8	OVEN	FRIGIDAIRE	FCWS3027AB - Frigidaire 30" 5.3 Cu. Ft. Electric Wall Oven with Standard Convection & Self Clean - Black	29.87 W X 25.18 D X 28 H		
E9	TANKLESS WATER HEATER	GE	GE155NHPDG			
E10	CAR CHARGER		VERIFY SPEC			

LIGHTING:

FIXTURE NUMBER AND LOCATION	MANUFACTURER	MODEL #	FINISH	QNTY	ELECTRICAL REQUIREMENTS
L1	EXTERIOR WALL SCONCE	REJUVENATION	WAGNER 10 SCONCE		OIL RUBBED BRONZE
L2	GARAGE SURFACE MOUNTS	TBD			
L3	RECESSED LIGHT FIXTURES	TBD			
L5	BATH 201 SCONCE	TBD			
L6	CLOSET TAPE LIGHT	TBD			
L7	LIVING ROOM 203 PENDANTS	TBD			
L8	DINING 204 PENDANT	TBD			
L9	KITCHEN 205 ISLAND PENDANTS	TBD			

DOOR NUMBER AND LOCATION	OPENING WIDTH & HEIGHT	MANUFACTURER / SERIES	TYPE / MODEL # *CONFIRM ALL MODEL#S WITH ARCH PRIOR TO PURCHASE	COLOR	STYLE
W01	2'-6" W X 4'-0" H		CASEMENT		
W02	2'-6" W X 4'-0" H		CASEMENT		
W03	4'-1 1/4" W X 4'-0" H		GLIDING		
W04	4'-1 1/4" W X 4'-0" H		GLIDING		
W05	2'-6" W X 4'-0" H		CASEMENT		
W06	2'-6" W X 4'-0" H		CASEMENT		
W07	2'-6" W X 4'-0" H		CASEMENT		
W08	1'-7 1/8" W X 4'-0" H		GLIDING		
W09	4'-1 1/4" W X 4'-0" H		CASEMENT		
W10	2'-6" W X 4'-0" H		GLIDING		
W11	4'-1 1/4" W X 4'-0" H		GLIDING		
W12	4'-1 1/4" W X 4'-0" H		GLIDING		
W13	4'-1 1/4" W X 4'-0" H		GLIDING		
W14	4'-1 1/4" W X 4'-0" H		GLIDING		
W15	FL 02 KITCHEN 205 SKYLIGHT	MARVIN AWAKEN SKYLIGHT	FIXED		
W16	1'-8 1/2" W X 3'-0 5/8" H				

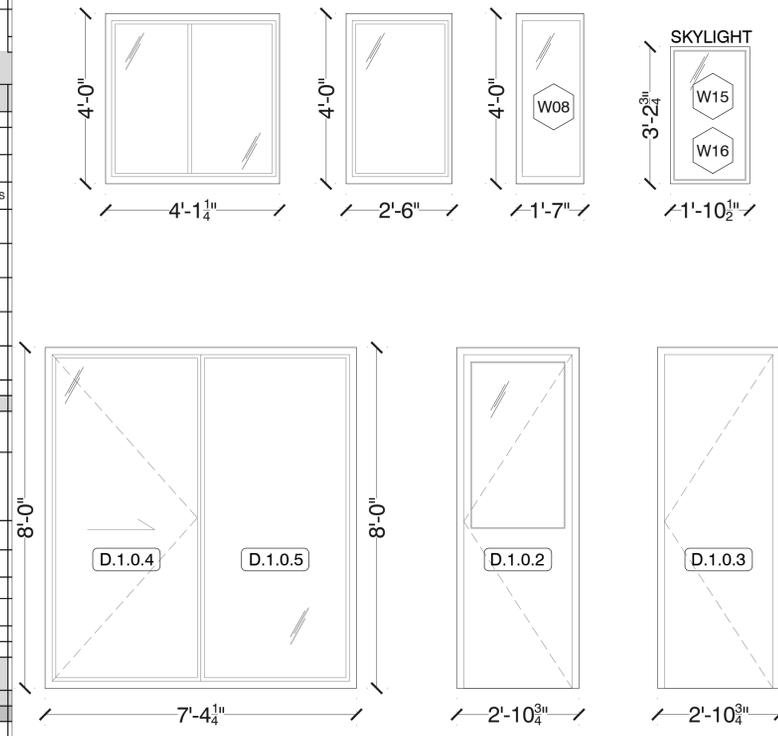
DOOR SCHEDULE:

DOOR NUMBER AND LOCATION	MANUFACTURER / OPENING WIDTH	HEIGHT	HARDWARE TYPE	MATERIAL	NEW DOOR TYPE
D01.0.1	TBD - 12'-6"	8'-0"		HORIZONTAL TEAK	
D1.0.2	EXTERIOR ENTRY DOOR ANDERSEN - 2'-10 5/8" W	8'-0"		UNFINISHED WOOD - CUSTOM PAINT	HALF GLASS / FLAT PANEL
D1.0.3	EXTERIOR LAWN MOWER CLOSET ANDERSEN - 2'-10 5/8" W	8'-0"		UNFINISHED WOOD - CUSTOM PAINT	HALF GLASS / FLAT PANEL
D1.0.4	EXTERIOR GLIDING GLASS DOORS ANDERSEN 100 SERIES - 7'-4 1/8" W	8'-0"		SANDSTONE	GLASS GLIDING DOORS
D2.0.1	FL 02 RESIDENTIAL ENTRY INTERIOR DOOR TRIMLITE - 1 PANEL - 2'-7" W	7'-0"			
D2.0.2	FL 02 BATHROOM 201 INTERIOR DOOR TRIMLITE - 1 PANEL - 2'-7" W	7'-0"			
D2.0.3	FL 02 BEDROOM 202 INTERIOR DOOR TRIMLITE - 1 PANEL - 2'-7" W	7'-0"			
D2.0.4	FL 02 W/D CLOSET DOUBLE DOOR TRIMLITE - 1 PANEL - 3'-6 1/8" W	7'-0"			
D2.0.5	FL 02 BEDROOM 202 CLOSET INTERIOR DOUBLE DOOR TRIMLITE - 1 PANEL - 2'-6 13/16" W	7'-0"			

HARDWARE SET	MANUFACTURER	MODEL #	SIZE	COLOR	OTHER
TYPE 1 SWING DOOR	NEW HINGES ON ALL INTERIOR DOORS WHERE NECESSARY	BALDWIN	9BR7024	3.5" x 3.5"	NICKEL
TYPE 2 POCKET DOOR	NEW DOOR KNOBS ON ALL INTERIOR DOORS, AS PER FUNCTION (PASSAGE, PRIVACY, DUMMY)	SCHOOLHOUSE	BERLIN CYLINDER KNOB	2.25" DIA. 2.5" x 2.5" backplate	NICKEL
TYPE 3 GARAGE DOOR	NEW FINGER PULL W/ LOCK MECHANISM	TBD	TBD	TBD	NICKEL

MATERIALS:

MATERIAL I.D.	DESCRIPTION	MANUFACTURER	MODEL/TYPE	COLOR/FINISH	SIZE	OTHER
EXTERIOR BUILDING MATERIALS						
M1	ROOF SHINGLES	GAF	TIMBERLINE HDZ / FIBERGLASS ASPHALT	DRIFTWOOD OR CHARCOAL? VERIFY		
M3	SIDING	HARDIE BOARD	VERTICAL	RICH ESPRESSO	48" L X 15.25" W X 0.25" THK; 6.976 EXPOSURE	
M4	TRIM	AZEK	TBD	TBD		
M5	FL 02 BATHROOM WALL, FLOOR, AND CEILING TILE	TILE CLUB	LAKE MINT		4X4	
	KITCHEN STONE OPT.					



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JULY 13, 2023 ZONING SUBMITTAL
NOV. 17 2023 VARIANCE SUBMITTAL
MAR. 14 2024 VARIANCE RESUBMIT

APPLICATION FOR LAND USE VARIANCES:
1. NON CONFORMING LOT SIZE
2. LOT OVERLAP R1/GB

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DOOR AND WINDOW SCHEDULES

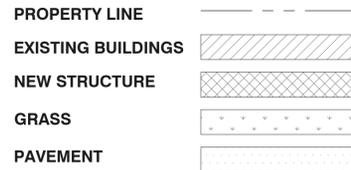
Date: MARCH 14, 2024

Scale: NTS

Drawing:

A-010

LEGEND:



ZONING DATA: R-1 ZONE **619 4TH AVENUE BRADLEY BEACH NJ 07720**

*With boundary line not conforming to property line: driveway to alley in GB zone 14-Mar-24

R-1 ZONE REGULATION CHART, EXISTING AND PROPOSED COMPARISON

PARAMETER	EXISTING	PROPOSED	COMMENT
LOT AREA	4514	4514	NO CHANGE
LOT WIDTH	25'	25'	NO CHANGE
LOT DEPTH	180'	180'	NO CHANGE
ACCESSORY BUILDING SETBACKS	EXISTING	PROPOSED	COMMENT
BETWEEN MAIN HOUSE AND BLDG	38'-3-1/2"	38'-3-1/2"	NO CHANGE
SIDE YARD 1	4'-1-1/2"	5'-0"	REDUCED TO CONFORM
SIDE YARD 2	3'-0"	5'-0"	REDUCED TO CONFORM
REAR YARD SETBACK	10'-11-1/4"	10'-11-1/4"	NO CHANGE
HEIGHT TO RIDGE	15'-4"	25'-0"	
EVE HEIGHT	11'-0"	12'-0"	
NUMBER OF BEDROOMS	EXISTING	PROPOSED	COMMENT
FIRST FLOOR USE	EXISTING	PROPOSED	COMMENT
NUMBER INTERNAL PARKING	EXISTING	PROPOSED	COMMENT
SQUARE FOOTAGE OF STRUCTURE	EXISTING	PROPOSED	COMMENT
SQUARE FOOTAGE OF APARTMENT	EXISTING	PROPOSED	COMMENT

ZONING DATA: R-1 ZONE **619 4TH AVENUE BRADLEY BEACH NJ 07720**

*With boundary line not conforming to property line: driveway to alley in GB zone July 5th 2023

SITE AREA 4,514 SQUARE FEET

Existing non conforming
4514 SQUARE FEET

TOTAL: 4514 SQUARE FEET

EXISTING BUILDING COVERAGE:

EXISTING 2.5 STORY DWELLING: 932 SQUARE FEET

REAR 2 BED DWELLING: (LESS THAN EXISTING WAS 671 SF) 642 SQUARE FEET

TOTAL: 1574 35%
33% MAXIMUM LOT COVERAGE ALLOWED

PROPOSED BUILDING COVERAGE:

EXISTING 2.5 STORY DWELLING: 932 SQUARE FEET

REAR 1 BED DWELLING ABOVE GARAGE (LESS THAN EXISTING) 535 SQUARE FEET

TOTAL: 1467 32%
33% MAXIMUM LOT COVERAGE ALLOWED

EXISTING IMPERVIOUS COVERAGE:

DWELLING EXISTING AND PROPOSED: 1574

COVERED FRONT PORCH: 216

FRONT (102) AND REAR (34) STEPS: 64 REDUCE BY HALF W PAVERS, NOT CONCRET

EXISTING CONCRETE IN YARD AND SIDE WALKWAYS: 825 HAVE TO REDUCE REAR YARD CONCRETE PA

EXISTING DRIVEWAY: 540

HVAC UNIT PAD: 9

TOTAL: 3228 72%
60% MAXIMUM IMPERVIOUS COVERAGE

PROPOSED IMPERVIOUS COVERAGE:

DWELLING EXISTING AND PROPOSED: 1467

COVERED FRONT PORCH: 216

FRONT (102) AND REAR (34) STEPS: 64 REDUCE BY HALF W PAVERS, NOT CONCRET

EXISTING CONCRETE IN YARD AND SIDE WALKWAYS: 400 HAVE TO REDUCE REAR YARD CONCRETE PA

EXISTING DRIVEWAY: 540

HVAC UNIT PAD: 9

NEW SHOWER AND HVAC UNIT PAD: 27

TOTAL: 2723 60%
60% MAXIMUM IMPERVIOUS COVERAGE

PROPOSED REDUCTION OF IMPERVIOUS COVERAGE:

REDUCE YARD CONCRETE FROM 825 SF TO 400 SF

BUILDING INCREASE ANALYSIS:

EXISTING DWELLINGS (2): 1574 NOT INCLUDING BASEMENT

PROPOSED DWELLINGS (2): REDUCTION FROM 2BED TO 1BED 1574 NOT INCLUDING BASEMENT

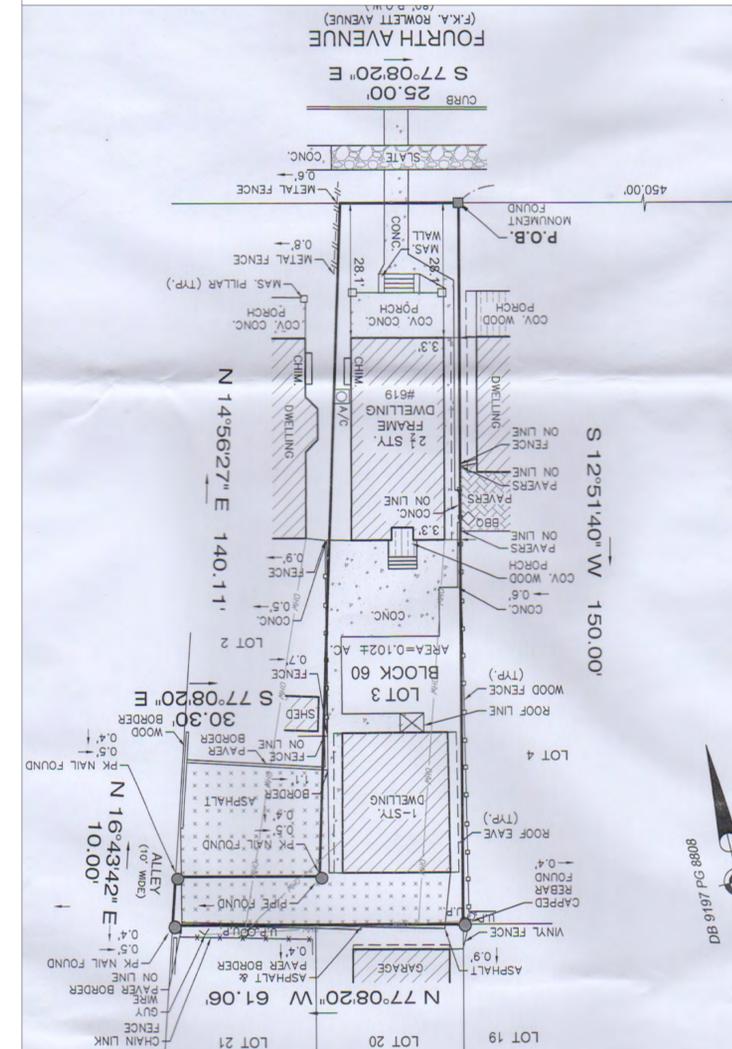
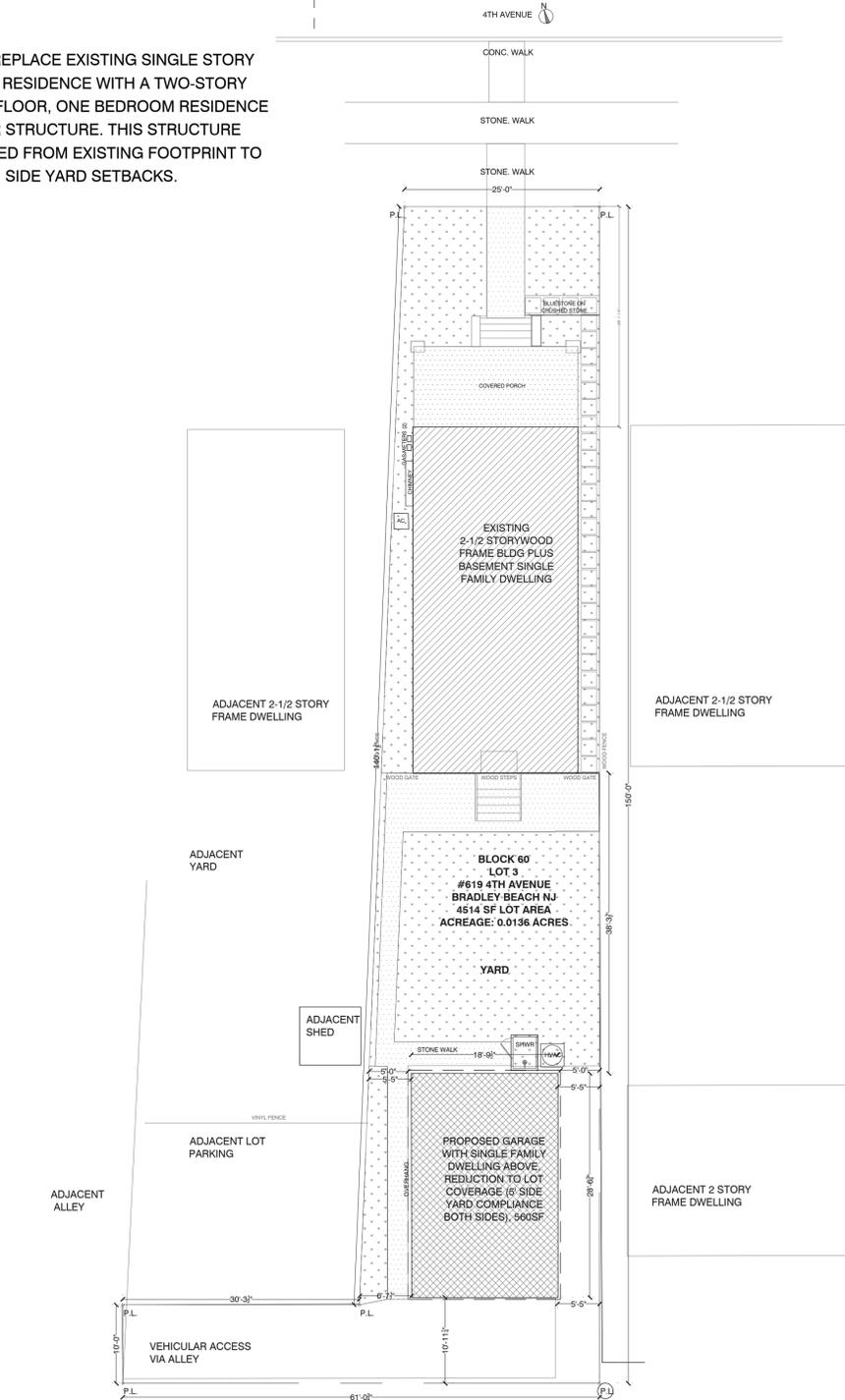
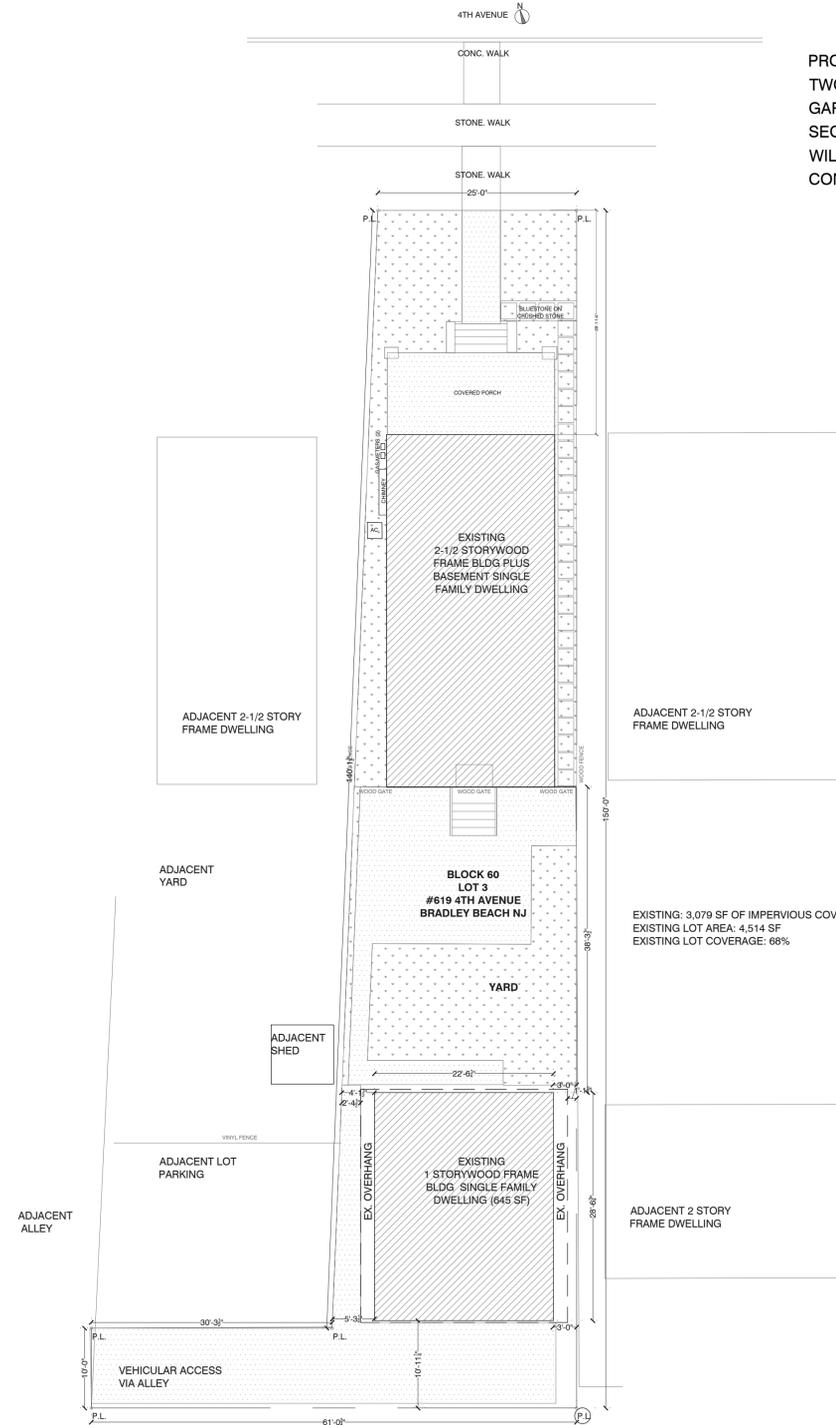
REDUCTION IN REAR BUILDING SIZE FROM 642 TO 535 0.93202033 7% BUILDING AREA REDUCTION

Total building area has been decreased

TOTAL % INCREASE:

HEIGHT OF GARAGE APARTMENT RIDGE: 25' ABOVE GRADE

PROPOSAL TO REPLACE EXISTING SINGLE STORY TWO BEDROOM RESIDENCE WITH A TWO-STORY GARAGE FIRST FLOOR, ONE BEDROOM RESIDENCE SECOND FLOOR STRUCTURE. THIS STRUCTURE WILL BE REDUCED FROM EXISTING FOOTPRINT TO CONFORM WITH SIDE YARD SETBACKS.



619 4TH AVENUE
BRADLEY BEACH, NJ
07720

DRAWING SUBMITTAL DATES:

JULY 13, 2023 ZONING SUBMITTAL
NOV. 17 2023 VARIANCE SUBMITTAL
MAR. 14 2024 VARIANCE RESUBMIT

APPLICATION FOR LAND USE VARIANCES:

1. NON CONFORMING LOT SIZE
2. LOT OVERLAP R1/GB

owner:
brian downey
619 4th Avenue
Bradley Beach, NJ 07720
C: 917.690.3614

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SITE PLANS, SURVEY, AND ZONING ANALYSIS CHART

Date: MARCH 14, 2024

Scale: 3/32" = 1'-0"

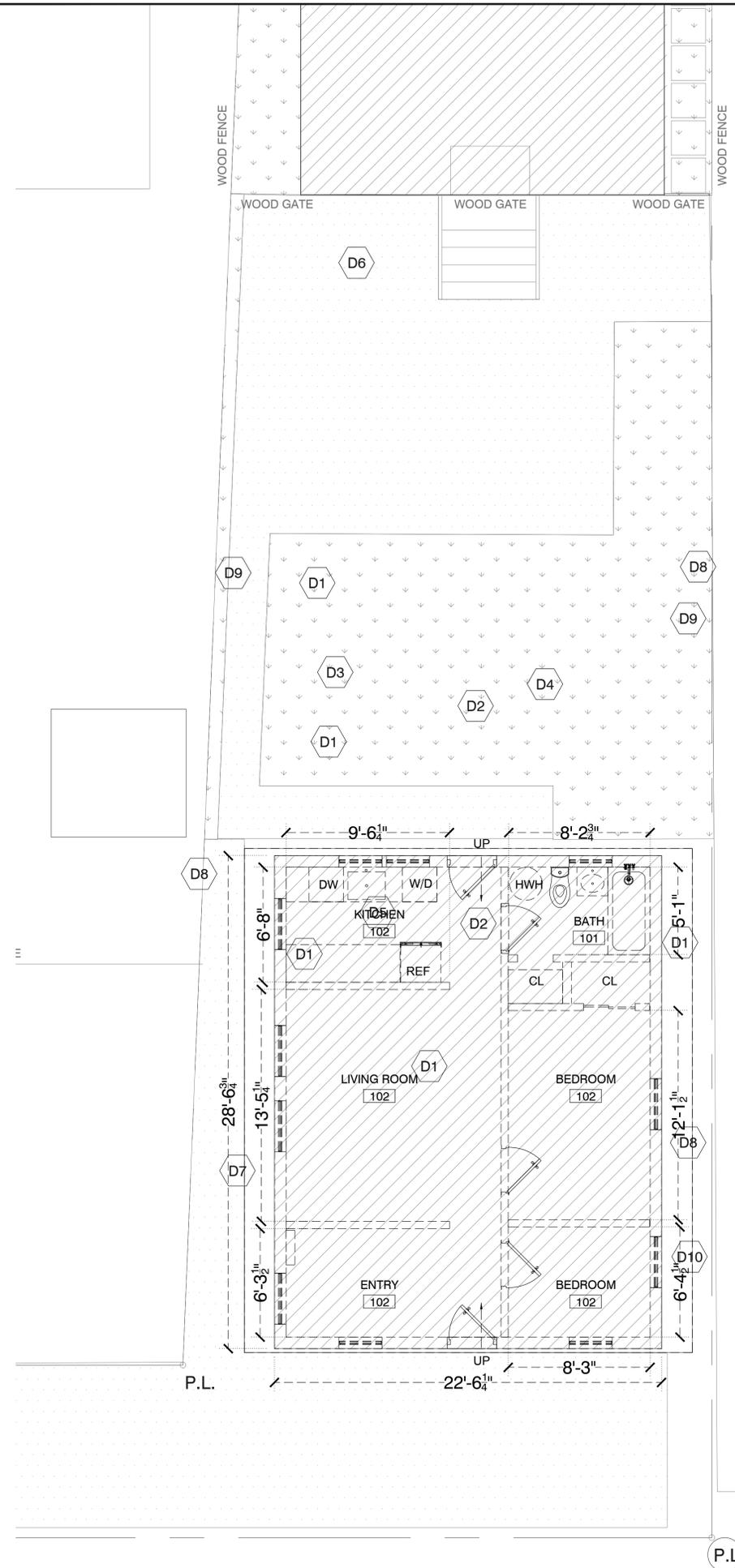
Drawing:

Z-100

1 EXISTING SITE PLAN: 3/32"=1'-0"

2 PROPOSED SITE PLAN: 3/32"=1'-0"

3 SURVEY NTS. FOR REFERENCE ONLY



LEGEND:

- EXISTING CONSTRUCTION
- DEMOLISHED PARTITIONS
- NEW INTERIOR PARTITIONS TYPE ②
- NEW FIRE-RATED STAIR ENCLOSURE TYPE ③

KEY NOTES:

- D1 REMOVE NON LOAD BEARING WALLS, LOAD BEARING WALLS AND ROOF.
- D2 REMOVE ALL INTERIOR COMPONENTS.
- D3 REMOVE ALL KITCHEN FIXTURES, FINISHES AND CAP SERVICES.
- D4 REMOVE ALL BATH FIXTURES, FINISHES AND CAP SERVICES.
- D5 REMOVE CONCRETE SLAB ON GRADE AND FOOTINGS
- D6 CHOP UP CONCRETE PAD AT REAR YARD
- D7 RETAIN PORTIONS OF DRIVEWAY FROM ALLEY
- D8 PROTECT NEIGHBOR FENCES, PROVIDE TEMPORARY CONSTRUCTION FENCE.
- D9 REMOVE EXSITING GATES AND STORE FOR RE-USE
- D10 CONTACT UTILITY COMPANIES TO RE-RUN WIRES AROUND NEW CONSTRUCTED ELEMENTS

DEMOLITION:

1. CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION FOR THE DURATION OF THE PROJECT AND, PRIOR TO THE START OF DEMOLITION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON DEMOLITION DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS, DISCARDED MATERIALS, AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE. REMOVAL SHALL BE DONE AT TIMES AND IN A MANNER FULLY APPROVED BY THE TOWN OF BRADLEY BEACH, NJ, ANY OTHER GOVERNMENT AGENCIES, AND ACCORDING TO OWNERS POLICIES AND RULES.
4. THE CONTRACTOR SHALL BE FAMILIAR WITH AND PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE NEW JERSEY BUILDING CODE - "SITE SAFETY PLAN".
5. FOR CONTRACTORS INFORMATION, THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON DEMOLITION DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE, AND MANNER OF DEMOLITION REQUIRED.
6. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH OWNER AND PERFORMED DURING HOURS PERMITTED. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS AND EQUIPMENT, AND THE REMOVAL OF DEBRIS, MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB. IF, IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS, LOSES, OR DISRUPTS ANY CONDITION WHICH IS TO REMAIN, TO BE STORED, OR TO BE REUSED, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH WORK WITH SAME TO ORIGINAL OR BETTER CONDITION AT NO COST TO THE OWNER.
8. DO NOT REMOVE ANYTHING SUSPECTED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS. ADVISE OWNER AND BUILDING MANAGEMENT IF SUCH MATERIALS ARE ENCOUNTERED. COORDINATE DEMOLITION WITH REMOVAL OF SUCH MATERIALS.
9. CONTRACTOR TO PROVIDE CONSTRUCTION FENCE AROUND DEMOLITION SITE.
10. REMOVE ALL EXISTING CEILINGS AND LIGHT FIXTURES IN THE INDICATED AREAS U.O.N.. ALL CONDUIT AND WIRING TO BE REMOVED.
11. REMOVE ALL EXISTING ELECTRICAL OUTLETS, RACEWAYS, WIRING, AND CONDUIT BACK TO POWER PANEL. REMOVE ALL EXISTING TELEPHONE EQUIPMENT INCLUDING PANELS AND WIRING AS INDICATED..
11. REMOVE ALL MILLWORK/WALL FIXTURES AND ASSOCIATED OUTLETS, WIRING, AND CONDUIT BACK TO WALL AS REQUIRED. REMOVE ALL MOLDINGS, HOOKS, BRACKETS, AND ALL OTHER MISCELLANEOUS ITEMS FROM ALL SURFACES OF REMAINING CONDITIONS.
12. ALL EXTERIOR WINDOWS AND WINDOW WALLS TO BE CAREFULLY REMOVED.
13. ALL EXTERIOR WALLS AND CORRIDOR WALLS TO BE REMOVED IN STAGES AND WETTED DOWN TO MINIMIZE DUST TO NEIGHBORING BUILDINGS.
14. CONTRACTOR SHALL PROVIDE, WITH FENCE OR BARRICADE, SAFE AREAS AROUND EXISTING FLOOR OPENINGS.
15. CONTRACTOR TO REVIEW FOOTING AND SLAB WITH ARCHITECT PRIOR TO REMOVAL.
18. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED TO THAT INDICATED ON THE DRAWINGS, BUT SHALL ALSO INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE EXECUTION OF THE NEW WORK SHOWN ON THE DRAWINGS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING OF EXISTING WORK AS REQUIRED.
20. CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM THE SITE AS SOON AS POSSIBLE.
21. CONTRACTOR SHALL, AFTER COMPLETION OF DEMOLITION WORK, LEAVE PREMISES NEAT AND ORDERLY.
22. CONTRACTOR SHALL PROPERLY REMOVE, RELOCATE, DISCONNECT, CAP ALL PIPING, CONDUIT, WIRING AND OTHER OBSTRUCTIONS UNCOVERED DURING DEMOLITION WORK.
23. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ENCOUNTERED AFFECTING THE NEW WORK.

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architect:

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DEMOLITION FLOOR PLAN

Date: MARCH 14, 2024

Scale: ¼" = 1'-0"

Drawing:

DM-100

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE RULES, REGULATIONS, LAWS AND CODES OF ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROJECT, INCLUDING BUT NOT LIMITED TO NEW JERSEY STATE BUILDING CODE, AND BRADLEY BEACH GUIDELINES.
- NO CHANGE TO BUILDING ENTRANCES, EMERGENCY LIGHTING OR EXIT SIGNS, .
- ALL WOOD TO BE USED SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH NJBC.
- PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE PACKED WITH A NONCOMBUSTIBLE MATERIAL SUCH AS MINERAL WOOL SEE DETAILS ON A600.
- EXISTING HVAC TO REMAIN. ONE NEW SUPPLY REGISTER REQUIRED.
- ALL FURRED SPACES TO BE FIRESTOPPED 20" O.C. HORIZONTALLY AND 8'-0" VERTICALLY
- WHERE PIPES, WIRES, CONDUITS, ETC. PIERCE FIRE PROTECTION OF INDIVIDUALLY ENCASED STRUCTURAL MEMBERS, SUCH PENETRATIONS SHALL NOT EXCEED 2% OF ANY FACE OF SUCH PROTECTION AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS OR PLATES AS PER NJ PLUMBING CODE.
- LIGHTING AND DESIGNATION OF MEANS OF EGRESS SHALL COMPLY WITH NJ ELECTRICAL CODE.
- EXISTING FIRE ALARM TO REMAIN.
- STRUCTURAL: NO CHANGES REQUIRED.
- ALL EXISTING MEANS OF EGRESS FROM THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- ALL MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION
- ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS AND AWAY FROM HEAT.
- ALL ELECTRICAL POWER IS TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS
- CONTRACTOR, AT ALL TIMES, TO MAKE SURE THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING, OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.
- DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. IT MUST BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID EXCESS ACCUMULATION. CONSTRUCTION WORK WILL BE CONFINED TO SPECIFIED AREAS AND WILL NOT CREATE DUST, DIRT, OR INCONVENIENCES TO OTHER TENANTS WITHIN THE BUILDING.
- CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING BY MEANS OF TEMPORARY PARTITIONS OF HEAVY WEIGHT DROP CLOTHS. PROVIDE TEMPORARY PROTECTION TO EQUIPMENT AND ADJOINING AREAS IN USE.
- WORK SHALL NOT INTERFERE WITH HEATING, ELECTRICAL, GAS, OR PLUMBING SERVICE TO OTHER TENANTS.
- CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF BUILDING.
- AREA OF WORK WILL BE VACATED DURING CONSTRUCTION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE SAFETY TO THE EXISTING STRUCTURE AND ITS OCCUPANTS.

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PROPOSED FLOOR PLANS

Date: MARCH 14, 2024

Scale: 1/4" = 1'-0"

Drawing:

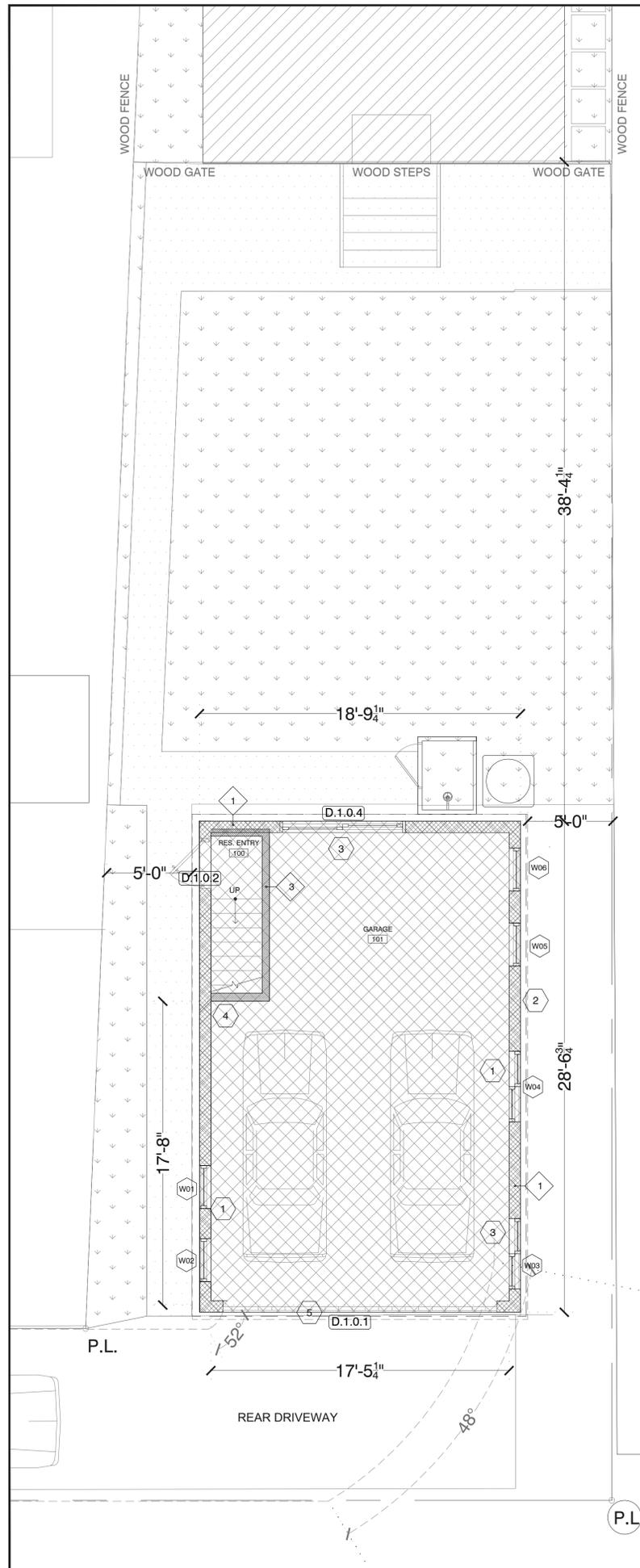
A-100

LEGEND:

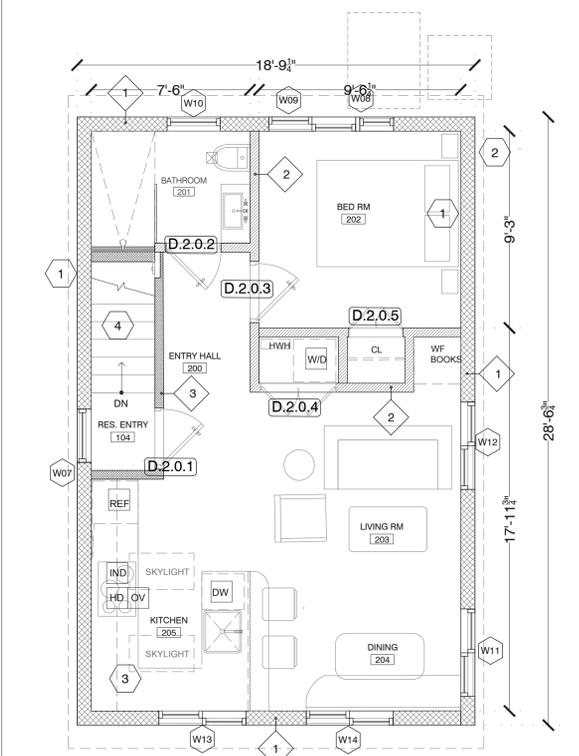
- EXISTING CONSTRUCTION
- NEW EXTERIOR PARTITIONS TYPE 1
- NEW INTERIOR PARTITIONS TYPE 2
- NEW FIRE-RATED STAIR ENCLOSURE TYPE 3
- CABINERY, BUILT-IN CLOSETS
- SOFFIT / DROP CEILING LINE
- ROOM TAG
- STRUCTURAL GRID LINE
- DETAIL REFERENCE - DETAIL XX ON SHEET AX.XX
- SECTION MARKER - SECTION XX ON SHEET AX.XX
- ELEVATION MARKER - ELEVATION XX ON SHEET AX.XX
- ELEVATION DATUM
- SPOT ELEVATION
- DOOR TYPE / NUMBER
- WALL/FLR./CLG. FINISH
- EQUIPMENT TAG
- PLUMBING TAG
- HARDWIRED, SMOKE/CARBON MONOXIDE DETECTOR,

KEYNOTES:

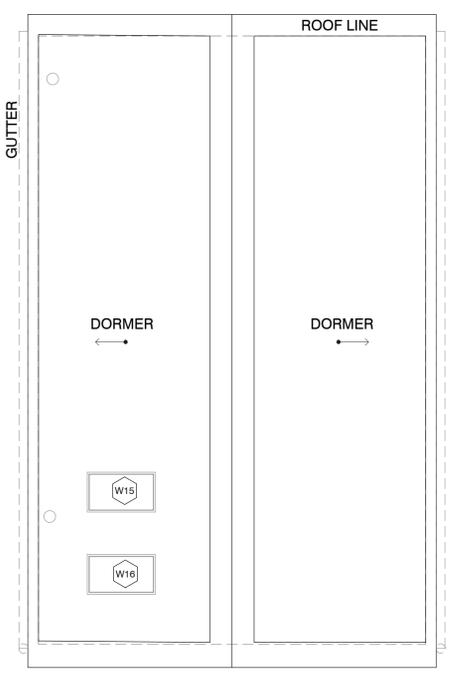
- NEW EXTERIOR WALLS- SEE A600 FOR INSULATION PROPERTIES.
- PROVIDE 1 HOUR RATED SOFFIT AND WALLS AT PROPERTY LINES.
- ANDERSEN A SERIES WINDOWS AND DOORS TO BE ENERGY COMPLIANT.
- STAIR ACCESS TO RESIDENCE LIGHTING ON BUILDING POWER.
- DOUBLE WIDE GARAGE DOORS.



1 PROPOSED FLOOR PLAN- GARAGE



2 PROPOSED FLOOR PLAN- SECOND FLOOR RESIDENCE



3 PROPOSED ROOF PLAN

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NOV. 17 2023 VARIANCE SUBMITTAL
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PROPOSED LIGHTING PLANS

Date: MARCH 14, 2024

Scale: ¼" = 1'-0"

Drawing:

A-101

ELECTRICAL NOTES:

1. PROVIDE ALL WORK IN ACCORDANCE WITH THE NJ ELECTRICAL CODE 2017/2020.
2. ALL CONDUIT AND WIRING SHALL BE CONCEALED WITHIN WALLS, CEILINGS, AND FLOORS WHERE FEASIBLE. OPEN UP BUILDING ELEMENTS TO INSTALL NEW CONDUIT TO REPLACE EXISTING EXPOSED CONDUIT AND "WIRE-MOLD".
3. PROVIDE ALL NEW LIGHTING FIXTURES AND RECEPTACLES, WHERE SHOWN. INTEGRATE SWITCHING CIRCUITS WITH EXISTING WHERE SHOWN OR REQUIRED.
4. CONTRACTOR CHECK THE LOCATION, NUMBER AND SIZE OF PARTITIONS AND CHASES PROVIDED ON THE PLANS AND COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR FOR ANY ADDITIONAL CLEARANCES OR CHASES REQUIRED FOR CABINETS OR BOXES.
5. CONDUIT MAY BE RUN THROUGH FACTORY-PUNCHED HOLES IN STUDS OR 1" DIAMETER PUNCHED HOLES.
6. USE SHALLOW BOXES AND OFFSET BOX SO THEY ARE NOT BACK TO BACK IN PARTITIONS BETWEEN HABITABLE ROOMS.
7. USE SHALLOW BOXES AT FURRED EXTERIOR WALLS.
8. GENERAL CONTRACTOR COORDINATE WITH MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL TRADES FOR EXACT LOCATIONS OF MOTORS AND EQUIPMENT IN ORDER TO AVOID INTERFERENCE.
9. PULL AND JUNCTION BOXES SHALL BE FLUSH TYPE IN FINISHED AREAS, UNLESS OTHERWISE NOTED. LOCATE JUNCTION AND PULL BOXES APPROXIMATELY WHERE INDICATED ON THE PLAN TO SUIT CONDUIT ENTRANCE, BUT IN ALL CASES, LOCATE TO AVOID INTERFERENCE WITH EQUIPMENT FROM OTHER TRADES AND LOCATE SO THAT COVERS ARE READILY ACCESSIBLE.
10. UNLESS OTHERWISE NOTED ON THE FLOOR PLANS OR FLOOR PLAN NOTES, INSTALL DEVICES AT FOLLOWING HEIGHTS: SWITCHES & C.L. OF INTERCOM STATIONS AT 4'-0" A.F.F.; OUTLETS 18" A.F.F., AND 6" ABOVE COUNTER.
11. ALL OUTLETS AT KITCHEN AND BATH TO BE GROUND FAULT INTERRUPTED. WIRE CIRCUITING RUNS PASSING THROUGH GFI OUTLETS SUCH THAT TRIPPING OF THE GFI OUTLETS DOES NOT INTERFERE WITH POWER OF THE OTHER DEVICES DOWNSTREAM.
12. ALL AFFECTED ELECTRICAL COMPONENTS, WIRING, FIXTURES, ETC. WITHIN THE APARTMENT MUST BE EXAMINED BY A LICENSED ELECTRICIAN PRIOR TO INSTALLATION OF FINISHED SURFACES. A WRITTEN STATEMENT MUST BE PROVIDED BY THE ELECTRICIAN THAT ALL COMPLY WITH APPLICABLE CODES AND STANDARDS.
13. A LETTER MUST BE PROVIDED BY A LICENSED ELECTRICIAN INDICATING WHETHER OR NOT THE PROPOSED RENOVATIONS WILL OVERLOAD EXISTING ELECTRICAL SERVICE TO THE APARTMENT OR BUILDING.
14. GC/ELECTRICIAN SHALL PROVIDE ALL CODE COMPLIANT OUTLETS AND CIRCUITS. DRAWINGS ARE DIAGRAMMATIC AND REFLECT CONVENIENCE OUTLETS ONLY.

ELECTRICAL SYMBOLS:

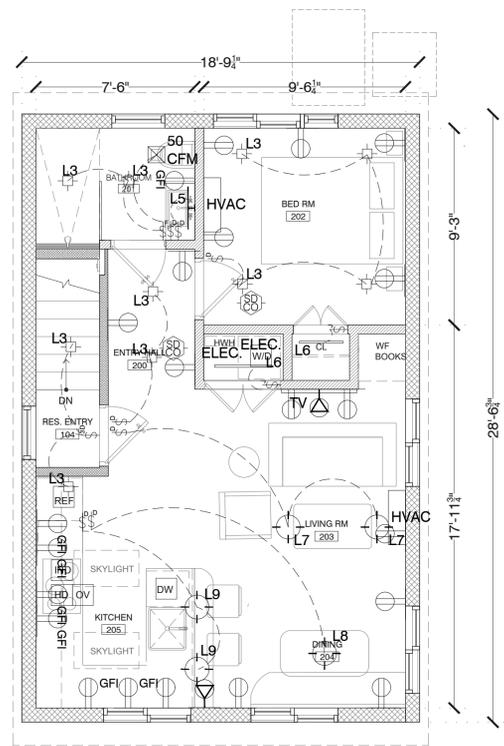
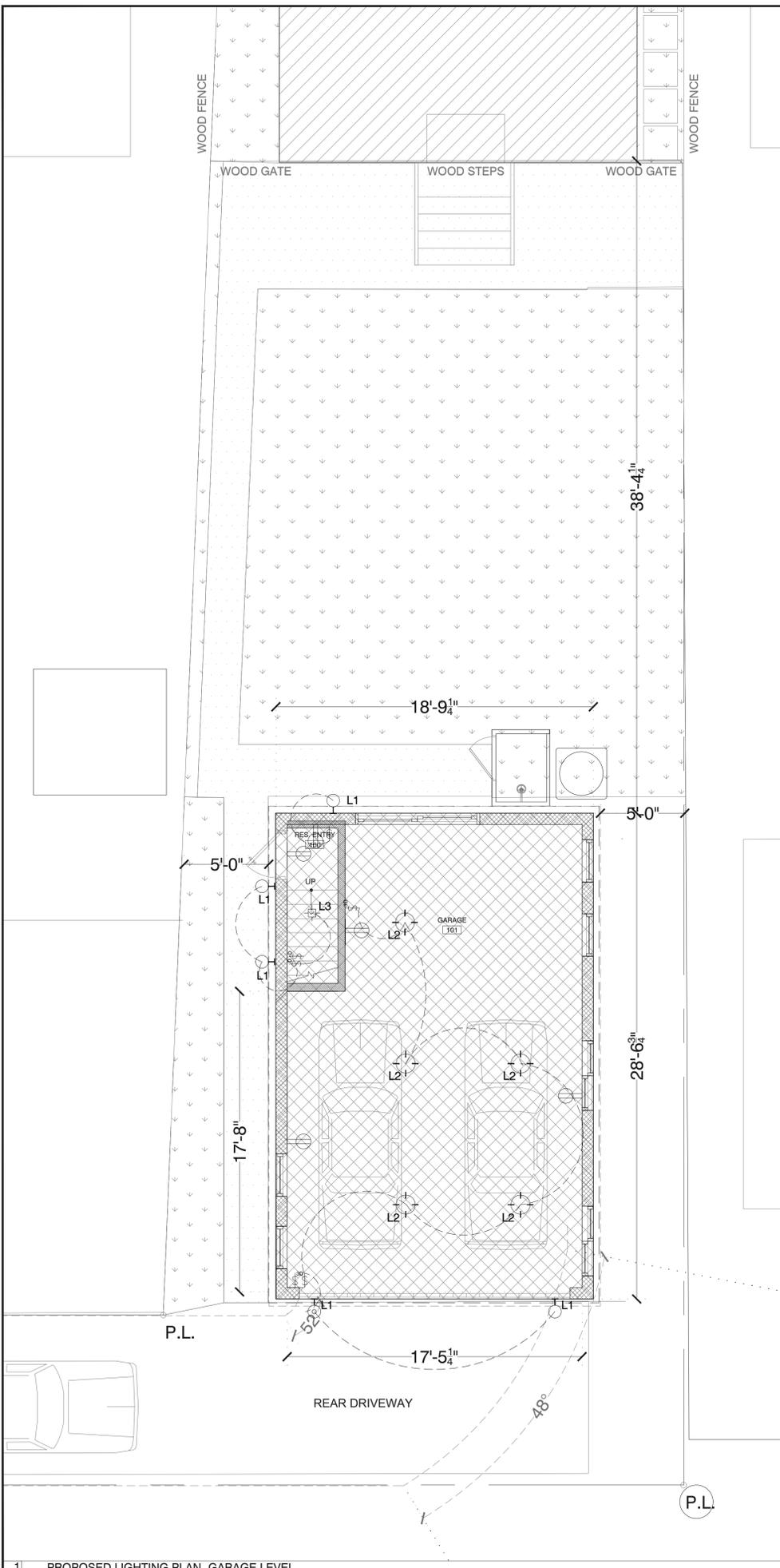
- DUPLEX CONVENIENCE OUTLET (120V)
- GFI GROUND FAULT INTERRUPT
- DATA OUTLET, CAT6 CABLE
- DUPLEX OUTLETS (120V) IN BOX SET FLUSH IN TOP OF COUNTER WITH GROUND FAULT INTERRUPT
- STANDARD SWITCH AT 38" AFF UNLESS OTHERWISE NOTED
- THREE WAY SWITCH AT 38" AFF UNLESS OTHERWISE NOTED
- DIMMER SWITCH AT 38" AFF UNLESS OTHERWISE NOTED
- DOOR OPERATED SWITCH
- RECESSED DOWN LIGHT
- SURFACE MOUNTED CEILING FIXTURE
- LARGE PENDANT
- WALL SCONCE
- LIGHT STRIP
- UNDERCABINET LIGHT
- ABOVE MIRROR SCONCE
- TRACK LIGHTING
- ELECTRIC PANEL
- HARDWIRED, NYC APPROVED SMOKE/CARBON MONOXIDE DETECTOR, SEE DEPT. OF BUILDINGS NOTE #16 ON DWG. A0.00
- THERMOSTAT
- LOCATION OF BUILDING HVAC SUPPLY
- CH: CEILING HEIGHT

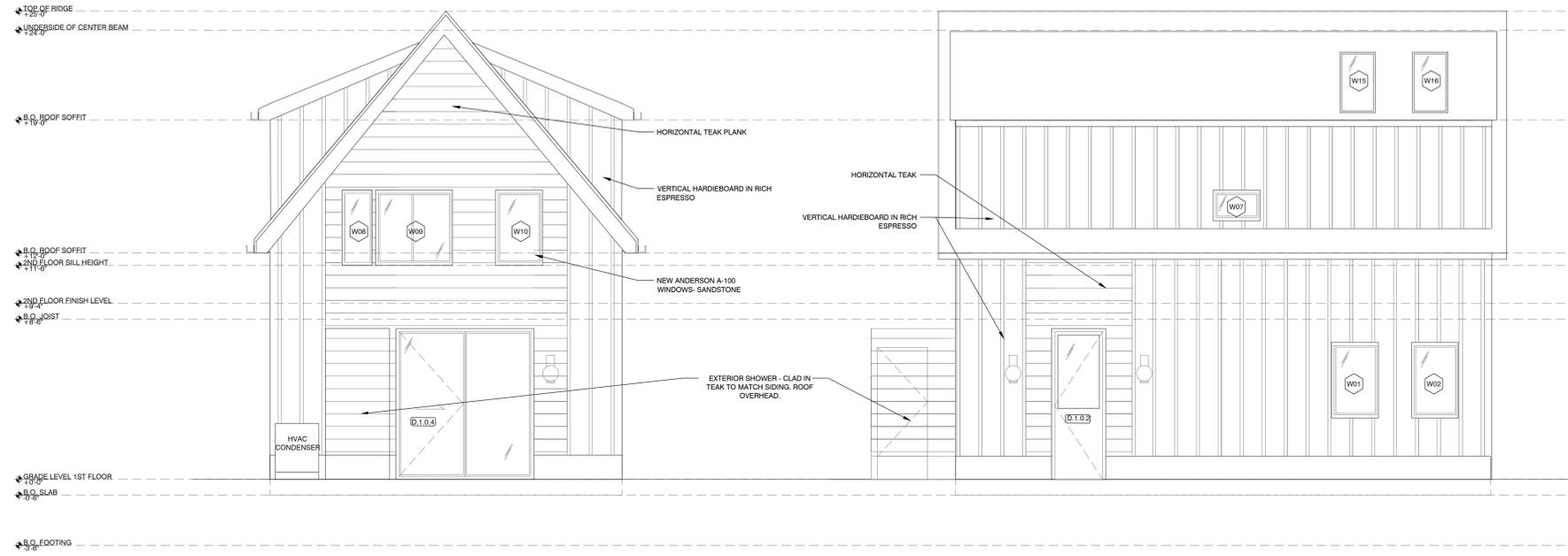
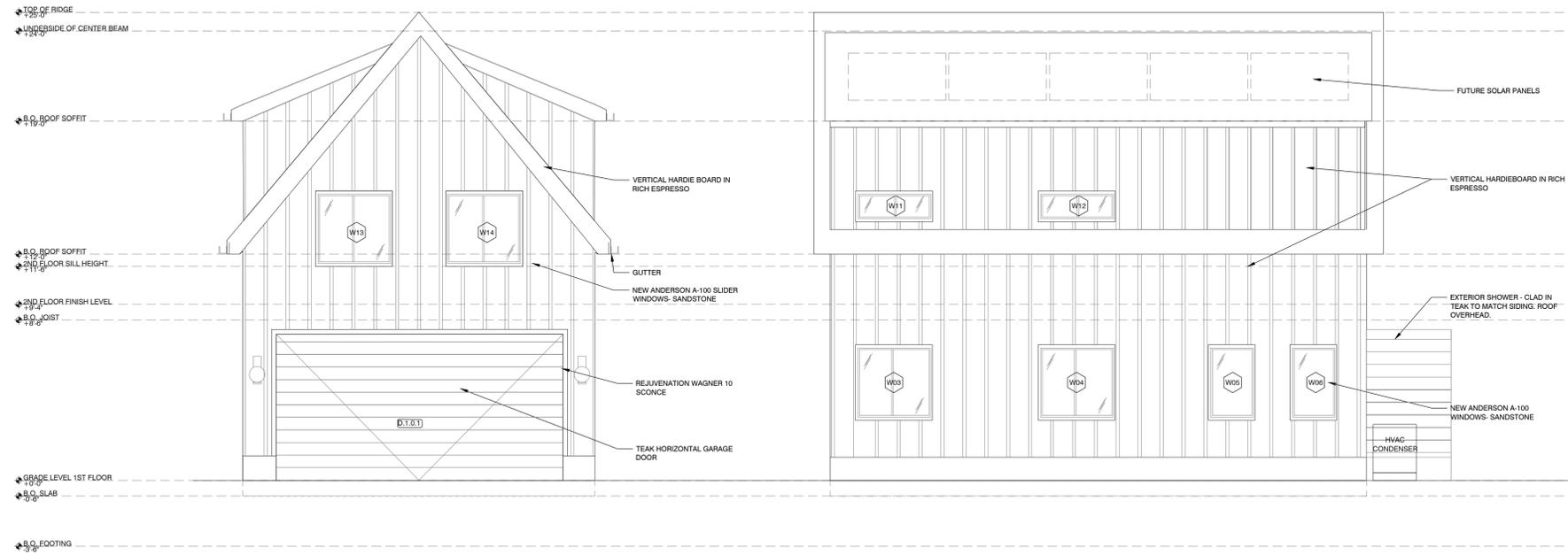
NOTE:
ALL EXISTING ELECTRICAL OUTLETS TO REMAIN WHERE WALL CONSTRUCTION IS MAINTAINED. NEW ELECTRICAL OUTLETS AS SHOWN ON DRAWING AND BY CODES. ALL BATHROOM OUTLETS TO BE GFI. ADDITIONAL OUTLETS AS REQUIRED TO BE COORDINATED WITH ARCHITECT.

ALL DIMMERS TO BE LUTRON CAESTRA SMART SWITCHES

KEYNOTES:

- SEE ELECTRICAL PLANS FOR CIRCUITRY INFORMATION, NEW PANEL LOCATIONS AND SWITCHING INFO.
- PROVIDE NEW ELECTRICAL MAIN PANEL, SUB PANEL AND ALL NEW DISTRIBUTION.
- PROVIDE CAR CHARGER IN GARAGE
- PROVIDE 1" DEDICATED CONDUIT TO ROOF FOR FUTURE POSSIBLE SOLAR PANELS/TILES.





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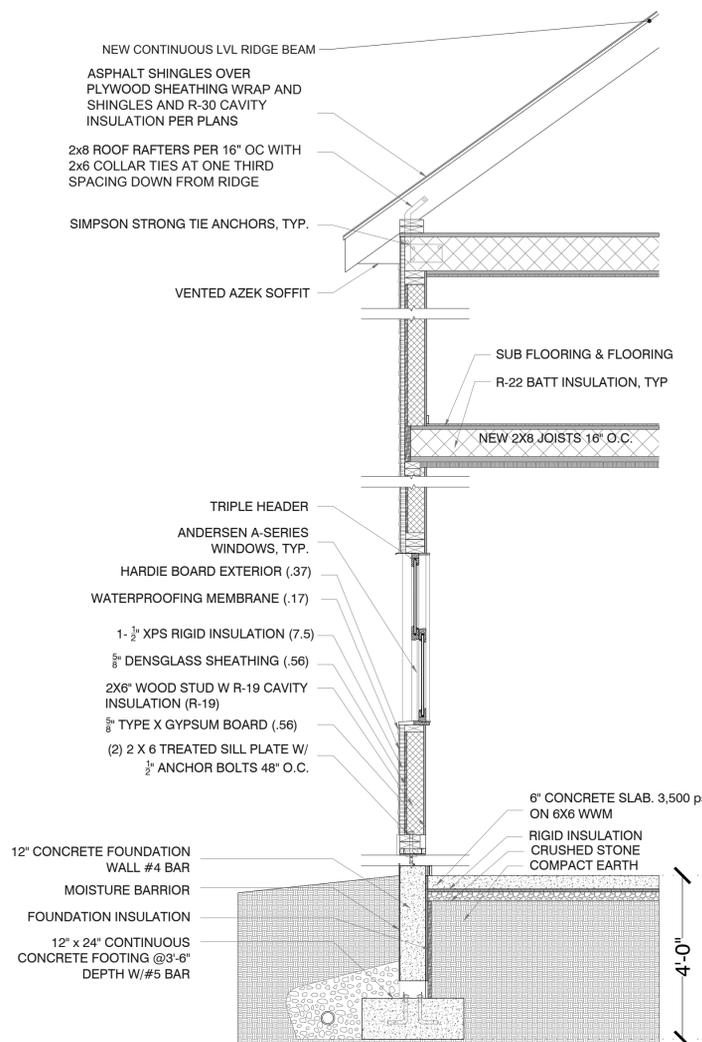
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EXTERIOR ELEVATIONS

Date: MARCH 14, 2024

Scale: 1/4" = 1'-0"

Drawing:
A-200



NEW ROOF CONSTRUCTION R-VALUES

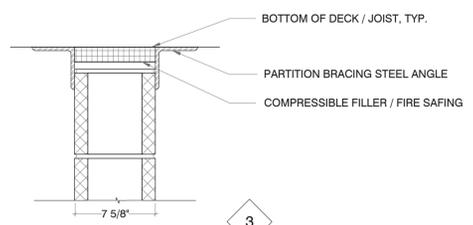
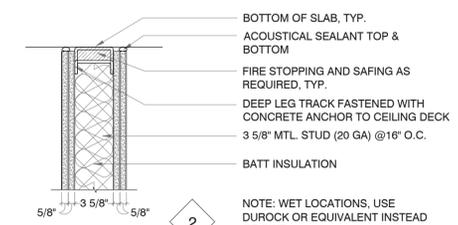
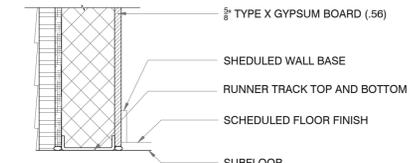
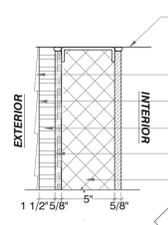
COMPONENT	R-VALUE
ASPHALT SHINGLES OVER PLYWOOD SHEATHING WRAP AND SHINGLES AND R-30 CAVITY INSULATION PER PLANS	R-0.44
GRACE ICE & WATER SHIELD	R-0.17
1" DENSGLOSS SHEATH	R-0.56
5/8" PLYWOOD	R-0.56
4-1/2" FOIL POLYISOCYAN VAPOR BARRIER	R-28.00
BATT INSULATION IN 2X8 RAFTERS	R-19.00
2 LAYER 5/8" TYPE X GYP BD	R-1.12
TOTAL R-VALUE	R-50.45

NEW EXTERIOR WALL CONSTRUCTION R-VALUES

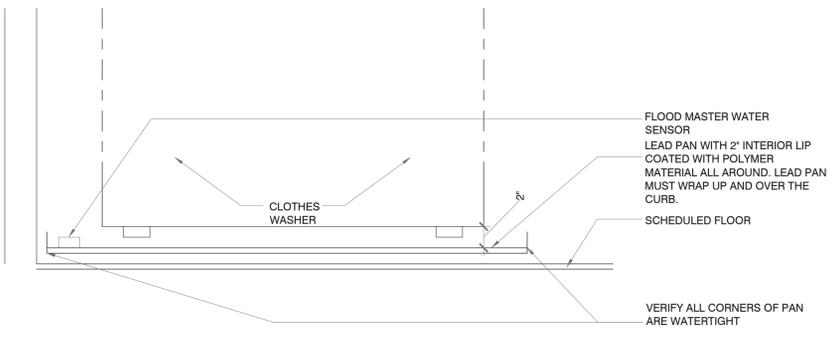
COMPONENT	R-VALUE
HARDIE BOARD SIDING	R-0.37
WATERPROOFING MEM.	R-0.17
1-1/2" XPS RIGID INSULATION	R-7.50
5/8" DENSGLOSS SHEATH	R-0.56
2X6" WOOD STUD WITH CAVITY INSULATION	R-19.00
5/8" GYPSUM BOARD	R-0.56
TOTAL R-VALUE	R-28.16

NEW FLOOR CONSTRUCTION R-VALUES

COMPONENT	R-VALUE
HARDIE BOARD SOFFIT	R-0.80
OUTSIDE AIR FILM	R-0.17
1/2" DENSGLOSS SHEATH	R-0.56
2X4 WOOD STUD@16"O.C.	R-19.00
4-1/2" FOIL POLYISOCYAN VAPOR BARRIER	R-28.00
5/8" PLYWOOD	R-0.56
3/4" WOOD FLOORING	R-0.68
TOTAL R-VALUE	R-31.37

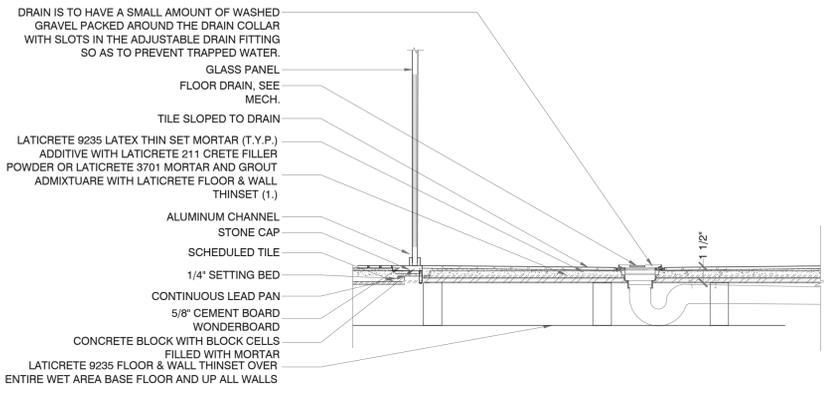
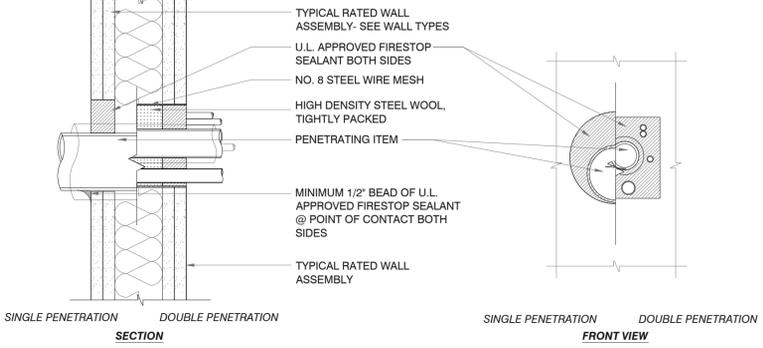
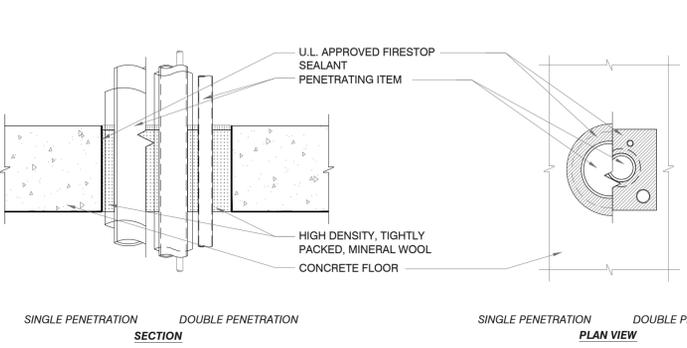


9 WALL SECTION DETAILS - TYPE 01, 02, AND 03 - SCALE: 1-1/2"=1'-0"



BUILDING SECTION DETAIL - SCALE: 3/8"=1'-0"

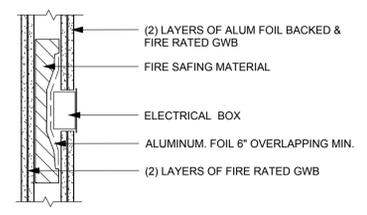
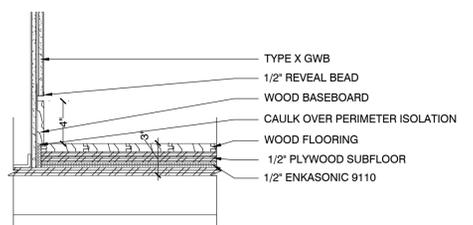
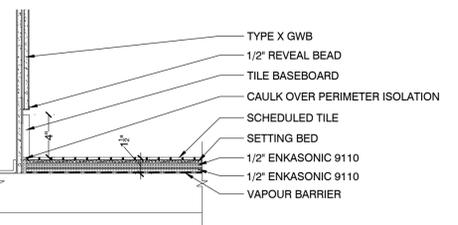
10 LED PAN DETAIL



5 FIRESTOPPING THROUGH FLOOR PENETRATIONS

6 FIRESTOPPING THROUGH PARTITIONS

7 FLUSH SHOWER CURB SECTION



1 TYP. ACOUSTICAL DETAIL UNDER TILE

2 TYP. ACOUSTICAL DETAIL UNDER WOOD BASEBOARD

3 FIRESTOPPING DETAILS

DRAWING SUBMITTAL DATES:
JULY 13, 2023 ZONING SUBMITTAL
NOV. 17 2023 VARIANCE SUBMITTAL
MAR. 14 2024 VARIANCE RESUBMIT

APPLICATION FOR LAND USE VARIANCES:
1. NON CONFORMING LOT SIZE
2. LOT OVERLAP R1/GB

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DETAIL DRAWINGS & NOTES

Date: MARCH 14, 2024

Scale: 1-1/2" = 1'-0"

Drawing:

A-600