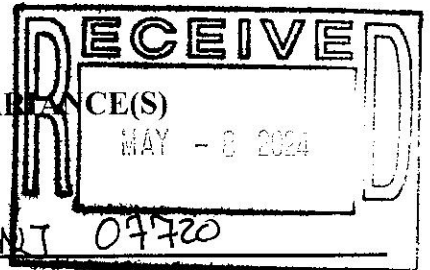


ZONING BOARD OF ADJUSTMENT
APPLICATION FOR USE VARIANCE AND/OR BULK VARIANCE(S)



Information on Subject Property:

1. Property address: 510 PARK PLACE, BRADLEY BEACH, NJ 07720
Block(s) 18 Lot(s) 18 Zone: R-1
2. Does the Applicant own adjoining property? YES NO
If answer to foregoing is yes, describe location and size of adjoining property: N/A

3. An application is hereby made for a variance(s) from the terms of Article(s) and Section(s):
450-26. D. 1 (d): MIN. FRONT YARD SETBACK: 25 FT REQUIRED, 14.61 FT EXISTING, 14.61 FT. PROPOSED.
450-26. D. 1 (d): MIN. FRONT YARD PORCH SETBACK: 17 FT. REQUIRED, 7.97 FT EXISTING, 7.6 FT. PROPOSED.
450-26. D. 1 (e): MIN. SIDEYARD SETBACK: 5 FT REQUIRED, 2.22 FT EXISTING & PROPOSED.

4. Justification/Reasons why each variance should be granted [attach forms as necessary]
EXISTING FOUNDATION IS PROPOSED TO BE RE-USED, WHICH HAS EXISTING SETBACK NON-CONFORMITIES AS LISTED ABOVE. PROPOSED RESIDENCE AND ASSOCIATED SETBACK ENCROACHMENTS CLOSELY MATCH NEIGHBORING PROPERTY SETBACKS. WE BELIEVE THAT APPROVAL OF PROPOSED VARIANCES WOULD NOT NEGATIVELY IMPACT NEIGHBORING PROPERTIES OR THE NEIGHBORHOOD CHARACTER. (NEIGHBORING SETBACKS TO BE SUBMITTED PRIOR TO ZONING BOARD MEETING).
5. If conditional use is required/requested with this application, detail conformance/deviation from the requirements of the zoning ordinance [attach forms as necessary].

N/A

Contact Information:

6. Name of applicant: Michael and Kavitha Falvo
Mailing address: [REDACTED]
Phone # [REDACTED] Fax # [REDACTED] Cell # [REDACTED]
E-mail address: [REDACTED]

7. Interest of Applicant if other than owner (i.e. tenant, contract purchaser)(If applicant is not the owner, Owner(s)' Affidavit of Authorization and Consent must be completed & submitted with this application):

N/A

8. Name of present owner: SAME AS ABOVE #6

Mailing address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

9. Contact Person: SAME AS ABOVE #6

Mailing address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

Applicant's Professionals' Information:

10. Name of applicant's Attorney (if applicable)
(Companies/Corporations must be represented): N/A

Mailing Address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

11. Name of applicant's Engineer (if applicable): N/A

Mailing Address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

12. Name of applicant's Planner (if applicable): N/A

Mailing Address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

13. Name of applicant's Surveyor: Parker Engineering & Surveying PC

Mailing Address: 370 East Main Street Simerville MD

Phone # 908-725-4400 Fax # 908-725-4401 Cell # 03876

E-mail address: parkeres@aol.com

14. Name of applicant's Architect (if applicable): AL SHISSIAS, RA, RLA

Mailing Address: 27 1st ST., RUMSON, NJ 07760

Phone # 856.448.0865 Fax # _____ Cell # _____

E-mail address: ashissias@gmail.com

15. Name of applicant's Other Professional (if applicable): N/A

Mailing Address: _____

Phone # _____ Fax # _____ Cell # _____

E-mail address: _____

Detail Property Information:

(PLEASE INCLUDE INFORMATION FOR EACH ZONE/BLOCK/LOT INVOLVED BELOW – ATTACH ADDITIONAL SHEETS AS NECESSARY)

| PRINCIPAL USE: | Required and/or Permitted | Existing | Proposed |
|--|----------------------------------|-----------------|--------------------|
| Minimum lot area | 5,000 SF | 5,000 SF | NO CHANGE |
| Minimum lot width | 50 FT | 50 FT | NO CHANGE |
| Minimum lot depth | 100 FT | 100 FT | NO CHANGE |
| Minimum lot frontage | N/A | N/A | N/A |
| Minimum front yard setback | 25 FT. | 14.61 FT | NO CHANGE |
| Minimum rear yard setback | 25 FT. | 50 FT | 38.3 FT. |
| Minimum side yard setback | 5 FT / 10 FT. | 2.22 FT / 21 FT | 2.22 FT / 11.7 FT. |
| Maximum percent building coverage | 35% | 19% | 33% |
| Maximum percent lot coverage | 60% | 22% | 58% |
| Maximum number of stories | 2.5 | 2. | 2.5 |
| Maximum building height (in feet) | 35 FT. | ± 24 FT | 34'-2" |
| Square footage of principal structure | N/A | N/A | N/A |
| Off-street parking spaces | 2 | 0 | 3 |
| Prevailing Setback of adjacent buildings within the block/within 200 ft. | | | |
| ACCESSORY USE/STRUCTURE: | Required and/or Permitted | Existing | Proposed |
| Minimum front yard setback | N/A | N/A | N/A |
| Minimum rear yard setback | ↓ | ↓ | ↓ |
| Minimum side yard setback | | | |
| Minimum combined side yard setback | | | |
| Maximum percent building coverage | | | |
| Maximum percent lot coverage | | | |
| Maximum number of stories | | | |
| Maximum building height (in feet) | | | |
| Square footage of accessory structure | | | |
| Distance between principal & accessory structure | | | |
| Existing use or uses on the lot: SINGLE FAMILY RESIDENCE | | | |
| Proposed use or uses on the lot: NO CHANGE | | | |
| Is the property located in a special flood hazard area? NO | | | |

NOTE: Any items that are not applicable to a particular application shall be marked with an "N/A".

Detail Proposed Information:

16. Existing and proposed number of units, if applicable: 1 EXISTING, NO CHANGE

SITE VISIT AUTHORIZATION OF PROPERTY OWNER

I hereby authorize any member of the Borough of Bradley Beach Planning Board/Zoning Board of Adjustment, any of said of Board's professionals or reviewing agencies of the Board to enter upon the property which is the subject matter of this application, during daylight hours, for limited purpose of viewing same to report and comment to the Board as to the pending application.

Date: May 5, 2024 Michael Falvo Kavitha Falvo
Signature of Property Owner

Escrow Agreement

I/we fully understand an "Escrow Account" will be established to cover the costs of the professional services which will include engineering, legal, planning, architectural, and any other expenses incurred in connection with the review of this application before the Board.

The amount of the Escrow Deposit will be determined by the Borough of Bradley Beach Ordinance Chapter 60. Land Use Procedures Section 60-29. Application fees and escrow requirements. Please see attached for details.

Any request for replenishment of escrow funds shall be due within fifteen [15] days of receipt of the request. If payment is not received within that time, applicant will be considered to be in default, and such default may jeopardize appearance before the Board and/or hold up of any and all pending approvals and building permits. Continued refusal will result in legal action against the property.

Also in accordance with N.J.S.A. 40:55D-53.1, all unused portion of the escrow account will be refunded upon written request from the applicant, and verification of completion by the board's professionals who reviewed the application.

By signature below, I/we acknowledge receipt of the Borough of Bradley Beach's Chapter 60. Land Use Procedures Section 60-29. Application fees and escrow requirements and agree to all conditions listed.

Name of Applicant: Michael and Kavitha Falvo
[please print]

Property Address: 510 Park Place Ave Block 18 Lot 18

Applicant's Name: Michael Falvo Michael Falvo
Kavitha Falvo Kavitha Falvo
[Print Name] [Signature of Applicant]

Owner's Name: Michael Falvo Michael Falvo
Kavitha Falvo Kavitha Falvo
[Print Name] [Signature of Owner]

Date: May 5, 2024