



January 21, 2026

Borough of Bradley Beach
Land Use Board
701 Main Street
Bradley Beach, NJ 07720

Re: 2025 Annual Report

Dear Board Members:

I reviewed the applications in front of the Land Use Board in 2025 and summarize the applications as follows:

In 2025, the Board heard seven (7) applications, located within the R-1, R-B, R-T, and B-O-R Zone Districts. One (1) application was for a commercial property, while the remaining six (6) applications were for residential properties. A summary of the number of applications in each zone can be found in Table 1, below:

Table 1. Zone Location of Applications

Zone	Number of Applications	Approval Status
R-1	3	Approved: 2 Pending: 1
R-B	2	Approved: 2
R-T	1	Approved: 1
B-O-R	1	Approved: 1
Total:	7	Approved: 6 Pending: 1

Table 2 summarizes the outcome of each application that appeared before the Board.

Table 2. Application Approval Status

Status	Number of Applications
Approved	6
Withdrawn	0
Denied	0
Pending	1
Total	7

A summary of the types of existing non-conformities at the Land Use Board for year 2025 can be found in Table 3. The following list includes the number of existing non-conformities, the number removed, and the number pending. The most existing non-conformities were for: Minimum Side Yard Setback, Minimum Lot Area, Maximum Impervious Coverage, and Minimum Off-Street Parking Spaces.

Table 3. Types of Existing Non-Conformities

Variance Type	Total	Removed	Pending
Minimum Side Yard Setback	10	5	1
Minimum Lot Area	5	0	1
Minimum Lot Width	4	0	0
Maximum Impervious Coverage	5	1	1
Minimum Off-Street Parking Spaces	5	4	1
Minimum Front Yard Setback	4	3	1
Minimum Rear Yard Setback	4	1	1
Minimum Front Yard Porch Setback	4	3	1
Maximum Building Coverage	4	0	1
Minimum Lot Depth	3	0	0
Minimum Accessory Side Yard Setback	2	1	0
Minimum Accessory Rear Yard Setback	2	1	0
Maximum Building Height	1	0	0
Maximum Accessory Building Area	1	0	0
Minimum Distance to Primary Structure	1	1	0
Maximum Driveway Width	1	0	0
Maximum Curb Cut	2	0	1
Patio Location	1	1	0
d(1) use	1	0	0
Total	60	21	9

A summary of the types of variances applied for at the Land Use Board for year 2025 can be found in Table 4. The following lists include the number of variances sought, the number approved, the number pending, and the number that were denied. The most sought variances were for: Minimum Side Yard Setback, Maximum Building Coverage, Maximum Impervious Coverage, and Maximum Building Height.

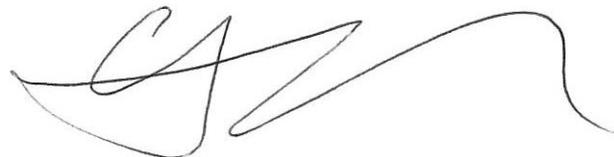
Table 4. Types of Variances Sought

Variance Type	Total	Approved	Pending	Denied
Minimum Side Yard Setback	5	4	1	
Maximum Building Coverage	5	4	1	
Maximum Impervious Coverage	3	3		
Minimum Rear Yard Setback	3	2	1	
Maximum Building Height	3	1		2
Minimum Front Yard Setback	1	0	1	
Minimum Front Yard Porch Setback	2	0	2	
Maximum Driveway Width	2	1	1	
Maximum Curb Cut	2	1	1	
Maximum Accessory Building Area	1	1		
Minimum Accessory Side Yard Setback	1	1		
Minimum Accessory Rear Yard Setback	1	1		
Maximum Fence Height (Front Yard)	1	1		
Minimum Off-Street Parking Spaces	1	0	1	
d(1) use	1	1		
Minimum Elevated Deck Setback	1	1		
2 nd Floor Balcony Location	2	0	1	1
Total	35	22	10	3

Should you have any questions or require any clarification regarding this matter, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Christine L. Bell, P.P., AICP
Board Planner

CLB:JOG

cc: Mike Shafai, P.E., Board Engineer
Anne Marie Rizzuto, Esq., Board Attorney