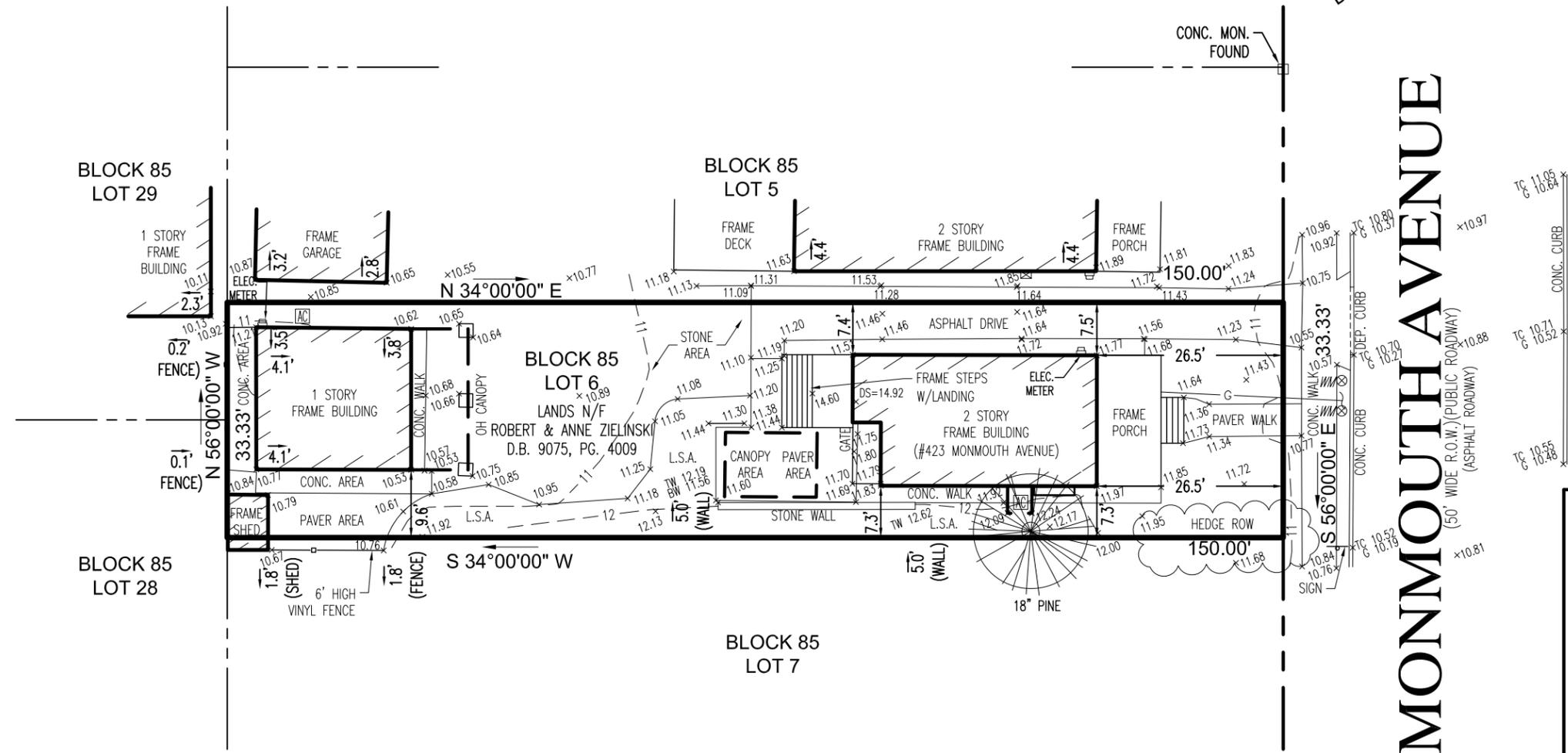


FLOOD NOTE:
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) & PARTLY IN ZONE 'A' (BASE FLOOD ELEVATIONS DETERMINED) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 34025C0334G, WHICH BEARS AN EFFECTIVE DATE OF JUNE 15, 2022.
 AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION TO APPLY FOR A VARIANCE.
 BEFORE THE PREPARATION OF DESIGN PLANS PLEASE VISIT FEMA.GOV TO CONFIRM THE INFORMATION LISTED ABOVE.



- NOTES:**
- PROPERTY KNOWN AS LOT 6, BLOCK 85 AS IDENTIFIED ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, STATE OF NEW JERSEY.
 - AREA = 5,000 S.F. OR 0.115 AC.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. **THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT.**
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
 - ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - CORNER MARKER WAIVER OBTAINED FROM THE ULTIMATE USER AS PROVIDED BY THE REGULATION (N.J.A.C. 13:40-5.2 OF THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

- REFERENCES:**
- TAX SHEET MAP #16 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY, STATE OF NEW JERSEY.
 - MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)", PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 334 OF 457, MAP NUMBER 34025C0334G, EFFECTIVE DATE: JUNE 15, 2022.



DATE: 2-28-2025	BOUNDARY & TOPOGRAPHIC SURVEY
SCALE: 1" = 20'	ROBERT & ANNE ZIELINSKI
FIELD BK. NO: 25-00	#423 MONMOUTH AVENUE
DRAWN BY: G.A./S.C.H.	LOT 6, BLOCK 85
REVIEWED BY: T.D.M./J.J.W.	BOROUGH OF BRADLEY BEACH, MONMOUTH COUNTY
REV-1:	STATE OF NEW JERSEY
REV-2:	BLUE MARSH ASSOCIATES, INC
REV-3:	LAND SURVEYORS & PLANNERS
	551 EASTON ROAD, SUITE A WARRINGTON, PA 18976-2370 215-278-4053 (MAIN) 215-343-0218 (FAX)
	1541 ROUTE 37 EAST, SUITE B TOMS RIVER, NJ 08753 732-552-3641 (MAIN) 732-929-8915 (FAX)
	www.BlueMarshAssociates.com
PROJECT NO.: 25-B-033	SHEET: 1 OF 1

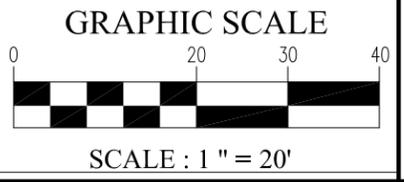
LEGEND OF SYMBOLS

- | | | | |
|------------|--------------------------|----------|---|
| — 10 — | CONTOUR (MAJOR/MINOR) | — | SIGN |
| × 10.89 | SPOT ELEVATION | □ | ELECTRIC METER |
| × TC 10.55 | TOP OF CURB ELEVATION | ⊗ | GAS METER |
| × G 10.37 | GUTTER ELEVATION | WM ⊗ | WATER METER |
| × TW 12.19 | TOP OF WALL ELEVATION | □ | PROPERTY CORNER EVIDENCE |
| × BW 11.56 | BOTTOM OF WALL ELEVATION | — G — | APPROXIMATE LOCATION OF UNDERGROUND GAS LINE |
| × DS=14.92 | DOOR SILL ELEVATION | — 1.0' — | OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE |
| — | WOOD FENCE | | |

PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.
 THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.
TICKET #250362020



SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. THAT THE PROPERTY LINES AND RELATIONSHIP OF BUILDINGS AND OTHER STRUCTURES TO THE PROPERTY LINES AND THE LAND INDICATED HEREON IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS OF BUILDINGS OR STRUCTURES ONTO SAID LAND.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SEAL

JOSEPH J. WRIGHT DATE _____
 NEW JERSEY PROFESSIONAL LAND SURVEYOR #GS-3488500
 CERTIFICATE OF AUTHORIZATION #24GS03488500